



AGENDA

City of Salmon Arm Regular Council Meeting

Monday, June 27, 2022
1:30 p.m.

[Public Session Begins at 2:30 p.m.]
Council Chambers of City Hall
500 – 2 Avenue NE
Salmon Arm, BC

Page #	Item #	Description
	1.	CALL TO ORDER
1 - 2	2.	IN-CAMERA SESSION
	3.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	4.	ADOPTION OF AGENDA
	5.	DISCLOSURE OF INTEREST
3-20	6.	CONFIRMATION OF MINUTES
	1.	Regular Council Meeting Minutes of June 13, 2022
21-24	7.	COMMITTEE REPORTS
	1.	Development and Planning Services Committee Meeting Minutes of June 20, 2022
25-28	2.	Downtown Parking Commission Meeting Minutes of June 21, 2022
29-34	3.	Shuswap Regional Airport Operations Committee Meeting Minutes of June 15, 2022
	8.	COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE
35-38	9.	STAFF REPORTS
	1.	Chief Financial Officer – Annual Financial Audit Services – 2022 and 2023
39-42	2.	Chief Administrative Officer – Community Resiliency Investment Program – 2022 FireSmart Community Funding & Supports Application

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| | 9. | STAFF REPORTS - continued |
| 43-46 | 3. | Chief Administrative Officer – 55+ BC Games Bid |
| 47-50 | 4. | Director of Corporate Services, Naming and Advertising Agreement for the Recreation Centre |
| 51-52 | 5. | Director of Corporate Services – 2021 Annual Report |
| 53-56 | 6. | Director of Engineering & Public Works – Canada Community – Building Fund in BC 2022 Strategic Priorities Fund |
| | 10. | INTRODUCTION OF BYLAWS |
| | 11. | RECONSIDERATION OF BYLAWS |
| 57-62 | 1. | City of Salmon Arm Fire Prevention and Fire Department Amendment Bylaw No. 4534 – Final Reading |
| 63-70 | 2. | City of Salmon Arm Zone 5 Booster Station Temporary Borrowing Bylaw No. 4543 – Final Reading |
| 71-84 | 3. | City of Salmon Arm Zoning Amendment Bylaw No. 4526 [ZON-1239; Struk, K. & C.; 6841 46 Street NE; R-1 to R-8] – Final Reading |
| | 12. | CORRESPONDENCE |
| 85-86 | 1. | Informational Correspondence |
| | 13. | NEW BUSINESS |
| | 14. | PRESENTATIONS |
| | 15. | COUNCIL STATEMENTS |
| | 16. | SALMON ARM SECONDARY YOUTH COUNCIL |
| | 17. | NOTICE OF MOTION |
| | 18. | UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS |
| | 19. | OTHER BUSINESS |
| 87-88 | 1. | 2022 Shuswap Trails Roundtable Event [Councillor Lavery's Notice of Motion from the June 13, 2022 Regular Council Meeting] |
| | 20. | QUESTION AND ANSWER PERIOD |

7:00 p.m.

Page #	Item #	Description
	21.	DISCLOSURE OF INTEREST
	22.	HEARINGS
89-110	1.	Development Permit Application No. DP-443 [Blanleil Cranbrook Holdings Ltd; 2800 10 Avenue (TCH) SW; Form and Character]
111-140	2.	Development Permit Application No. DP-441 [1334672 Ltd., Inc. No. BC1334672/ Lawson Engineering Ltd.; 1180 Old Auto Road SE; Residential]
	23.	STATUTORY PUBLIC HEARINGS
141-164	1. a.	Official Community Plan Amendment Application No. OCP4000-49 [Burmeister, I.E./Timberline Solutions; 30 2 Street SE; TC to HR]
165-166	b.	Zoning Amendment Application No. ZON-1237 [Burmeister, I.E./Timberline Solutions; 30 2 Street SE; C-2 to R-5] (<i>See item 23.1.a for Staff Report</i>)
167-182	2.	Zoning Amendment Application No. ZON-1241 [McCann, D. & K. / Orchard Valley Homes Ltd; 961 17 Street SE; R-1 to R-8]
183-196	3.	Zoning Amendment Application No. ZON-1243 [Bagley, P. & S. / Franklin Engineering Ltd; 800 Foothill Road SW; A-2 and R-1 to R8]
197-206	4.	Zoning Amendment Application No. ZON-1244 [Caswell, C. & Tremblay, I.; 2080 Okanagan Avenue SE; R1 to R8]
207-218	5.	Zoning Amendment Application No. ZON-1245 [Barrett, D.; 1071 12 Avenue SE; R1 to R8]
219-222	6.	Land Use Contract Termination Application No. LUC P1971 [Canoe Creek Estates]
	24.	RECONSIDERATION OF BYLAWS
223-226	1. a.	City of Salmon Arm Official Community Plan Amendment Bylaw No. 4510 [OCP4000-49; Burmeister, I.E./Timberline Solutions; 30 2 Street SE; TC to HR] - Third Reading
227-230	b.	City of Salmon Arm Zoning Amendment Bylaw No. 4511 [ZON-1237; Burmeister, I.E./Timberline Solutions; 30 2 Street SE; C-2 to R-5] - Third Reading
231-234	2.	City of Salmon Arm Zoning Amendment Bylaw No. 4528 [ZON-1241; McCann, D. & K. / Orchard Valley Homes Ltd; 961 17 Street SE; R-1 to R-8] - Third and Final Readings
235-238	3.	City of Salmon Arm Zoning Amendment Bylaw No. 4535 [ZON-1243; Bagley, P. & S. / Franklin Engineering Ltd; 800 Foothill Road SW; A-2 and R-1 to R8] - Third and Final Readings
239-242	4.	City of Salmon Arm Zoning Amendment Bylaw No. 4537 [ZON-1244; Caswell, C. & Tremblay, I.; 2080 Okanagan Avenue SE; R1 to R8] - Third Reading
243-246	5.	City of Salmon Arm Zoning Amendment Bylaw No. 4538 [ZON-1245; Barrett, D.; 1071 12 Avenue SE; R1 to R8] - Third and Final Readings

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| | 24. | RECONSIDERATION OF BYLAWS - continued |
| 247-260 | 6. | City of Salmon Arm Zoning Amendment Bylaw No. 4533 - [Canoe Creek Estates] – Third Reading (Public Hearing Waived) |
| 261-264 | 7. | City of Salmon Arm Amendment Bylaw No. 4532 to Land Use Contract Termination No. LUC P1971 [Canoe Creek Estates] – Third Reading |
| | 25. | QUESTION AND ANSWER PERIOD |
| 265-266 | 26. | ADJOURNMENT |

Item 2.

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: pursuant to Section 90(1) (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality necessary for that purpose of the Community Charter, Council move In-Camera.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 6.1

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: the Regular Council Meeting Minutes of June 13, 2022, be adopted as circulated.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chambers of City Hall 500 – 2 Avenue NE and by electronic means, at 1:00 p.m. and reconvened at 2:30 p.m. on Monday, June 13, 2022.

PRESENT:

Mayor A. Harrison
Councillor T. Lavery (participated remotely)
Councillor K. Flynn
Councillor D. Cannon
Councillor S. Lindgren (participated remotely)
Councillor L. Wallace Richmond (participated remotely)
Councillor C. Eliason (participated remotely)

Chief Administration Officer Erin Jackson (participated remotely)
Director of Engineering and Public Works R. Niewenhuizen
Director of Development Services K. Pearson
Director of Corporate Services S. Wood
Chief Financial Officer C. Van de Cappelle
Deputy Corporate Officer C. Boback (participated remotely)
Fire Chief B. Shirley

ABSENT:

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 1:00 p.m.

2. IN-CAMERA SESSION

0246-2022

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: pursuant to Section 90(1) (d) the security of the property of the municipality, (g) litigation or potential litigation affecting the municipality and (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:00 p.m.

Council returned to Regular Session at 2:17 p.m.

Council recessed until 2:30 p.m.

3. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

4. REVIEW OF AGENDA

Correction of Item 22.2 – Resolution page should read "Development Variance Permit No. VP-552" not "Development Permit No. DP-552."

Addition of Submission Item 12.1.17 – B. Laird – letter dated June 10, 2022 – Opening Lakeshore

Addition of Submission Item 22.4 – R. & A. Cogar – letter dated June 10, 2022 – VP-549; Setbacks

Addition of Submission Item 23.2 – C. Wiseman & I. Thompson – letter dated June 11, 2022 – ZON-1234

Addition of Submission Item 23.2 – S. Hilna – letter dated June 11, 2022 – ZON-1234

5. DISCLOSURE OF INTEREST

6. CONFIRMATION OF MINUTES

1. Regular Council Meeting Minutes of May 24, 2022

0247-2022 Moved: Councillor Lindgren
 Seconded: Councillor Cannon
 THAT: the Regular Council Meeting Minutes of May 24, 2022, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS

1. Development and Planning Services Committee Meeting Minutes of June 6, 2022

0248-2022 Moved: Councillor Lavery
 Seconded: Councillor Flynn
 THAT: the Development and Planning Services Committee Meeting Minutes of June 6, 2022 be received as information.

CARRIED UNANIMOUSLY

2. Community Heritage Commission Meeting Minutes of May 2, 2022

0249-2022 Moved: Councillor Cannon
 Seconded: Councillor Wallace Richmond
 THAT: the Community Heritage Commission Meeting Minutes of May 2, 2022 be received as information.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS - continued

4. Active Transportation Task Force Meeting Minutes of June 6, 2022

0251-2022 Moved: Mayor Harrison
 Seconded: Councillor Lavery
 THAT: the Active Transportation Task Force Minutes of June 6, 2022 be received as information.

CARRIED UNANIMOUSLY

3. Traffic Safety Committee Meeting Minutes of May 19, 2022

0250-2022 Moved: Councillor Eliason
 Seconded: Councillor Lavery
 THAT: the Traffic Safety Committee Meeting Minutes of May 19, 2022 be received as information.

CARRIED UNANIMOUSLY

8. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

Board in Brief – May 2022 – Received as information.

9. STAFF REPORTS

1. Chief Financial Officer – 2022/2023 Revised RCMP Funding (2022 Budget) – 2023/2024 RCMP Funding (2023 Budget)

0252-2022 Moved: Councillor Lavery
 Seconded: Councillor Eliason
 THAT: the City of Salmon Arm approve the revised contract estimate and spending cap for 2022/2023 estimated at \$4,792,618 under the Municipal Policing Contract of which the City is responsible for 90% thereof;

AND THAT: the City of Salmon Arm approve in principle the 2023/2024 budget of \$5,010,790 under the Municipal Policing Contract of which the City is responsible for 90% thereof.

CARRIED UNANIMOUSLY

2. Director of Engineering & Public Works – Airport Instrument Approach Maintenance – Cyclic Review

0253-2022 Moved: Councillor Eliason
 Seconded: Councillor Wallace Richmond
 THAT: the 2022 Budget contained in the 2022-2026 Financial Plan be amended to reflect funding for the GPS & WAAS Instrument Protocol – Cyclic Review in the amount of \$15,000.00 funded from the Airport – O&M Reserve;

9. STAFF REPORTS - continued2. Director of Engineering & Public Works - Airport Instrument Approach Maintenance - Cyclic Review

AND THAT: Council award the Cyclic Review of the Airport GPS & WAAS instrument approaches to Cormier Aviation Consultation for the quoted price of \$12,500.00 plus taxes as applicable;

AND FURTHER THAT: the City's Purchasing Policy No. 7.13 be waived in procurement of the Cyclic Review of the Airport instrument approaches to authorize the sole sourcing of same to Cormier Aviation Consultation.

CARRIED UNANIMOUSLY

3. Director of Engineering & Public Works - Annual Transit Operating Agreements

0254-2022 Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: the Mayor and Corporate Officer be authorized to execute the Amended 2021/2022 Annual Operating Agreement for Transit Services between the City of Salmon Arm and BC Transit;

AND THAT: the Mayor and Corporate Officer be authorized to execute the 2022/2023 Annual Operating Agreement for Transit Services between the City of Salmon Arm and BC Transit.

CARRIED UNANIMOUSLY

4. Director of Engineering & Public Works - Parks & Washroom Security Contract Award

0255-2022

Moved: Councillor Lindgren

Seconded: Councillor Wallace Richmond

THAT: Council award a contract to Salmon Arm Security Inc. for the Parks Security Services & Washroom open/close for a one (1) year term commencing July 1, 2022 for the unit prices as outlined in the Staff report dated June 7, 2022;

AND THAT: an option for a two (2) year extension in years 2023/2024 and 2024/2025 at the quoted unit rates, provided that both parties are in agreement.

CARRIED UNANIMOUSLY

Councillor Wallace Richmond declared a conflict of interest with Item 9.5 as Salmon Arm Economic Development Society is a client of her firm and left the meeting at 3:08 pm.

9. STAFF REPORTS - continued

5. Director of Corporate Services – Municipal Regional District Tax (MRDT) Agreement Renewal June 2022 – May 2027

0256-2022 Moved: Councillor Eliason
Seconded: Councillor Lavery
THAT: the Mayor and Corporate Officer be authorized to execute the Municipal Regional District Tax (MRDT) Agreement for the five (5) year term of June 1, 2022 to May 31, 2027 between the City of Salmon Arm and the Salmon Arm Economic Development Society for the administration of the Municipal Regional District Tax.

CARRIED UNANIMOUSLY

Councillor Wallace Richmond returned to the meeting at 3:13 pm

6. Chief Administrative Officer - Living Wage

0257-2022 Moved: Councillor Lindgren
Seconded: Councillor Lavery
WHEREAS: a Living Wage is the hourly rate needed for two working adults to meet the basic needs of a family of four in order to meet the basic costs of living - food, clothing, accommodation, transportation and childcare in the community they reside in;

AND WHEREAS: a Living Wage has been studied and recommendations made for various regions of BC and Canada;

AND WHEREAS: many local governments are champions for fair Living Wages for their direct employees and contracted services;

THEREFORE BE IT RESOLVED THAT: the City of Salmon Arm become a Living Wage Employer committed to a living wage for direct employees and requiring the same for specified contracted workers on city premises and properties to take effect on January 1, 2023;

AND THAT: Council direct staff to draft such a Living Wage policy for Council's consideration.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS

1. City of Salmon Arm Fire Prevention and Fire Department Amendment Bylaw No. 4534 – First, Second and Third Readings

0258-2022 Moved: Councillor Cannon
Seconded: Councillor Lavery
THAT: Fire Prevention and Fire Department Amendment Bylaw No. 4534 be read a first, second and third time.

CARRIED UNANIMOUSLY

Councillor Cannon left the meeting at 3:57 p.m. and returned at 3:59 p.m.

11. RECONSIDERATION OF BYLAWS

4. City of Salmon Arm Zone 5 Booster Station Loan Authorization Bylaw No. 4502 – Final Reading (See Item 10.2 for Staff Report)

0259-2022 Moved: Councillor Flynn
 Seconded: Councillor Eliason
 THAT: the Certificate of Sufficiency regarding the City of Salmon Arm Zone 5
 Booster Station Loan Authorization Bylaw No. 4502 be received;

 AND THAT: Bylaw No. 4502 cited as the City of Salmon Arm Zone 5 Booster Station
 Loan Authorization Bylaw No. 4502 be read a final time.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS...continued

2. City of Salmon Arm Zone 5 Booster Station Temporary Borrowing Bylaw No. 4543 - First, Second and Third Readings

0260-2022 Moved: Councillor Eliason
 Seconded: Councillor Flynn
 THAT: Bylaw No. 4543 cited as the City of Salmon Arm Zone 5 Booster Station
 Temporary Borrowing Bylaw No. 4543 be read a first, second and third time.

CARRIED UNANIMOUSLY

3. City of Salmon Arm Zoning Amendment Bylaw No. 4528 [ZON-1241; McCann, D. & K. / Orchard Valley Homes; 961 17 Street SE; R-1 to R-8] – First and Second Readings

0261-2022 Moved: Councillor Cannon
 Seconded: Councillor Lindgren
 THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4528
 be read a first and second time.

CARRIED UNANIMOUSLY

4. City of Salmon Arm Zoning Amendment Bylaw No. 4535 [ZON-1243; Bagley, P. & S. / Franklin Engineering Ltd; 800 Foothill Road SW; A-2 and R-1 to R8] – First and Second Readings

0262-2022 Moved: Councillor Lavery
 Seconded: Councillor Cannon
 THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4535
 be read a first and second time.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS - continued

5. City of Salmon Arm Zoning Amendment Bylaw No. 4537 [ZON-1244; Caswell, C. & Tremblay, I.; 2080 Okanagan Avenue SE; R1 to R8] – First and Second Readings

0263-2022

Moved: Councillor Flynn

Seconded: Councillor Eliason

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4537 be read a first and second time;

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

6. City of Salmon Arm Zoning Amendment Bylaw No. 4538 [ZON-1245; Barrett, D.; 1071 12 Avenue SE; R1 to R8] – First and Second Readings

0264-2022

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4538 be read a first and second time.

CARRIED UNANIMOUSLY

7. a. City of Salmon Arm Zoning Amendment Bylaw No. 4533 – Council Waive the Public Hearing for Zoning Amendment Bylaw No. 4533

0265-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: Council waive the Public Hearing for Zoning Bylaw Amendment No. 4533, Pursuant to Local Government Act Section 464 (2).

CARRIED UNANIMOUSLY

7. b. City of Salmon Arm Zoning Amendment Bylaw No. 4533 – [Canoe Creek Estates] – First and Second Readings

0266-2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4533 be read a first and second time;

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS - continued

8. City of Salmon Arm Land Use Contract Termination Amendment Bylaw No. 4532 [LUC P1971 Canoe Creek Estates] – First and Second Readings

0267-2022 Moved: Councillor Wallace Richmond
 Seconded: Councillor Flynn
 THAT: the bylaw entitled City of Salmon Arm Land Use Contract Termination
 Amendment Bylaw No. 4532 be read a first and second time.

CARRIED UNANIMOUSLY

11. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Cemetery Management Amendment Bylaw No. 4536 – Final Reading

0268-2022 Moved: Councillor Eliason
 Seconded: Councillor Wallace Richmond
 THAT: the bylaw entitled City of Salmon Arm Cemetery Management Amendment
 Bylaw No. 4536 be read final time.

CARRIED UNANIMOUSLY

2. City of Salmon Arm Official Community Plan Amendment Bylaw No. 4510 [OCP4000-49; Burmeister, I.E./Timberline Solutions; 30 2 Street SE; TC to HR] - Second Reading

0269-2022 Moved: Councillor Eliason
 Seconded: Councillor Lavery
 THAT: Pursuant to Section 475 of the Local Government Act, Council has
 considered this Official Community Plan Amendment after appropriate
 consultation with affected organizations and authorities;

 AND THAT: Pursuant to Section 476 of the Local Government Act, Council has
 considered this Official Community Plan amendment after required consultation
 with School District No. 83;

 AND THAT: Pursuant to Section 477 3 (a) of the Local Government Act, Council has
 considered the proposed Official Community Plan Amendment in conjunction with:

1. the Financial Plans of the City of Salmon Arm; and
2. the Liquid Waste Management Plan of the City of Salmon Arm;

 AND FURTHER THAT: the bylaw entitled City of Salmon Arm Official Community
 Plan Amendment Bylaw No. 4510 be read a second time.

CARRIED UNANIMOUSLY

11. RECONSIDERATION OF BYLAWS - continued

3. City of Salmon Arm Zoning Amendment Bylaw No. 4511 [ZON-1237; Burmeister, I.E./Timberline Solutions; 30 2 Street SE; C-2 to R-5] – Second Reading (See item 11.2 for Staff Report)

0270-2022 Moved: Councillor Lavery
Seconded: Councillor Cannon
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4511 be read a second time.

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

12. CORRESPONDENCE

1. Informational Correspondence

10. S. Caner, Executive Director, Shuswap Food Action Society – letter dated June 1, 2022 – Storage shed behind Ross Street Plaza

0271-2022 Moved: Councillor Flynn
Seconded: Councillor Cannon
THAT: Council approve the construction of a new storage shed for Shuswap Food Action to replace the current shed located behind the Ross Street Plaza subject to the provision of adequate liability insurance.

CARRIED UNANIMOUSLY

11. D. Mills, Shuswap Cycling Society – letter dated June 7, 2022 – 7th Annual Shuswap Cross, Cyclocross Race

0272-2022 Moved: Councillor Flynn
Seconded: Councillor Lindgren
THAT: Council approve the submission of the 7th Annual Shuswap Cross, Cyclocross race at the Klahani Park on Sunday, September 11, 2022 subject to the provision of adequate liability insurance;

AND THAT: the Shuswap Cycling Club work with City staff to ensure all required road closure and Interior Health permits are in place prior to the event.

CARRIED UNANIMOUSLY

12. CORRESPONDENCE

1. Informational Correspondence

7. J. Evans, Early Years Family Navigator and Outdoor Play Facilitator, Shuswap Children's Association - letter dated May 25, 2022 - Story Time in the Park, August 10, 2022

0273-2022 Moved: Councillor Wallace Richmond
Seconded: Councillor Lavery
THAT: Council approve Story Time in the Park Summer Fun Day for the Shuswap Children's Association at Blackburn Park on August 10th, 2022 subject to the provision of adequate liability insurance as advised by Municipal Insurance Association of BC;

AND THAT: Council approve the change of date for Story Time in the Park from July 10, 2022 to July 13, 2022 at Fletcher Park;

AND FURTHER THAT: Council approve the change of date from June 19th, 2022 to July 29, 2022 for Story Time in the Park at McGuire Lake Park.

CARRIED UNANIMOUSLY

9. E. Cleaver, Classroom Manager, Maple Tree Montessori - email dated June 6, 2022 - End of School Year Celebration Friday, June 24, 2022

0274-2022 Moved: Councillor Wallace Richmond
Seconded: Councillor Cannon
THAT: Council approve the end of year celebration for the Maple Tree Montessori at Blackburn Park on Friday June 24th, 2022, from 11am - 2pm subject to the provision of adequate liability insurance.

CARRIED UNANIMOUSLY

13. M. Matheson, Manager, Shuswap Tourism & Shuswap Film Commission - Letter Dated June 8, 2022 - Documentary Filming in Salmon Arm

0275-2022 Moved: Councillor Wallace Richmond
Seconded: Councillor Cannon
THAT: Council grant permission for Wall to Wall Productions to film in the Salmon Arm area during the week of June 13 - 17, 2022.

CARRIED

Councillor Lindgren opposed

12. CORRESPONDENCE - continued

1. Informational Correspondence

12. J. Bellhouse, Executive Director, Shuswap Trail Alliance – letter dated April 28, 2022 – West Bay Connector Plan Project Management

0276-2022 Moved: Councillor Lavery
 Seconded: Councillor Eliason
 THAT: Council provide a letter to Neskonlith Indian Band and Adams Lake Indian Band in support of their grant applications to the Federal Active Transportation Grant program for the West Bay Connector Trail project.

CARRIED UNANIMOUSLY

0277-2022 Moved: Councillor Lavery
 Seconded: Councillor Lindgren
 THAT: Council supports, in principle, the request from the Shuswap Trail Alliance to manage the West Bay Connector Trail Plan Project on behalf of Neskonlith Indian Band and Adams Lake Indian Band subject to further information from staff.

CARRIED UNANIMOUSLY

13. NEW BUSINESS

14. PRESENTATIONS

1. J. Bellhouse, Shuswap Trail Alliance – Shuswap Trails 17th Annual 2021 Progress Report

J. Bellhouse, Executive Director, Shuswap Trail Alliance provided an overview of the Shuswap Trails 17th Annual 2021 Progress Report. She was available to answer questions from Council.

17. NOTICE OF MOTION

1. Councillor Lavery - 2022 Shuswap Trails Roundtable Event

THAT: \$1,500.00 be allocated from Council Initiatives for the 2022 Shuswap Trails Roundtable event.

15. COUNCIL STATEMENTS

16. SALMON ARM SECONDARY YOUTH COUNCIL

18. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

19. OTHER BUSINESS

1. Released from In-Camera – 2022 Community Resiliency Investment Application

0042-2022 (ic) Moved: Councillor Lavery
Seconded: Councillor Wallace Richmond
THAT: The City sever the 2022 Community Resiliency Investment joint grant application with Neskonalith Indian Band and pursue an application individually.

2. Office of the Premier and Ministry of Municipal Affairs - 2022 Union of British Columbia Municipalities (UBCM) – Meeting Requests

Council provided UBCM Minister meeting requests.

20. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

2. IN-CAMERA SESSION – continued

0246-2022 Moved: Councillor Cannon
Seconded: Councillor Lindgren
THAT: pursuant to Section 90(1) (d) the security of the property of the municipality, (g) litigation or potential litigation affecting the municipality and (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 5:19 p.m.
Council returned to Regular Session at 6:08 p.m.
The Meeting recessed to 7:00 p.m.

PRESENT:

Mayor A. Harrison
Councillor D. Cannon
Councillor K. Flynn
Councillor S. Lindgren
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)
Councillor C. Eliason (participated remotely)

Chief Administrative Officer Erin Jackson (participated remotely)
Director of Engineering and Public Works R. Niewenhuizen
Director of Development Services K. Pearson
Director of Corporate Services S. Wood
Deputy Corporate Officer C. Boback

ABSENT:

21. DISCLOSURE OF INTEREST

Councillor Eliason entered the meeting at 7:07 p.m.

22. HEARINGS

1. Development Permit Application No. DP-442 [AR Broadview Holdings Ltd./Lake Monster Studio: Architecture + Design; 1231-1 Street SE; 10 unit - Medium Density Residential]

0278-2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: Development Permit No. DP-442 be authorized for issuance for Lot 11, Section 11, Township 20, Range 10, W6M, KDYD, Plan 9916 in accordance with the drawings attached as Appendix 3 of the Staff Report dated May 18, 2022;

AND THAT: Issuance of Development Permit No. DP-442 be withheld subject to:

1. Registration of a Section 219 Land Title Act covenant on title restricting development to a total of 10 rental units and prohibits stratification of the development on the subject parcel, and;
2. Receipt of an Irrevocable Letter of Credit in the amount of 125% of the landscape estimate for completion of the landscaping plan.

The Director of Development Services explained the proposed Development Permit Application.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:08 p.m.

CARRIED UNANIMOUSLY

22. HEARINGS - continued

2. Development Variance Permit Application No. VP-552 [Nakazawa, B; 2371 Auto Road SE; Servicing]

0279-2022

Moved: Councillor Lindgren

Seconded: Councillor Lavery

THAT: Development Variance Permit No. VP-552 be authorized for issuance for Subdivision Plan EPP112221 of Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Plan 3075 Except Plan 32461, KAP62839, EPP63695, EPP75660, EPP83031 and EPP105897 which will vary Subdivision and Development Servicing Bylaw No. 4163 as follows:

Section 9.1 - Service Requirements - Waive the requirement to install underground Hydro/Telecom distribution.

The Director of Development Services explained the proposed Development Variance Permit Application.

J. & B. Nakazawa, the applicants, spoke regarding the Development Variance Permit request and were available to answer questions.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:24 p.m.

DEFATED UNANIMOUSLY

3. Development Variance Permit Application No. VP-555 [Piggott, J. & C.; 4440 20 Street NE; Swimming Pool Setback]

0280-2022

Moved: Councillor Eliason

Seconded: Councillor Lindgren

THAT: Development Variance Permit No. VP-555 be authorized for issuance for Lot 1, Section 25, Township 20, Range 10, W6M, KDYD, Plan EPP53097 which will vary Zoning Bylaw No. 2303 as follows:

Section 4.15.1 - Front parcel line setback reduction from 6.0m to 4.0m for the construction of a swimming pool and;

Section 4.12.1(b) - Fence height increase for a fence located in the front yard of a residential property from 1.2m (3.9ft) to 1.5m (5.0ft).

Director of Development Services explained the proposed Development Variance Permit Application.

Councillor Lindgren left the meeting at 7:40 p.m. and returned to the meeting at 7:41 p.m.

22. HEARINGS - continued

3. Development Variance Permit Application No. VP-555 [Piggott, J. & C.; 4440 20 Street NE; Swimming Pool Setback]

J. Piggott, the applicant, spoke regarding the Development Variance Permit request and was available to answer questions.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:43 p.m.

CARRIED UNANIMOUSLY

4. Development Variance Permit Application No. VP-549 [Sandhu, A., J. & P. / Franklin Engineering Ltd; 1281 20 Avenue SW; Setbacks]

0280-2022 Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: Development Variance Permit No. VP-549 be authorized for issuance for Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan 1719 which will vary Zoning Bylaw No. 2303 as follows:

Section 9.9.2 – Reduce the proposed future Rear Parcel Line Setback along the west parcel line from 5m to 4.5m.

The Director of Development Services explained the proposed Development Variance Permit Application.

J. Wickner, Franklin Engineering Ltd., the agent, spoke regarding the Development Variance Permit request and was available to answer questions.

Submissions were called for at this time.

R. & A. Cogar - letter dated June 10, 2022 – VP-549; Setbacks

I. Thompson – 20 1791 10th Street SW – questioned if other variances might be required along the back of the property.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:52 p.m.

CARRIED UNANIMOUSLY

23. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1239 [Struk, K. & C.; 6841 46 Street NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 8:02 p.m. followed by comments from Council.

2. Zoning Amendment Application No. ZON-1234 [Sandhu, A., J. & P./Franklin Engineering Ltd.; 1281 20 Avenue SW; R-1 to R-4] (See item 22.4 for Staff Report)

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time.

C. Wiseman & I. Thompson - letter dated June 11, 2022 - ZON-1234

S. Hilna - letter dated June 11, 2022 - ZON-1234

I. Thompson - #23 1791 10th St SW - raised concerns about the proximity of the new road to the back of her property, street lighting shining into their property and visitor parking. I. Thompson also requested a privacy fence between the development and her property.

S. Hilna - 1791 10th St SW - raised concerns with the lift station and an increase in the smell of sewage.

J. Wickner/ Franklin Engineering Ltd, the agent, was available to answer questions from Council.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:52 p.m. followed by comments from Council.

24. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Zoning Amendment Bylaw No. 4526 [ZON-1239; Struk, K. & C.; 6841 46 Street NE; R-1 to R-8] - Third reading. (See item 23.1 for Staff Report)

0281-2022 Moved: Councillor Lindgren
 Seconded: Councillor Cannon
 THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4526 be read a third time.

24. RECONSIDERATION OF BYLAWS...continued

1. City of Salmon Arm Zoning Amendment Bylaw No. 4526 [ZON-1239; Struk, K. & C.; 6841 46 Street NE; R-1 to R-8] – Third reading. (See item 23.1 for Staff Report)

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

2. City of Salmon Arm Zoning Amendment Bylaw No. 4505 [ZON-1234; Sandhu, A., J. & P. / Franklin Engineering Ltd; 1281 20 Avenue SW; R-1 to R-4] – Third and Final reading. (See item 22.4 for Staff Report)

0283-2022 Moved: Councillor Eliason
 Seconded: Councillor Cannon
 THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4505 be read a third and final time.

CARRIED UNANIMOUSLY

Councillor Cannon left the meeting at 8:22 p.m. and returned at 8:23p.m.

25. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

26. ADJOURNMENT

0283-2022 Moved: Councillor Wallace Richmond
 Seconded: Councillor Flynn
 THAT: the Regular Council Meeting of June 13, 2022, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:41 p.m.

CERTIFIED CORRECT:

Adopted by Council the day of , 2022.

CORPORATE OFFICER

DEPUTY MAYOR

Item 7.1

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Deputy Mayor Wallace Richmond

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of June 20, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

DEVELOPMENT AND PLANNING SERVICES COMMITTEE

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in Council Chambers, City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, and by electronic means on Monday, June 20, 2022.

PRESENT:

Deputy Mayor L. Wallace Richmond
Councillor K. Flynn
Councillor T. Lavery (participated remotely)
Councillor S. Lindgren
Councillor C. Eliason (participated remotely)

Chief Administrative Officer E. Jackson
Director of Engineering & Public Works R. Niewenhuizen
Director of Corporate Services S. Wood
Senior Planner C. Larson
Planner M. Smyrl
Executive Assistant B. Puddifant

ABSENT:

Mayor A. Harrison
Councillor D. Cannon

1. CALL TO ORDER

Deputy Mayor Wallace Richmond called the meeting to order at 8:00 a.m.

2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Deputy Mayor Wallace Richmond read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together".

3. REVIEW OF THE AGENDA

4. DISCLOSURE OF INTEREST

5. REPORTS

1. Development Permit Application No. DP-443 [Blanleil Cranbrook Holdings Ltd.; 2800 10 Avenue (TCH) SW; Form and Character]

Moved: Councillor Flynn

Seconded: Councillor Lavery

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-443 be authorized for issuance for Parcel A (DD 136157F Plan B6396) of Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan 4550, Except Plan H401, KAP55184, KAP69718, KAP78951 and EPP7474 in

5. REPORTS - continued1. Development Permit Application No. DP-443 [Blanleil Cranbrook Holdings Ltd.; 2800 10 Avenue (TCH) SW; Form and Character] - continued

accordance with the Development Permit drawings attached as Appendix 5 to the Staff Report dated June 15, 2022;

AND THAT: Development Permit DP-443 vary Zoning Bylaw No. 2303 for Building 1 as shown in the drawings attached as Appendix 5 as follows:

1. Section 17.8.2 – Minimum Interior Parcel Line setback of 1.0m reduced to 0.0m;

AND FURTHER THAT: Issuance of Development Permit No. DP-443 be withheld subject to receipt of an Estimate and Irrevocable Letter of Credit (in the amount of 125% of the Estimate) for landscaping.

A. Blanleil, Blanleil Cranbrook Holdings Ltd., the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

2. Development Permit Application DP-441 [1334672 BC Ltd./Lawson Engineering Ltd.; 1180 Old Auto Road SE; Residential]

Moved: Councillor Lavery

Seconded: Councillor Lindgren

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-441 be authorized for issuance for Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP82683 in accordance with the drawings dated March 22, 2022 and attached as Appendix 6 to the Staff Report dated June 1, 2022;

AND THAT: Development Permit No. DP-441 include the following variances to Zoning Bylaw No. 2303:

1. Section 4.9.1 – decrease the special building setback from the center line of an Arterial Street from 17.5 metres (57.4 feet) to 15.4 metres (50.5 feet) in accordance with the attached drawings;
2. Section 4.12.1 – increase the maximum height of a retaining wall from 2.0 metres (6.5 feet) to 2.5 metres (8.2 feet) in accordance with the attached drawings; and
3. Section 9.4 – increase the maximum height of a principal building from 10.0 metres (32.8 feet) to 12.1 metres (39.7 feet) in accordance with the attached drawings;

5. REPORTS - continued

2. Development Permit Application DP-441 [1334672 BC Ltd./Lawson Engineering Ltd.; 1180 Old Auto Road SE; Residential] - continued

AND FURTHER THAT: issuance of Development Permit No. DP-441 be withheld subject to receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscape plan and installation of fencing.

A. Waters, Lawson Engineering Ltd., the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

6. FOR INFORMATION

7. IN-CAMERA

8. ADJOURNMENT

Moved: Councillor Eliason

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee meeting of June 20, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:13 a.m.

Deputy Mayor L. Wallace Richmond
Chair

Minutes received as information by Council at their Regular Meeting of day of , 2022.

Item 7.2

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor Eliason

Seconded: Councillor Lindgren

THAT: the Downtown Parking Commission Meeting Minutes of June 21, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

Minutes of the Downtown Parking Commission Meeting held by electronic means on Tuesday, June 21, 2022.

PRESENT:

Chad Eliason	Councillor, City of Salmon Arm
Bill Laird	Member at Large
Gerald Foreman	DSA Representative
Cathy Ingebrigston	Member at Large
Morgen Matheson	DSA Representative
Jacquie Gaudreau	DSA Representative, Chair
Jenn Wilson	Resource Personnel, City Engineer
Sam Darlington	Resource Personnel, City Bylaw Officer
Debbie Wood	Resource Personnel, City Bylaw Officer
Maurice Roy	Resource Personnel, Manager of Permits & Licensing
Robert Niewenhuizen	Resource Personnel, Director of Engineering & Public Works, Recorder

ABSENT:

Vic Hamilton	Member at Large
Vera Chomyshen	DSA Representative
Regan Ready	Member at Large

GUEST:

The meeting was called to order at 8:00 a.m. by Chair, Jacquie Gaudreau.

1. INTRODUCTIONS AND WELCOME

2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.

3. PRESENTATIONS:

None

4. APPROVAL / CHANGES / ADDITIONS TO AGENDA

Moved: Cathy Ingebrigston

Seconded: Bill Laird

THAT: the Downtown Parking Commission Meeting Agenda of June 21, 2022 be approved as circulated.

CARRIED UNANIMOUSLY

5. APPROVAL OF MINUTES FROM APRIL 26, 2022

Moved: Bill Laird

Seconded: Cathy Ingebrigston

THAT: the Downtown Parking Commission Meeting Minutes of April 26, 2022 be adopted.

CARRIED UNANIMOUSLY

6. OLD BUSINESS ARISING FROM MINUTES

7. NEW BUSINESS

a) **Ross Street Underpass update**

- Construction at 50% complete
- Lakeshore Drive will be open for traffic for July & August
- Ross Street parking lot will still have a construction staging area; however, it will be reduced in size slightly making 10 stalls available for public parking

b) **Parking Meter update**

- Parking ticket machine has been removed from in front of the post office
- 15 min parking will be enforced
- Ticket machine will be repurposed for metered parking on Hudson Street
- City Finance Department is making some progress with "Moneris" payment solutions and "MacKay" supplier of ticket machines on installing pay by card options.

c) **Street Patios update**

- The temporary sidewalk patio's for Weekend's Restaurant & Stillfood Bistro were approved by City Council

7. NEW BUSINESS - continued

c) Street Patios update – continued

- Patios will be allowed to operate from 5:30 pm to 10:00 pm

d) Letter from D. Gollan – New Parking Rates

- Discussion was had regarding the concerns expressed in Mr Gollan's letter
- The DPC felt that the rate increase was fair in that it has been well over 20 years since any of the parking rates have been modified or increased.
- Rate increase affective July 1, 2022
- City staff will prepare a written response

e) Staff response to Salmon Arm Liquor Store parking inquiry

- Provided for information

8. OTHER BUSINESS

- None

9. NEXT MEETING – Tuesday, July 19, 2022

The next meeting of the Downtown Parking Commission will be Tuesday, July 19, 2022. The Chairperson will be Morgen Matheson.

10. ADJOURNMENT

Moved: Bill Laird

Seconded: Cathy Ingebrigston

THAT: the Downtown Parking Commission Meeting of June 21, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:20 a.m.

Item 7.3

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the Shuswap Regional Airport Operations Committee Meeting Minutes of June 15, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

Minutes of the Shuswap Regional Airport Operations Committee Meeting held in Council Chambers at City Hall, Salmon Arm, BC on Wednesday, June 15, 2022 at 3:00 p.m.

PRESENT:

Chad Eliason
Keith Watson
Terry Rysz
John McDermott
Gord Newnes
Doug Pearce
Darin Gerow
Robert Niewenhuizen

Councillor, City of Salmon Arm, Chair
Airport Manager
Mayor, District of Sicamous
Lakeland Ultralights
Hangar Owner
Salmon Arm Flying Club
City staff, Manager of Roads & Parks
City staff, Director of Engineering & Public Works

ABSENT:

John Hansen
Mark Olson
Jeremy Neufeld

Hanger owener
Hanger owner
BC Wildfires Rap Attack

GUESTS:

The meeting was called to order at 3:00 p.m. chaired by Chad Eliason

1. Introductions and Welcome

2. Acknowledgement of Traditional Territory

We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.

3. Approval of Agenda and Additional Items

Addition to Item 8.e – NOVA Skydive Event

Moved: John McDermott

Seconded: Keith Watson

THAT: The Shuswap Regional Airport Operations Committee Meeting Agenda of June 15, 2022, be approved with additions.

CARRIED UNANIMOUSLY

4. Approval of Minutes of March 16, 2021 Shuswap Regional Airport Operations Committee Meeting

Moved: Keith Watson

Seconded: Gord Newnes

THAT: the minutes of the Shuswap Regional Airport Operations Committee Meeting of March 16, 2022 be approved as circulated.

CARRIED UNANIMOUSLY

5. Approval of Minutes of March 8, 2022 Shuswap Regional Airport Safety Committee Meeting

Moved: Chad Eliason

Seconded: Keith Watson

THAT: the minutes of the Shuswap Regional Airport Safety Committee Meeting of March 8, 2022 be approved as circulated.

CARRIED UNANIMOUSLY

6. Airport Managers Update

- The airport has now been decertified resulting in
 - Runway back to full length
 - Night lights on
 - Taxiway Charlie opened
 - GPS restricted
 - Flight supplement updated
 - Medivac/Carson Air notified of changes
- New ERP reviewed (some updates required)
- Grass cutting equipment serviced
- City removed brush from fence line

7. Old Business /Arising from minutes

- a) Shuswap Trail Alliance request for lease area – withdrawn
- b) Airport De-certification
 - i) Flight Supplement update
 - ii) Aerodrom Operator Attestation
 - iii) Notams
 - iv) Medivac notification

- Discussion regarding the changes to the airport instrument approach procedures, GPS approach which is now RCAP. Only aircraft operators with specific authority from Transport Canada (Ops Spec), can legally fly these procedures because they have been designed with certain deviations from the regulations.

- c) Future hangar development
 - i) Lease areas
 - ii) Request for proposals
 - iii) Advertising

- General discussion regarding the steps involved in opening up new lease areas for hangar construction
- Proposed lots to be surveyed in 2022

7. Old Business /Arising from minutes – continued

c) Future hangar development - continued

- Prior to any City lands at the airport being lease, the City must submit an application to the Ministry of Environment for review. This application is in regards to the lands being free of any contamination.
- City has completed a phase I & II environmental study at the airport (SLR 2013)
- All lease areas must be approved by City Council
- Staff will prepare a draft request for proposal (RFP)
- The intent of this RFP is to garner interest in maximizing the available build out area of each available lease area
- Further discussion on this topic of the RFP and process will be had during the September meeting

8. New Business

- a) Airport Management Contract (July 2022 to July 2025)
 - a. Committee thanked Keith and John for their commitment to the Airport
 - b. KS2 Management will commence July 1, 2022
- b) NAV Canada Cyclic (5 year) Review of Flight approaches
 - a. Proposal received from Cormier Aviation Consultation
 - b. City Council approval received and purchase order has been issued
- c) Old Fuel Tank decommissioning (Fall 2022)
 - a. Work to be tendered out his fall,
- d) Policy 5.13 – Amendment
 - a. The ground was not as contaminated as was thought, therefore opening up more land to build. Some of the current hangers can now put down a solid floor (indicated on map).
- e) NOVA Skydiving Event Request
 - a. support from Operations Committee
 - b. Council approval required
- f) NOVA Skydiving “Airside” stage area request
 - a. support from Operations Committee

9. Other Business &/or Roundtable Updates

- None

10. Next meeting – Wednesday, September 21, 2022

Minutes of the Shuswap Regional Airport Operations Committee of June 15, 2022
Page 4

11. Adjournment

Moved: John McDermott

Seconded: Gord Newnes

THAT: the Shuswap Regional Airport Operations Committee Meeting of June 15, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 4:00 p.m.

Robert Niewenhuizen, ASCT
Director of Engineering & Public Works

Minutes received as information by Council
on the day of , 2022

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Item 9.1

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: BDO Canada LLP, Chartered Accountants, be appointed as the Municipal Auditors for the City of Salmon Arm for the two (2) year term of 2022 and 2023;

AND THAT: the fee for services provided be as follows:

- 2022 - \$25,000.00 (plus taxes as applicable); and
- 2023 - \$25,000.00 plus BC CPI (plus taxes as applicable).

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison and Members of Council
 From: Chelsea Van de Cappelle, Chief Financial Officer
 Date: June 20, 2022
 Subject: Annual Financial Audit Services – 2022 and 2023

Recommendation:

That: BDO Canada LLP, Chartered Accountants, be appointed as the Municipal Auditors for the City of Salmon Arm for the two (2) year term of 2022 and 2023;

And that the fee for services provided be as follows:

- 2022 - \$25,000.00 (plus taxes as applicable); and
- 2023 - \$25,000.00 plus BC CPI (plus taxes as applicable).

Background:

Pursuant to Section 169 of the *Community Charter*, the Municipal Auditors must be appointed by Council.

As required by Policy No. 7.6, an invitational Request for Proposal for the Annual Financial Audit Services was undertaken in 2019 for the term 2019 to 2021 inclusive, with a City option to extend for an additional two (2) year period.

The City received four (4) proposals, all of which met the mandatory submission criteria. The proposals were evaluated and rated in consideration of the evaluation criteria and ranked as follows:

Audit Firm	Ranking
BDO	1
MNP	2
KPMG	3
Grant Thornton	4

The table below reflects the proposed audit fees, inclusive of all disbursements, travel and administrative fees over the next five (5) years from each of the proponents.

Year	BDO	%	MNP	%	KPMG	%	Grant Thornton	%
2019	\$ 19,100.00	2.85%	\$ 16,800.00	(9.54%)	\$ 24,100.00	29.77%	\$ 27,500.00	48.08%
2020	19,600.00	2.62%	17,325.00	3.13%	24,600.00	2.07%	28,400.00	3.27%
2021	20,000.00	2.04%	17,850.00	3.03%	25,100.00	2.03%	29,400.00	2.52%
2022	20,500.00	2.50%	18,375.00	2.94%	25,600.00	1.99%	30,400.00	3.40%
2023	21,000.00	2.44%	18,900.00	2.86%	26,100.00	1.95%	31,500.00	3.62%
Total	\$100,200.00		\$89,250.00		\$125,500.00		\$147,200.00	

All four (4) proposals demonstrated the required technical experience and qualifications needed as well they all provided a wide range of additional services to address the City's needs. While MNP proposed the lowest cost, staff had concerns with MNP's proposed substantive audit approach and the implications of this on staff time.

Overall, BDO Canada LLP (BDO) was the successful proponent and was awarded the contract from 2019 to 2021. BDO has agreed to provide the Financial Audit Services to the City under the same terms and conditions however have revised their pricing proposal for 2022 and 2023. Like many businesses, BDO has experienced significant inflation and an overall increase in labour costs. This is consistent with a cumulative minimum wage increase of 19% from 2019 through 2021.

The table below reflects the audit fees that were proposed in 2019 compared to actual audit fees incurred and revised fees proposed for 2022 and 2023.

Year	2019 Proposal	%	Actual /Proposed
2019	\$ 19,100.00	2.85%	\$19,100.00
2020	19,600.00	2.62%	19,600.00
2021	20,000.00	2.04%	24,500.00
2022	20,500.00	2.50%	25,000.00
2023	21,000.00	2.44%	26,000.00
Total	\$100,200.00		\$114,200.00

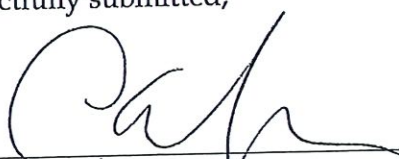
**2023 fee has been estimated based on a BC CPI increase of 4%.*

BDO has an excellent understanding of the City's structure, governance and processes. The revised fees proposed for 2022 and 2023 continue to be less than those initially proposed from KPMG and Grant Thornton. The proposed fees are consistent with those of Sicamous, Revelstoke and the CSRD as well as those reflected in a survey of similar sized municipalities undertaken by staff.

Oak Bay - (Pop. 18,930)	\$25,000.00 (2021 rates)
Pitt Meadows - (Pop. 20,112)	\$21,500.00 (2021 rates)

Overall, the City has enjoyed an excellent working relationship with BDO and consider the revised proposed fees reasonable given the current inflationary environment. It is therefore recommended that BDO Canada LLP be awarded the Annual Financial Audit Services Contract for the two (2) year term of 2022 and 2023.

Respectfully submitted,


Chelsea Van de Cappelle, CPA

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Item 9.2

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council supports the activities outlined in the Community Resiliency Investment Program – 2022 FireSmart Community Funding & Supports grant application;

AND THAT: Council agrees that the City of Salmon Arm will act as the primary applicant to apply for, receive and manage the 2022 grant funding.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council

DATE: June 7, 2022

SUBJECT: Community Resiliency Investment Program – 2022 FireSmart Community Funding & Supports Application

Recommended Motion:

THAT: Council supports the activities outlined in the Community Resiliency Investment Program – 2022 FireSmart Community Funding & Supports grant application;

AND THAT: Council agrees that the City of Salmon Arm will act as the primary applicant to apply for, receive and manage the 2022 grant funding.

Background:

The City of Salmon Arm received funds from UBCM to develop a Community Wildfire Protection Plan (CWPP), which was completed 2019. Since that time, the City has received funding in both 2020 and 2021 to carry out fuel mitigation treatments and FireSmart community education activities that align with that plan.

Previous applications were submitted jointly with Neskonlith Indian Band. For the 2022 application, the City will be moving forward with its own application, and focusing entirely on FireSmart community education activities.

The activities proposed in the 2022 application are as follows:

- Update signage, social media, websites and/or newsletters, and community education materials or displays - \$10,000;

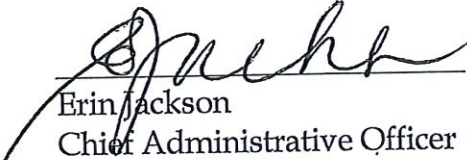
- Promote/ distribute FireSmart educational materials and resources - \$3,000;
- Organize and participate in a Wildfire Community Preparedness Day - \$2,000;
- Attend 2022 BC FireSmart Conference (2 firefighters) - \$1,850;
- Provide Local FireSmart Representative (LFR) Training (2 firefighters) - \$700;
- Complete 50 FireSmart Home Ignition Zone Assessments - \$6,300; and
- Reimburse CSRD Yard Waste Tipping Fee on tandem axle vehicles/trailers (10 loads) - \$1,200.

TOTAL - \$25,050.

The Fire Department, led by Chief Brad Shirley, will undertake the proposed activities and work collaboratively with the Columbia Shuswap Regional District on advertising and events. The Finance Department will manage the funds and submit all required reporting.

Information about the 2023 Community Resiliency Investment Program has not yet been released.

Respectfully Submitted,


Erin Jackson
Chief Administrative Officer

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Item 9.3

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council authorizes the submission of a bid package and letter of support for the 2024, 2025 and 2026 55+ BC Games;

AND THAT: Council commits to providing a cash contribution of \$60,000.00 as well as in-kind support of services and facilities with a deemed value of \$55,000.00 to the Games should the bid be successful.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council
DATE: June 21, 2022
SUBJECT: 55+ BC Games Bid

Recommended Motion:

THAT: Council authorizes the submission of a bid package and letter of support for the 2024, 2025 and 2026 55+ BC Games;

AND THAT: Council commits to providing a cash contribution of \$60,000.00 as well as in-kind support of services and facilities with a deemed value of \$55,000.00 to the Games should the bid be successful.

Background:

At the Special Council Meeting of November 29, 2021, Council allocated \$60,000.00 to a Senior Games Reserve for the purpose of submitting a bid to host a future 55+ BC Games in Salmon Arm.

Darby Boyd, General Manager of Shuswap Recreation Society, has been leading the application process in collaboration with Mayor Harrison, Councillor Cannon and Lana Fitt and Caitlin Thompson from Salmon Arm Economic Development Society. The group has received an outpouring of support from the community and presented to the School District on Tuesday, June 21 to request the use of venues and bussing during the event.

The Games will bring up to 4,000 registered participants from across BC to compete in 20-31 different sports competitions over 4 days. An event of this magnitude will necessitate the commitment of over 1,200 community volunteers, and as part of the letters of support

from community groups, we have identified a combined volunteer pool that exceeds this requirement. Core event activities include sports events, athlete registration, opening ceremonies, participant celebration, passing of the flag ceremony and volunteer appreciation event.

Dates:

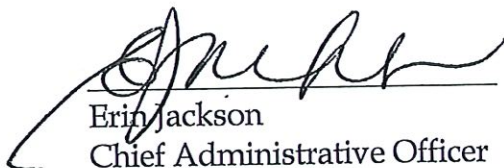
Wednesday, September 11 through Saturday, September 14, 2024; or

Wednesday, September 10 through Saturday, September 13, 2025; or

Wednesday, September 16 through Saturday, September 19, 2026.

The economic benefit to the community and surrounding area during the shoulder season would be substantial (+/- \$3million), but the opportunities for joint asset development, senior and youth partnerships and community pride and volunteerism are also tremendous.

Respectfully Submitted,



Erin Jackson
Chief Administrative Officer

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Item 9.4

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the Mayor and Corporate Officer be authorized to execute the Naming and Advertising Agreement for the Recreation Facility with Salmon Arm Savings and Credit Union and Shuswap Recreation Society, for a period of five (5) years, commencing May 1, 2022 to April 30, 2027.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison & Members of Council
Date: June 23, 2022
Subject: Naming and Advertising Agreement for the Recreation Centre

Recommendation:

THAT: the Mayor and Corporate Officer be authorized to execute the Naming and Advertising Agreement for the Recreation Facility with Salmon Arm Savings and Credit Union and Shuswap Recreation Society, for a period of five (5) years, commencing May 1, 2022 to April 30, 2027.

Background:

In 2005, Salmon Arm Savings and Credit Union (SASCU) entered into an agreement with the City of Salmon Arm to acquire the right to name the Recreation Centre (as "Salmon Arm Savings and Credit Union Recreation Centre") and install signage at the facility located at 2550 - 10 Avenue NE.

In 2016, upon the expiry of the 2005 agreement, the Shuswap Recreation Society (SRS) negotiated the Naming and Advertising Agreement with SASCU for a five year term ending December 31, 2021. SRS has now completed an RFP process for a new agreement (see attached report from SRS). Staff support the recommendation.

Respectfully Submitted,



Sue Wood
Director of Corporate Services



TO: His Worship Mayor Harrison and Members of Council
 FROM: David Knight, Arena Manager, Shuswap Recreation Society
 PREPARED BY: David Knight
 DATE: April 29th, 2022
 SUBJECT: **Proposed Naming Rights Sponsorship - Recreation Centre**

RECOMMENDATION:

THAT: Council accept SASCU Credit Union's proposal to retain the naming rights of the Recreation Centre be accepted on a 5 year term.

Background

We are seeking support from Council to accept the SASCU Credit Union proposal to retain the naming rights to the Salmon Arm Recreation Centre on a 5 year term from 2022-2027. A "Request for Proposal" (RFP) was opened to the public in April 2022 to garner interest from other potential community businesses and organizations.

SASCU Credit Union, established in 1946, offers personal and business services to nearly 20,000 community and business members through out the Okanagan. As part of their strategic plan, a main focus for the community lies within their "Building Healthy Community" initiative where they identify one of their priorities as Community Gathering and Youth – Sport and Arts.

The proposal entails a \$75,000 contribution for the 5 year term, which is a 50% increase from their previous contribution. The agreement would include signage in 6 locations of the Recreation Centre on the interior and exterior of the building. The agreement would also include the use of their logo on promotional materials published by the Salmon Arm Recreation and one event per year to be hosted in their name in connection with their "Building Healthy Community" initiative.

SASCU's historical management of the naming rights agreement for the Recreation Centre, along with their involvement and contribution to numerous other projects throughout the community over the last 20 years, is a testament to their statement – "it is not just where we work, it is where we live".

Respectfully submitted,

Prepared by: David Knight
 Arena Manager of the Shuswap Recreation Society

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Item 9.5

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council receive the City of Salmon Arm 2021 Annual Report for information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison & Members of Council
Date: June 15, 2022
Subject: 2021 Annual Report

Recommendation:

THAT: Council receive the City of Salmon Arm 2021 Annual Report for information.

Background:

The City of Salmon Arm 2021 Annual Report has been compiled pursuant to Section 98 of the *Community Charter*, which also requires that the report be made available for public inspection.

The report was available for viewing on the City's website on June 15, 2022 and hard copies were made available at the front counter of City Hall on June 15, 2022.

In addition, a notice was published in the Salmon Arm Observer on June 15 and 22, 2022 to advise that Council will consider submissions from the public about the report at the June 27, 2022, Regular Council Meeting.

A copy of the 2021 Annual Report has been distributed to Mayor and Council under a separate cover.

Respectfully Submitted,



Sue Wood
Director of Corporate Services

Item 9.6

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the 2022 Budget contained in the 2022-2026 Financial Plan be amended to include the following projects to be funded from the Canada Community-Building Fund in BC, 2022 Strategic Priorities Fund:

- \$1,500,000 Foreshore Main Renewal – Phase 2
- \$200,000 Transportation Master Plan

AND THAT: Council authorize submission of a grant application under the Canada Community-Building Fund in BC, 2022 Strategic Priorities Fund, for the following projects:

- Foreshore Main Renewal – Phase 2 (Capital Infrastructure Stream), estimated cost \$1,500,000 plus taxes
- Transportation Master Plan (Capacity Building Stream), estimated cost \$200,000 plus taxes.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



File: XXXX

TO: His Worship Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Jennifer Wilson, City Engineer

DATE: June 22, 2022

SUBJECT: **CANADA COMMUNITY-BUILDING FUND IN BC
2022 STRATEGIC PRIORITIES FUND**

STAFF RECOMMENDATION

THAT: The 2022 Budget contained in the 2022-2026 Financial Plan be amended to include the following projects to be funded from the Canada Community-Building Fund in BC, 2022 Strategic Priorities Fund:

- **\$1,500,000 Foreshore Main Renewal - Phase 2**
- **\$200,000 Transportation Master Plan**

AND THAT: Council Authorize Submission of a grant application under the Canada Community-Building Fund in BC, 2022 Strategic Priorities Fund, for the following projects:

- **Foreshore Main Renewal - Phase 2 (Capital Infrastructure Stream), estimated cost \$1,500,000 Plus taxes.**
 - **Transportation Master Plan (Capacity Building Stream), estimated cost \$200,000 Plus taxes.**
-

BACKGROUND

The Government of Canada, Province of BC and Union of BC Municipalities (UBCM) have recently announced a new intake for applications for the 2022 Strategic Priorities Fund (SPF).

Each eligible Local Government may submit two (2) applications: one (1) under the Capital Infrastructure stream and one (1) under the Capacity Building stream.

A SPF grant can fund up to 100% of the eligible cost of a project to a maximum amount of \$6,000,000. The application deadline for the SPF funding opportunity is June 30, 2022. All applications for funding require a resolution of Council indicating *"support for the proposed activities and willingness to provide overall grant management"*.

The following projects have been sourced from the City's short term infrastructure priority list and meet the grant criteria:

Capital Infrastructure Stream

Foreshore Main Renewal - Phase 2: The Foreshore Main Renewal - Phase 2 project is identified as a short-term priority through recent Strategic Planning efforts and Capital Planning Priorities. The project involves lining approximately 780m of 500mm diameter asbestos concrete sanitary main located within the foreshore of Shuswap Lake, internal reconstruction of three manholes and construction of an access road.

SPF Category: Wastewater

Other projects:

Staff considered three other projects for this grant; however, the projects were discounted for this grant due to the following reasons: Lakeshore Road Improvement Project includes tight timelines and borrowing of Capital funds, so if the grant was unsuccessful the project would be delayed a minimum of two years; Zone 2 Booster Station has the same concerns as Lakeshore and additionally, the Opinion of Probable Cost is not yet available; and Zone 5 Booster Station the borrowing process has already commenced. No other projects were considered a higher priority than the above noted projects.

Capacity Building Stream

Transportation Master Plan: The Transportation Master Plan has been identified as a short-term priority through recent Strategic Planning efforts and Capital Planning Priorities and is the last outstanding Master Plan that would inform a long-term financial plan update. With the completion of the Active Transportation Master Plan anticipated in 2022, it will be excellent timing to carry on the transportation planning exercise in 2023.

SPF Category: Long-term Infrastructure Planning


Other Projects:

Other projects that could be applied for under the Capacity Building stream would be Asset Management projects as defined within the Service Delivery Management Roadmap such as Facility Inventory and Condition Assessments and Enterprise Information Systems Evaluation; the Water Master Plan update; or the Dam Safety Review update.

STAFF COMMENTS

Staff recommend that the Financial Plan be amended to include the Foreshore Main Renewal - Phase 2 in the amount of \$1,500,000 Funded from the Canada Community-Building Strategic Priorities Fund, Capital Infrastructure stream and the Transportation Master Plan in the amount of \$200,000 funded from the Capacity Building Stream and that a grant application be submitted for the same.

Respectfully submitted,


per: Robert Niewenhuizen, ASCT

Director of Engineering and Public Works

Item 11.1

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fire Prevention and Fire Department Amendment Bylaw No. 4534 be read a final time.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

TO: His Worship Mayor Harrison and Members of Council
DATE: May 4, 2022
SUBJECT: Amendment to Fire Prevention and Fire Department Bylaw No. 3792

MOTION FOR CONSIDERATION:

THAT: City of Salmon Arm Fire Prevention and Fire Department Amendment Bylaw No. 4534 be read a first second and third time.

BACKGROUND:

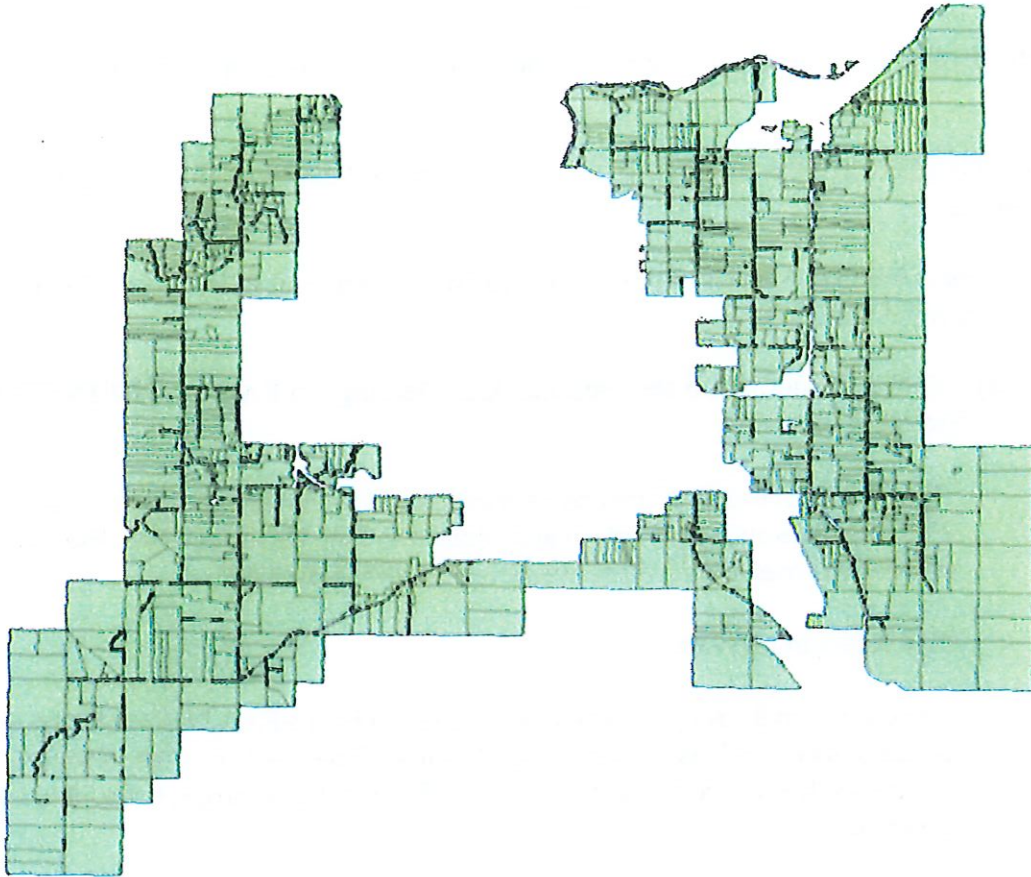
City of Salmon Arm Fire Prevention and Fire Department Bylaw No. 3792 currently does not include provisions for burning that may be required by the owners of properties with Wildfire Covenants to facilitate mitigation of the fuel loads on their rural properties.

Wildfire Covenants are common throughout BC. Section 6.3.6 of the City's Official Community Plan reads as follows:

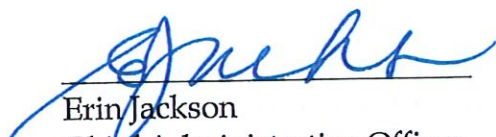
In consideration of potential wildfire, lands outside the Urban Containment Boundary (Map 4.1 Urban Containment Boundary), will be required, as a condition of subdivision approval or issuance of a building permit, to register a Land Title Act s. 219 restrictive covenant on title. The covenants notify land owners that the land may be at the risk of a wildfire, and that they should take appropriate precautions in accordance with Fire Smart principles. The covenants also save the City harmless in the event of a wildfire event.

As such, staff believe that charging for a permit in these circumstances may create a barrier to wildfire fuel mitigation efforts on rural properties and recommend adding this definition under the Special Open Burning category. While there will be no charge to the property owner for these permits, properties under application for subdivision are not eligible as the intent is not to facilitate land clearing for development purposes. All of the same stipulations will apply to this type of burning, therefore there is no additional risk introduced by approving this amendment.

There are approximately 76 properties that have Wildfire Covenants, and 1,301 properties outside of the Urban Containment Boundary (UCB) that the covenants could be applied to. The number of covenants is relatively low because subdivision and development is restricted outside of the UCB.



Respectfully Submitted,


Erin Jackson
Chief Administrative Officer

CITY OF SALMON ARM

BYLAW NO. 4534

A bylaw to amend the Fire Prevention and Fire Department Bylaw No. 3792

WHEREAS it is deemed expedient to amend the Fire Prevention and Fire Department Bylaw;

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. "City of Salmon Arm Fire Prevention and Fire Department Bylaw No. 3792" is hereby amended as follows by:

- a) deleting the definition for "Special Open Burning" in **PART 1 DEFINITIONS**, Section 1 that reads:

"Special Open Burning" means a permit issued by the Fire Chief to address special circumstances such as Western and Mountain Pine Beetle or other diseased, dead or infested trees and or wood waste from a wild fire event;

And replacing it with:

"Special Open Burning" means a permit issued by the Fire Chief to address special circumstances such as Western and Mountain Pine Beetle or other diseased, dead or infested trees, wood waste from a wild fire event, and properties with a wildfire covenant;

- b) adding item 12 in its appropriate location to **PART 4 GENERAL**, 11 Special Open Burning that reads:

12. Special permits may be issued on properties with a wildfire covenant if deemed to be for the reason of fuel mitigation. Special permits will not be granted for properties under application for subdivisions.

2. SEVERABILITY

If any part, section, sub-section, clause, or sub-clause of this bylaw for any reason is held to be invalid by the decision of a Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited for all purposes as "City of Salmon Arm Fire Prevention and Fire Department Amendment Bylaw No. 4534"

READ A FIRST TIME THIS	13	DAY OF	JUNE	2022
READ A SECOND TIME THIS	13	DAY OF	JUNE	2022
READ A THIRD TIME THIS	13	DAY OF	JUNE	2022
ADOPTED BY COUNCIL THIS		DAY OF		2022

MAYOR

CORPORATE OFFICER

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Item 11.2

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zone 5 Booster Station Temporary Borrowing Bylaw No. 4543 be read a final time.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

To: Mayor Harrison and Members of Council
 Date: June 1, 2022
 From: Chelsea Van de Cappelle, Chief Financial Officer
 Subject: Loan Authorization Bylaw No. 4502 – Zone 5 Booster Station

Recommendation:

THAT: The Certificate of Sufficiency regarding the City of Salmon Arm Zone 5 Booster Station Loan Authorization Bylaw No. 4502 be received;

AND THAT: Bylaw No. 4502 cited as the "City of Salmon Arm Zone 5 Booster Station Loan Authorization Bylaw No. 4502", be reconsidered and adopted;

AND THAT: Bylaw No. 4543 cited as the "City of Salmon Arm Zone 5 Booster Station Temporary Borrowing Bylaw No. 4543", be given three (3) readings.

Background:

Council was presented with a report in February 2022, which identified the need to replace and upgrade the Zone 5 Booster Station. The following table summarizes the total estimated costs to undertake the construction of the Zone 5 Booster Station upgrade, with the net costs to be funded by long term debt:

Description	Cost
Construction Costs	\$ 1,923,000.00
Engineering (15%)	288,500.00
Contingencies (15%)	288,500.00
Borrowing Costs	<u>23,000.00</u>
Total Costs	2,523,000.00
Less: Development Cost Charges	<u>(225,000.00)</u>
Net Costs	\$ 2,298,000.00

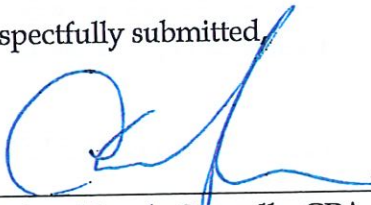
Elector Assent is required to undertake long-term borrowing. The City proceeded with obtaining assent through the Alternative Approval Process. Notice of the approval process was published in the newspaper on April 20 and 27, 2022.

As outlined in the attached Certificate of Sufficiency, the number of Elector Responses requesting Council not to proceed with the borrowing of \$2,298,000.00 for the construction of the replacement Zone 5 Booster Station and related works does not meet the minimum requirements. As a result, Council may now adopt Loan Authorization Bylaw No. 4502.

The City intends to fund the project utilizing the temporary borrowing provisions (Section 181) of the *Community Charter*. Temporary borrowing may only be accessed once Council has adopted the loan authorization bylaw and obtained the necessary approvals. Under temporary borrowing, the City will be responsible for monthly interest (at a variable rate) only on any outstanding balance.

Once the project is complete, the City will transfer the outstanding balance to long-term borrowing. It is anticipated that this will occur in the fall of 2022 or spring of 2023. At this time a further report will be brought forward to Council to pass a Security Issuing Resolution pursuant to Section 182 of the *Community Charter*. This will allow the City to access the long term bond market. Access to the long term bond market is undertaken by the Municipal Finance Authority (MFA) twice annually (Spring and Fall). Once the long term bond market is accessed, the interim financing will be paid in full.

Respectfully submitted,



Chelsea Van de Cappelle, CPA

CORPORATE OFFICER'S CERTIFICATE (Form CO1)

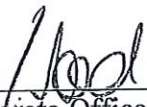
The **City of Salmon Arm** (the "Local Government")

The undersigned, Corporate Officer, as the person responsible for corporate administration of the Local Government under section 148 of the *Community Charter* (the *Charter*) or section 236 of the *Local Government Act*, hereby certifies as follows:

1. That Loan Authorization Bylaw No. 4502 (the "Loan Authorization Bylaw") was duly and properly enacted in accordance with the provisions of the local government legislation at a duly constituted meeting of the Local Government in accordance with the requirements of the Local Government's applicable procedure bylaw and at which a quorum was present and acting throughout. **(Attached is an adopted copy of the Loan Authorization Bylaw)**
2. That the Loan Authorization Bylaw has not been amended or repealed and is in full force and effect as at the date hereof.
3. That the Local Government has obtained the approval of the electors under section 180 of the *Charter* or section 407 of the *Local Government Act* for the adoption of the Loan Authorization Bylaw by one of the following methods:
 - ☐ **Assent of the electors** was obtained by a vote held on the _____ day of _____, 20____ and the chief election officer published notice of the voting in a newspaper on the _____ day of _____, 20____. Or, if publication in a newspaper was not practicable, the notice was given to the public by alternative means being _____ on the _____ day of _____, 20____. **(A copy of the notice is attached)** or;
 - ☒ An **alternative approval process** and for that purpose notice was published in two separate issues of a newspaper and the date of the last publication of the notice was the 27th day of April, 2022. Or, if publication in a newspaper was not practicable, the notice was given by alternative means being _____ on the _____ day of _____, 20____ **(A copy of the notice is attached)** or;
 - ☐ A **petition** in relation to a municipal local area service or in relation to a regional district electoral area service that was requested by the area electors and the petition contemplated the borrowing or;

- ☐ A **council initiative** in relation to a municipal local area service and for that purpose notice was published in two separate issues of a newspaper and the date of the last publication of the notice was on the _____ day of _____, 20_____. Or, as publication in a newspaper was not practicable, the notice was given by alternative means being _____ on the _____ day of _____, 20_____. (A copy of the notice is attached)
- ☐ For municipal participating area that is all of the municipality, consent given in accordance with section 346 [*consent on behalf of municipal participating area*] of the *Local Government Act*.
4. No application has been made or action or proceeding brought to quash or to set aside the Loan Authorization Bylaw under section 623 of the *Local Government Act* or otherwise and the validity of the Loan Authorization Bylaw has not been attacked, questioned or adjudicated in any court and to the best of the knowledge of the undersigned no such action is pending or has been threatened and the undersigned knows of no objections to the validity of the Loan Authorization Bylaw.

DATED this 1 day of JUNE, 2022.


Corporate Officer

SUE WOOD
(Please print full name)

CITY OF SALMON ARM

BYLAW NO. 4543

A bylaw to authorize temporary borrowings pending the sale of debentures

WHEREAS under the provisions of Section 181 of the Community Charter, Council may, where it has adopted a loan authorization bylaw, without further assent or approvals, borrow temporarily, by the issue of temporary securities or by pledging with the lender the issued and unsold debentures, money not exceeding the difference between the total amount authorized by the loan authorization bylaw and the amount already borrowed in relation to that bylaw;

AND WHEREAS the Council has adopted Bylaw No. 4502, cited as the "City of Salmon Arm Zone 5 Booster Station Loan Authorization Bylaw No. 4502", authorizing the construction of the replacement Zone 5 Booster Station and related works and subsequent borrowing in the amount of \$2,298,000.00.

AND WHEREAS the sale of the said debentures has been temporarily deferred;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled, enacts as follows:

1. The Council is hereby authorized and empowered to borrow from the Municipal Finance Authority an amount or amounts not exceeding the sum of \$2,298,000.00, as the same may be required.
2. The form of the obligation to be given as an acknowledgement of the liability shall be a promissory note or notes bearing the corporate seal and signed by the Mayor and the Chief Financial Officer.
3. The money so borrowed shall be used solely for the purpose set out in said Bylaw No. 4502.
4. The proceeds from the sale of the debentures or so much thereof as may be necessary shall be used to repay the money so borrowed.
5. SEVERABILITY

If any part, section, sub-section, clause, or sub-clause of this bylaw for any reason is held to be invalid by the decision of a Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remaining portions of this bylaw.

6. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

7. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

8. CITATION

This bylaw may be cited as "City of Salmon Arm Zone 5 Booster Station Temporary Borrowing Bylaw No. 4543."

READ A FIRST TIME THIS	13	DAY OF	June	2022
READ A SECOND TIME THIS	13	DAY OF	June	2022
READ A THIRD TIME THIS	13	DAY OF	June	2022
ADOPTED BY COUNCIL THIS		DAY OF		2022

MAYOR

CORPORATE OFFICER

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Item 11.3

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4526 be read a final time.

[Struk, K. & C.; 6841 46 Street NE; R-1 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: May 2, 2022

Subject: Zoning Bylaw Amendment Application No. 1239

Legal: Lot 1, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597
 Civic Address: 6841 46 Street NE
 Owner/Applicant: K. & C. Struk

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite.

BACKGROUND

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	single family dwelling	Zoned R1
South:	single family dwelling (under construction)	Zoned R8
East:	single family dwelling (under construction)	Zoned R8
West:	vacant lot (future subdivision)	Zoned R1

The subject property is 849.4 m² in area/size. A 24'x56' (1,344ft²) lower floor foundation with a manufactured home above is being proposed, as permitted in the proposed R-8 zone. The proposed basement suite (finished floor area) is 537 ft². The plans show that the entrance to the proposed suite will be on the east side of the building. Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite within the eventual driveway.

The site contains a 6.0 m Statutory right of way along the east property line (adjacent to 46 Street NE), as well as a 21.348 m wide (329.5 m²) covenant on the west side of the property. The right of way protects BC Hydro and Power Authority utility connections, while the covenant area is intended for Geotech/steep slope-related purposes. The proposed development will not impact either of these areas. To date, there are

currently two other properties in this subdivision that were recently rezoned from R1 to R8 (6821 and 6840 46 Street NE) and approximately ten (10) other R8 properties within the greater Canoe community. Site photos are attached, in Appendix 6.

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTS

FortisBC

FortisBC has no issues with this proposal.

Building Department

New construction, no concerns. BCBC applies.

Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

Engineering Department

No engineering concerns.

Fire Department

No Fire Department concerns.

Public Consultation

Pursuant to the *Local Government Act* and *City of Salmon Arm Zoning Bylaw* notices are mailed to land owners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the statutory public Hearing. The notices outline the proposal and advises those with an interest in the proposal to provide written submission prior to the Statutory Public Hearing and information regarding attending the Hearing. It is expected that the Hearing for this application will be held on June 13, 2022.

Planning Department

Based on the parcel area and considering the right of way and covenant area, the subject property still has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements. Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

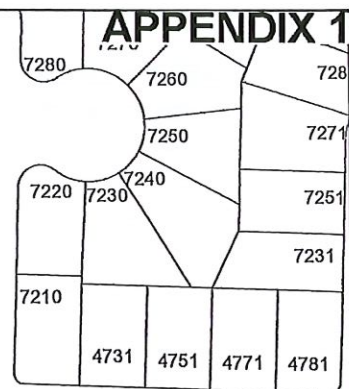
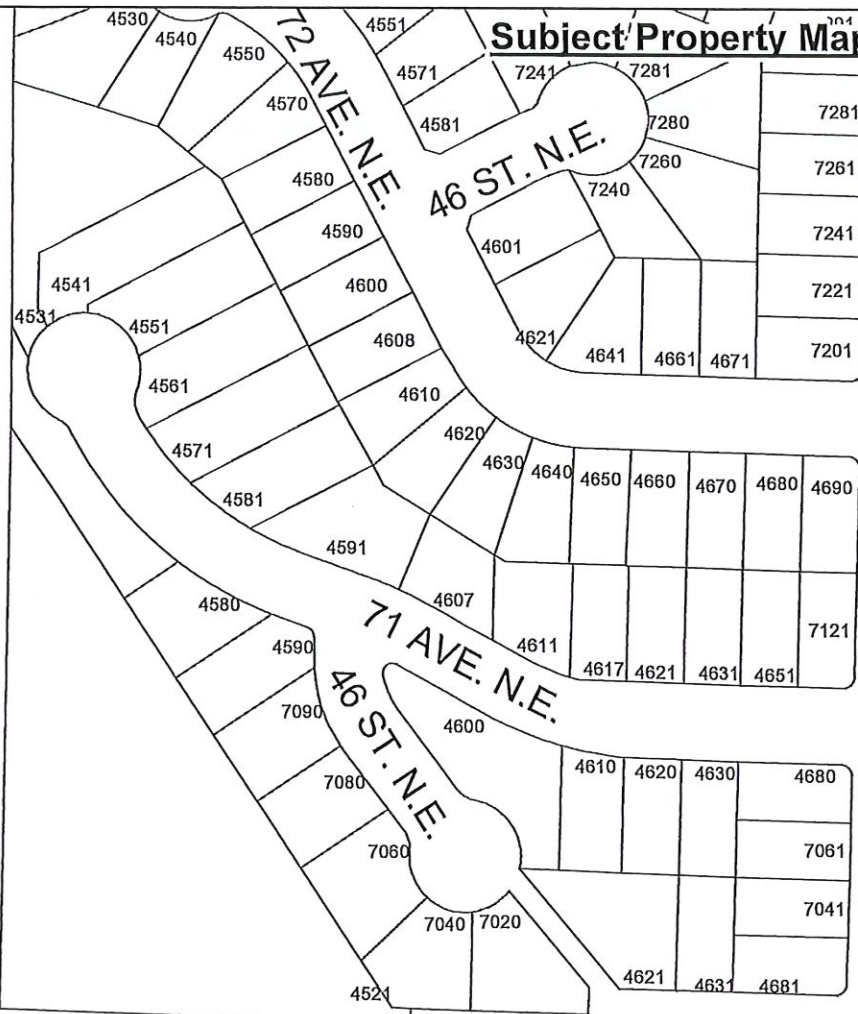

Prepared by: Evan Chorlton
Planner I


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

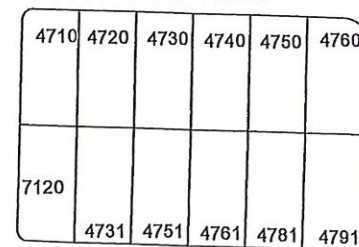
P74

Subject Property Map

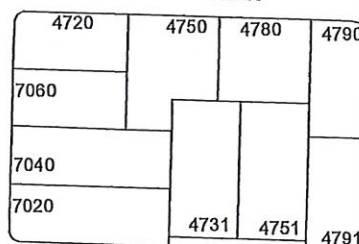
APPENDIX 1



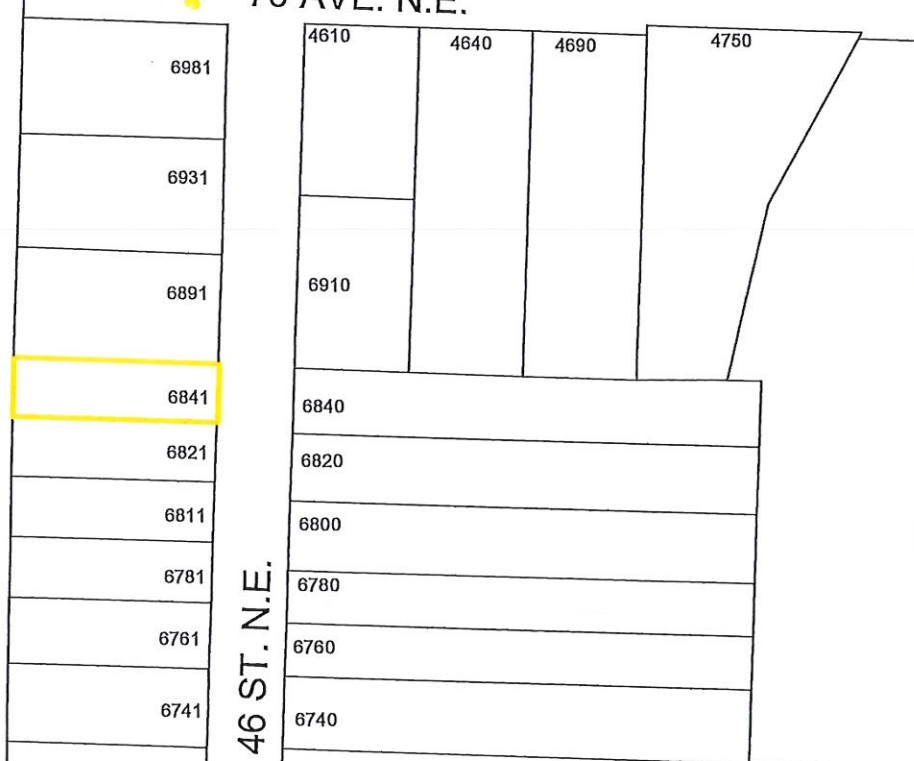
72 AVE. N.E.



71 AVE. N.E.



70 AVE. N.E.

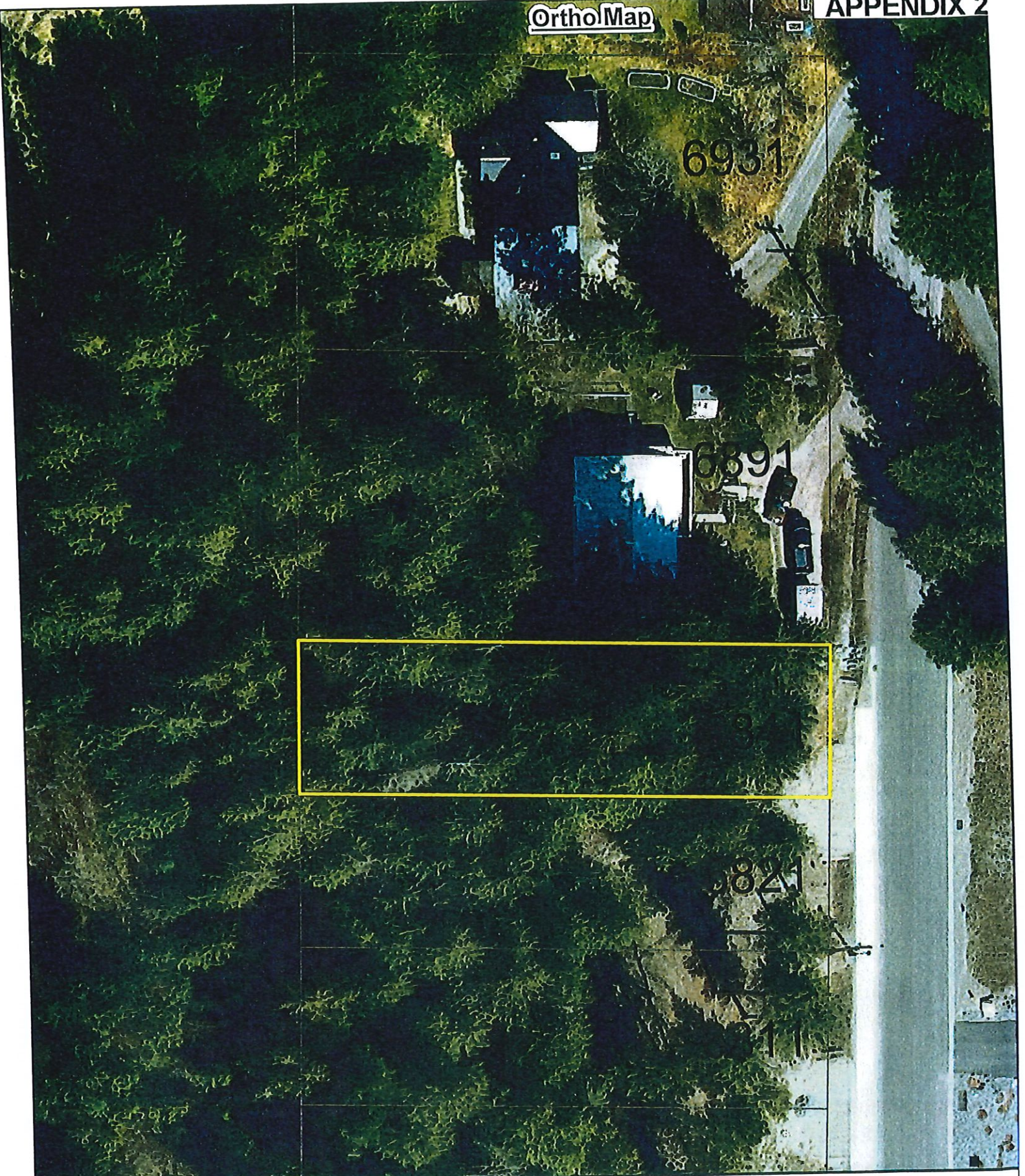


46 ST. N.E.



0 10 20 40 60 80 Meters

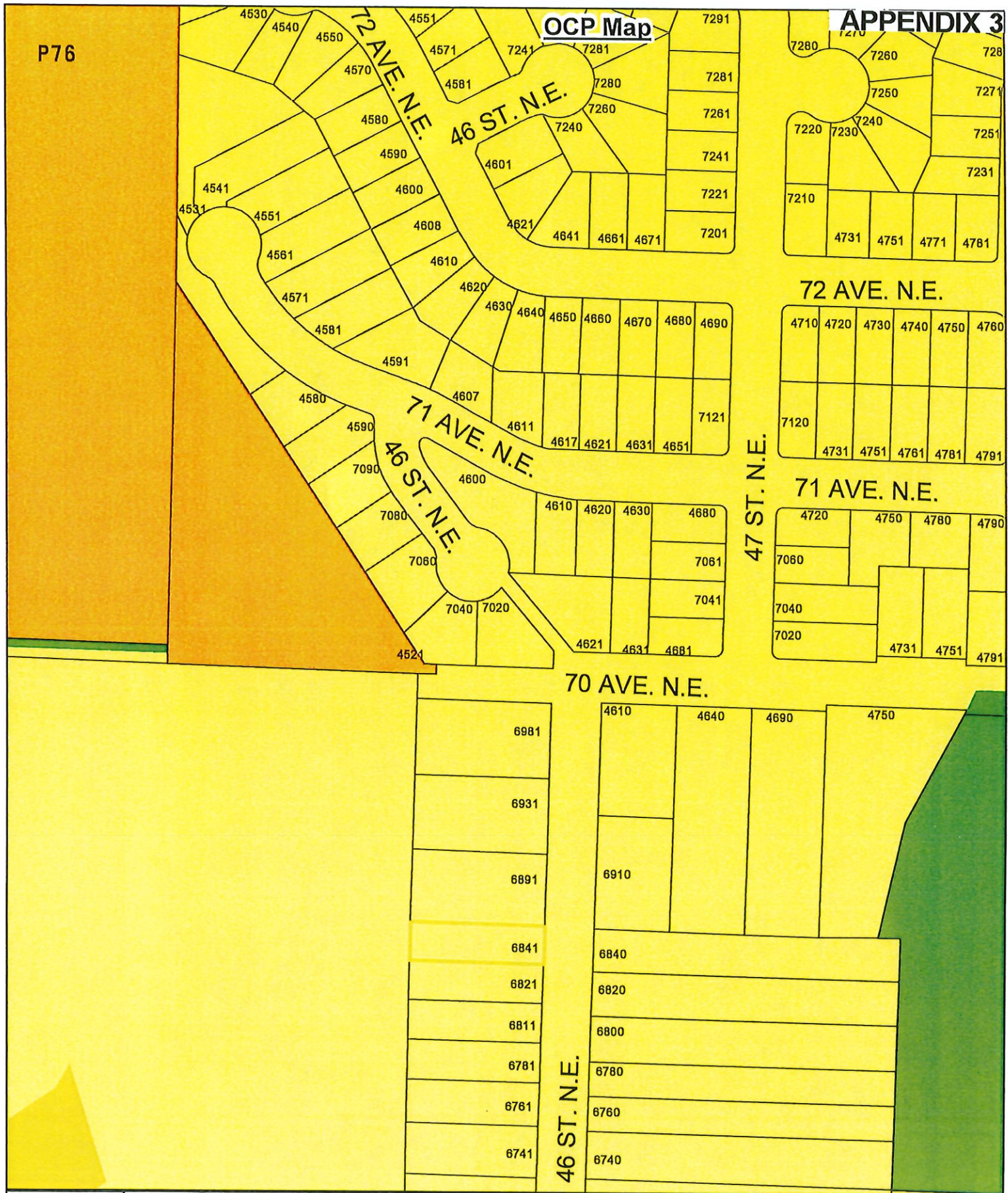
Subject Property
Parcels



0 2.5 5 10 15 20 Meters

 Subject Property

 Parcels



P76

OCP Map

APPENDIX 3



- Subject Property
- Parcels
- Community Park
- Residential - Low Density
- Neighbourhood Park
- Residential - Medium Density
- Park

Zoning Map

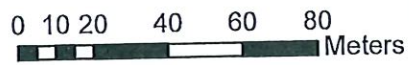
APPENDIX 4



47 ST. N.E.

70 AVE. N.E.

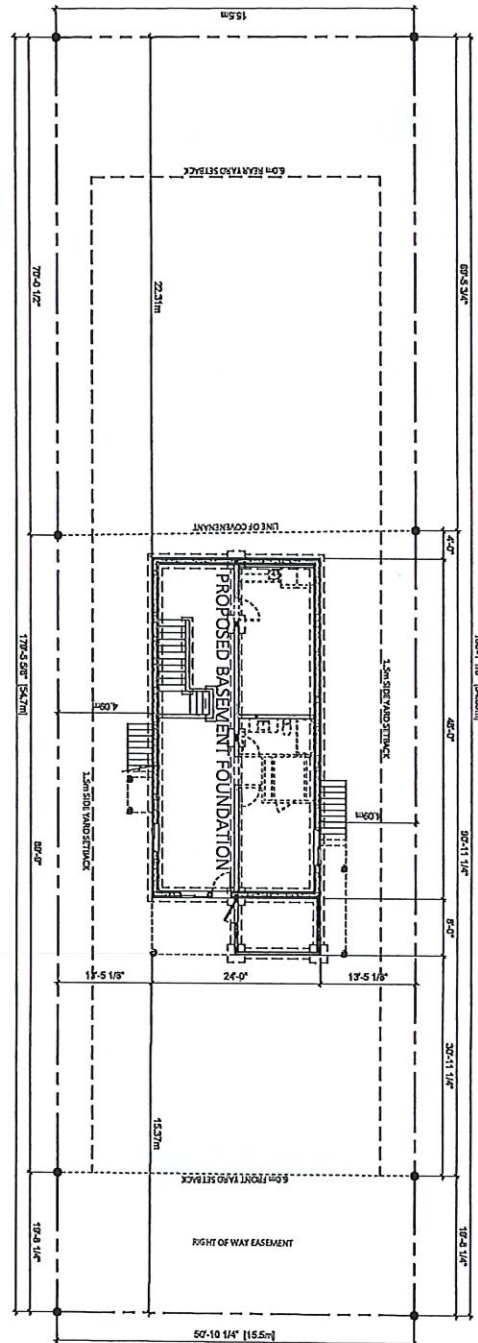
46 ST. N.E.



- Subject Property
- Parcels
- P-1
- R-8
- R-1

SITE ADDRESS:
 20806 N. 4th - SHELTER FAMILY REHABILITATION
 TOTAL LOT AREA = 3.3 ACRES
 MAX. PAVED DRIVEWAY = 45 FT.
 CONCRETE AS PAVED = 1,250 SQ. FT.
 MODIFIED
 MAX. HEIGHT = 18 ft.
 MAX. WIDTH = 12 ft.
 MAX. DIST. FROM DRIVEWAY = 4 ft.
 MAX. DIST. FROM DRIVEWAY = 1.5 ft.
 MAX. WIND EXPOSURE CONFINED
 2500 SQ. FT.
 12 ft.
 2000 ft.
 22 ft.

LEASE DISCLOSURE:
 6441 4th STREET N.E.
 SALMON ARIZ., AZ
 LOT 7 PLAN 07050507, 22070
 SCALE: 1/8" = 1'-0"
SITE PLAN



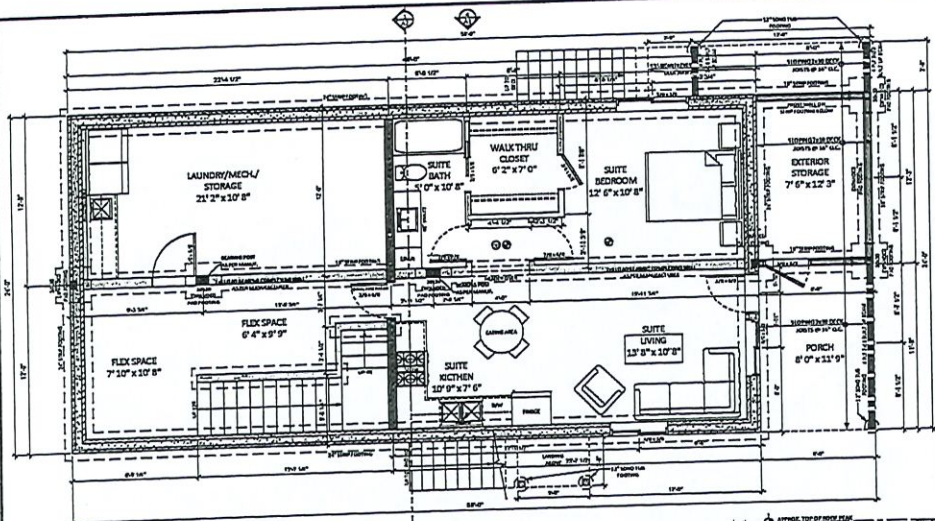
A1

SHEET TITLE SITE PLAN			PROJECT NAME MANUFACTURED HOME - BASEMENT		
SCALE 1/8" = 1'-0"	DATE: YYYYMMDD 2021-04-07	SERIES FOR: SUITE DRAWING	DRAWN BY RK		
LEGAL DESCRIPTION: 6841 46 STREET NE, SALMON ARM, BC LOT 1 PLAN EPP180597, KODY					
NOTES:					

RK | STUDIO

RESIDENTIAL DESIGN AND DRAFTING

1340 KLOPPENBURG RD., KELOHWA, BC
(780) 417-6973 or (403) 461-1607

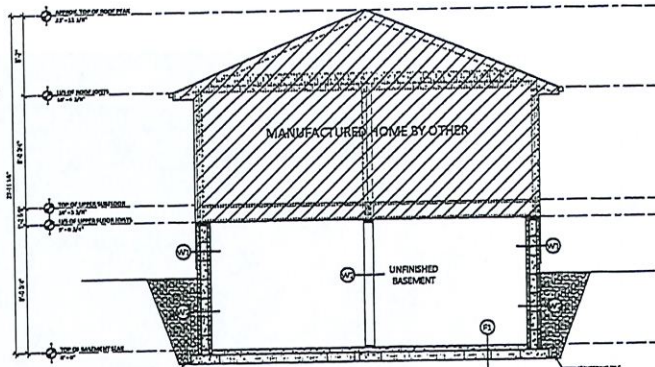


TOTAL LOWER FLOOR AREA: 1,091 SQ.FT.
SUITE FINISHED FLOOR AREA: 537 SQ.FT.
EXTERIOR STORAGE AREA: 98 SQ.FT.

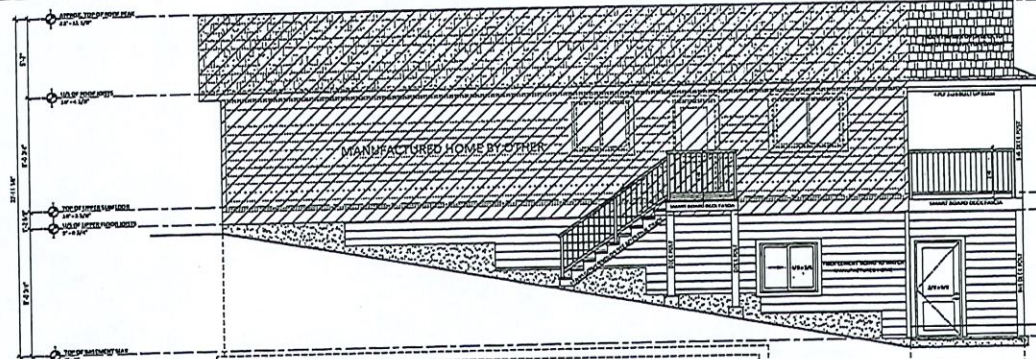
LOWER FLOOR/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

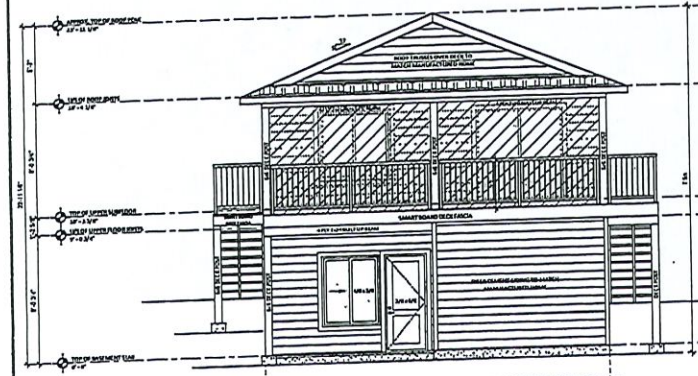
- [illegible]



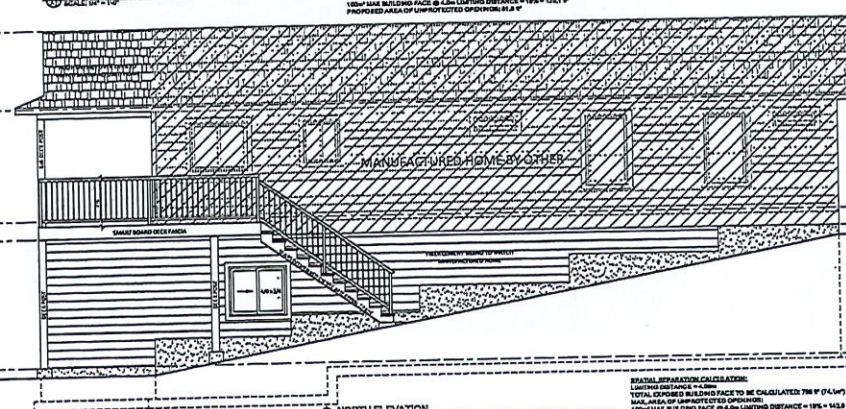
 TYP. CROSS SECTION



SOUTH ELEVATION



FAST ELEVATION.



NORTH ELEVATION

RK|STUDIO
RESIDENTIAL DESIGN AND DRAFTING
1760 KLOPPENBURG RD. XELOWNA, BC
(250) 317-6875 ryan@rkstudio@gmail.com

PROJECT NAME: MANUFACTURED HOME - BASEMENT

LOWER FLOOR

A2

LOT 1 PLAN EPP10897, KDYD

APPENDIX 6



CITY OF SALMON ARM

BYLAW NO. 4526

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on June 13, 2022 at the hour of 7:00 p.m. was published in the June 1 and 8, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4526"

READ A FIRST TIME THIS 24th DAY OF MAY 2022

READ A SECOND TIME THIS 24th DAY OF MAY 2022

READ A THIRD TIME THIS 13th DAY OF JUNE 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE 16 DAY OF JUNE, 2022

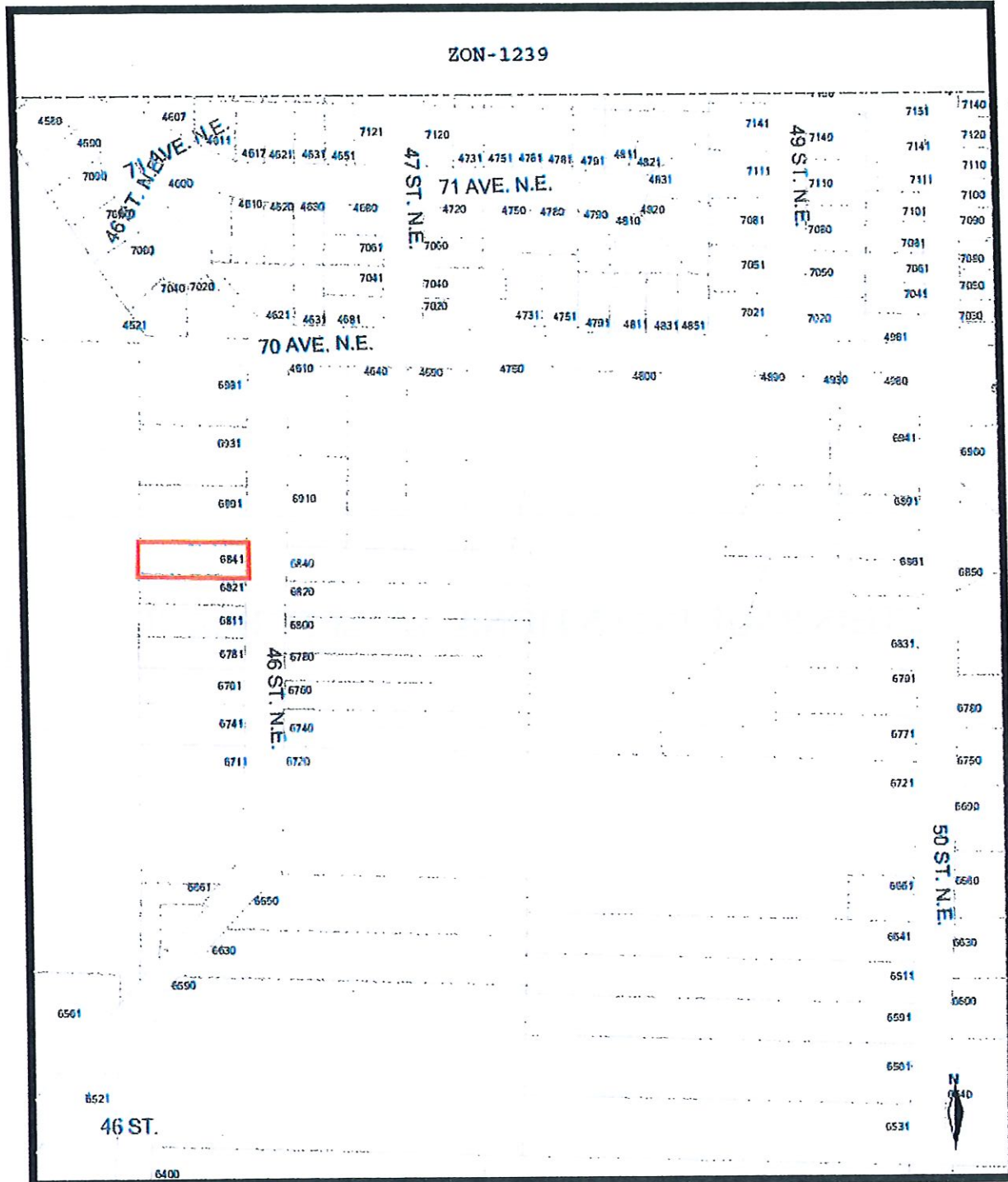
Elizabeth Keam
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



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INFORMATIONAL CORRESPONDENCE – June 27, 2022

- | | | |
|-----|--|---|
| 1. | J. McEwan, Chair, School of Public Administration, Local Government Programs, Capilano University – letter dated June 17, 2022 – Corinne Boback’s graduation from Capilano University’s Local Government Program | N |
| 2. | M. Bradcoe & J. Wittstock, Founding Members, Shuswap Pride Society – letter dated May 20, 2022 – Picnic/BBQ at Marine Peace Park, Saturday, August 13, 2022 | A |
| 3. | D. Podlubny, Director, Shuswap Association for Rowing and Paddling – letter dated January 31, 2022 – Purple-Air Sensor at Canoe Beach | S |
| 4. | J. Skinner, Ye Old Curiosity Shoppe – email dated June 18, 2022 – closing off street for Farmers Market | R |
| 5. | J. Evans, Early Years Family Navigator and Outdoor Play Facilitator, Shuswap Children’s Association – letter dated June 17, 2022 – Children’s Outdoor Recreation Program for July and August at Blackburn Park | A |
| 6. | J. Broadwell, Manager, Downtown Salmon Arm – letter dated June 14, 2022 – Theatre on the Edge Festival Use of Salmar Lot, West Side, July 15-17, 2022 | A |
| 7. | R. Scott, DZO, Skydive Salmon Arm, NOVA – letter dated June 21, 2022 – 2022 Skydiving Boogie Event – September 2 nd – 5 th | A |
| 8. | P. Schmidt, Box Office Manager & Fundraising Associate, Caravan Farm Theatre – email dated June 13, 2022 – Caravan Farm Theatre Sponsorship 2022 | R |
| 9. | M. Solin, email dated June 21, 2022 – Salmon Arm landscaping and growth | R |
| 10. | R. Ready, Grade 9 French Immersion Teacher, J.L. Jackson Secondary – 5 letters dated June 14 & 21, 2022 – new flag ideas | N |
| 11. | E. Vieira, Program Manager, Shuswap Watershed Council – email dated June 14, 2022 – Draft meeting summary June 8, 2022 | N |
| 12. | D. Kayne, Chair, BC Council of Forest Industries – letter dated June 13, 2022 – New President and CEO of the BC Council of Forest Industries | N |
| 13. | Office of the Medical Officers, Interior Health – letter dated June 8, 2022 – Mitigation of extreme heat and wildfire smoke event | N |
| 14. | A. Barford, Canada Shipping Campaigner, Stand.earth – letter dated June 17, 2022 – Motion at UBCM Protecting BC Coasts From Acidic Washwater Dumping being brought forward by Vancouver | N |
| 15. | W. Beamish, Mayor of Gibsons – letter dated June 16, 2022 – Hospice Services Funding – UBCM resolution from Town of Gibsons | N |
| 16. | A. Todosichuk, Executive Director, Corporate Policy and Priorities Branch, Ministry of Agriculture and Food – letter dated June 17, 2022 – Amendments to the Agricultural Land Reserve Use Regulation | N |
| 17. | J. Cote, Mayor, Corporation of the City of New Westminster- letter dated June 21, 2022 – Library Funding UBCM Resolution | N |

N = No Action Required
A = Action Required

S = Staff has Responded
R = Response Required

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Item 19.1

CITY OF SALMON ARM

Date: June 27, 2022

OTHER BUSINESS

June 13, 2022 Notice of Motion - Councillor Lavery - 2022 Shuswap Trails Roundtable Event

THAT: \$1,500.00 be allocated from Council Initiatives for the 2022 Shuswap Trails Roundtable event.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 22.1

CITY OF SALMON ARMDate: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. 443 be authorized for issuance for Parcel A (DD 136157F Plan B6396) of Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan 4550, Except Plan H401, KAP55184, KAP69718, KAP78951 and EPP7474 (2800 10 Avenue (TCH) SW) in accordance with the Development Permit drawings attached as APPENDIX 5 to the staff report dated June 15, 2022;

AND THAT: Development Permit No. 443 vary Zoning Bylaw No. 2303 for Building 1 as shown in the drawings attached as APPENDIX 5 as follows:

1. Section 17.8.2 – Minimum Interior Parcel Line setback of 1.0m reduced to 0.0m;

AND FURTHER THAT: Issuance of Development Permit No. 443 be withheld subject to receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for landscaping.

[Blanleil Cranbrook Holdings Ltd; 2800 10 Avenue (TCH) SW; Form and Character]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: June 15, 2022

Subject: Development Permit Application No. 443 (Form and Character)
Civic Address: 2800 10 Avenue (TCH) SW
Owner/Applicant: Blaneil Cranbrook Holdings Ltd.

MOTION FOR CONSIDERATION:

THAT: Development Permit No. 443 be authorized for issuance for Parcel A (DD 136157F Plan B6396) of Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan 4550, Except Plan H401, KAP55184, KAP69718, KAP78951 and EPP7474 (2800 10 Avenue (TCH) SW) in accordance with the Development Permit drawings attached as APPENDIX 5;

AND THAT: Development Permit No. 443 vary Zoning Bylaw No. 2303 for Building 1 as shown in the drawings attached as APPENDIX 5 as follows:

1. Section 17.8.2 – Minimum Interior Parcel Line setback of 1.0m reduced to 0.0m;

AND FURTHER THAT: Issuance of Development Permit No. 443 be withheld subject to receipt of an Estimate and Irrevocable Letter of Credit (in the amount of 125% of the Estimate) for landscaping.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

To review the Development Permit package attached as Appendix 5. The applicant is proposing a commercial development consisting of three buildings, two of the buildings include drive thru services.

BACKGROUND

The subject property is located on the west side of the town center, within a Highway Commercial Corridor area described as per Official Community Plan (OCP) Section 9.3.18 (a). Further, in the OCP the subject property is designated within the Commercial Highway Service/Tourist Development Permit area and the Urban Containment Boundary. It is zoned C3 (Service Commercial Zone) in Zoning Bylaw No. 2303. The subject property is approximately 5900m² (1.45ac) and is currently vacant.

Adjacent Land Uses/Development:

North:	Trans Canada Highway & Smart Centres Development	Zoned CD8
South:	Industrial Concrete Facility	Zoned M1
East:	Building Supply Establishment	Zoned C3
West:	Retail Sales	Zoned C3

As noted in the recommendation, the proposal includes a variance request to reduce the required interior parcel line setback from 1.0m to 0.0m to accommodate the proposed Building 1 (Appendix 5). There are no other variance requests. The proposed commercial uses (*retail sales and restaurant*) are permitted uses in the C3 zone.

COMMENTS

Building Department

The Building Department has no concerns with the proposed development, noting that the buildings labelled 1 and 3 would be considered Part 3 Buildings requiring full professional review. The review would include an assessment for the level of fire separation needed given the proximity to the property line for both buildings.

At the time of Building Permit, Development Cost Charges are calculated based on the gross area of the proposed building as per the Commercial DCC rate (\$34.65 per m²/\$3.22 per ft²).

Fire Department

No concerns.

Engineering Department

Comments provided by the Engineering Department are enclosed as Appendix 6. The road fronting the subject property is included in the Trans Canada Highway #1 four-laning and upgrade project. Frontage improvements are to be completed through the Ministry of Transportation and Infrastructure (MOTI) as part of the project and frontage improvements will not be required of the developer.

Design Review Panel (DRP)

At their June 9, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports application DP No. 443 subject to the consideration of the following conditions:

- along the north facing wall (highway side) of Building 2, rock treatment from the bottom of the building to the roof line for the centre section.
- the inclusion of lighting on the outside of building similar to the samples provided by the applicant."

The applicant has worked with staff and been amenable to revise their proposal to align with the OCP Guidelines and the DRP recommendations. Specifically, the applicant amended the landscape plan to address tree locations and plantings, and as per the recommendation of the DRP, the applicant amended the drawings to include the rock detail on the north side of Building 2 to improve the building face and highway exposure. Additionally, the applicant has committed to install the lighting as per the examples provided in the Development Permit application package.

Public Consultation

Pursuant to the *Local Government Act* and City of Salmon Arm Development Permit Procedures Bylaw notices are mailed to land owners within a 30m radius of the application. The notices outline the proposal and advises those with an interest in the proposal to provide written submission prior to the Hearing and information regarding attending the Hearing. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

Official Community Plan (OCP)

OCP Section 9.3.18(a) describes the Highway Commercial Corridor as an area oriented toward vehicle service and retail warehousing uses. For development within the Highway Service/Tourist Commercial Development Permit Area the OCP requires the issuance of a Development Permit. The Development Permit approval process is an opportunity to review and address any issues with internal traffic circulation, site access and site egress, as well as, form and character and landscaping of the proposed development. OCP Section 9.6 describes the Guidelines for the Highway Service/Tourist Commercial Development Permit area.

Siting and Building

The proposed development consists of three separate contemporary styled commercial buildings. Proposed Building 1 is to be 929m² (9669ft²), proposed Building 2 is to be 472m² (5076ft²), and proposed Building 3 is 219m² (2256ft²). The buildings are oriented toward the frontage road with parking oriented away from the frontage road. Each building appears to be of high quality materials with articulated faces and varied height that adds architectural interest. Each building has well defined entrances, lighting and windows. All elements of the building design, massing and siting are consistent with the OCP guidelines.

Landscape and Screening

The landscape plan has been completed in consultation with the OCP guidelines. The landscape plan includes street trees along the frontage road (five London Plane trees) and areas of shrubs and low level landscaping areas within the development site that are consistent with the OCP guidelines and "Fire Smart" recommendations for plant species and spacing. A screened refuse and recycling area is provided (along the east parcel line in between the Building 1 and 3, see Site Plan). Should Council support the Development Permit with variance a landscape estimate and security would be approved prior to issuance of the Permit.

Access, Circulation and Parking Area

With regard to access and site circulation staff have reviewed the drive thru and vehicle queuing provided and it is sufficient for the development site. There are two access/egress locations, at the north location there is a sign structure proposed. The parking areas are located toward the rear of those proposed buildings along the frontage minimizing the view of parking lots from the street. There are three accessible parking spaces noted on the site plan and each of the parking spaces are located at the entrance of each of the buildings. The access and site circulation is consistent with the OCP guidelines.

Setback Variance

When considering the variance request to reduce the interior parcel line setback from 1.0m to 0.0m a number of factors are taken into consideration including – the potential negative impact to adjacent and affected properties, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s). In this instance, locating the building closer to the property line removes a small area in between the proposed building and the property line to be maintained. In the case of the property to the east, the proposed Building 1 would help to screen outdoor storage areas to the rear of the neighbouring property. Provided that Buildings 1 and 3 are reviewed by a professional as per the Building Department comments, staff are supportive of the variance requests.

Given that the drawings submitted in support of the application are consistent with the OCP Guidelines for the Highway Service/Tourist Commercial Development Permit Area and the proposed uses are permitted under the C3 zoning, staff support the issuance of the Development Permit.

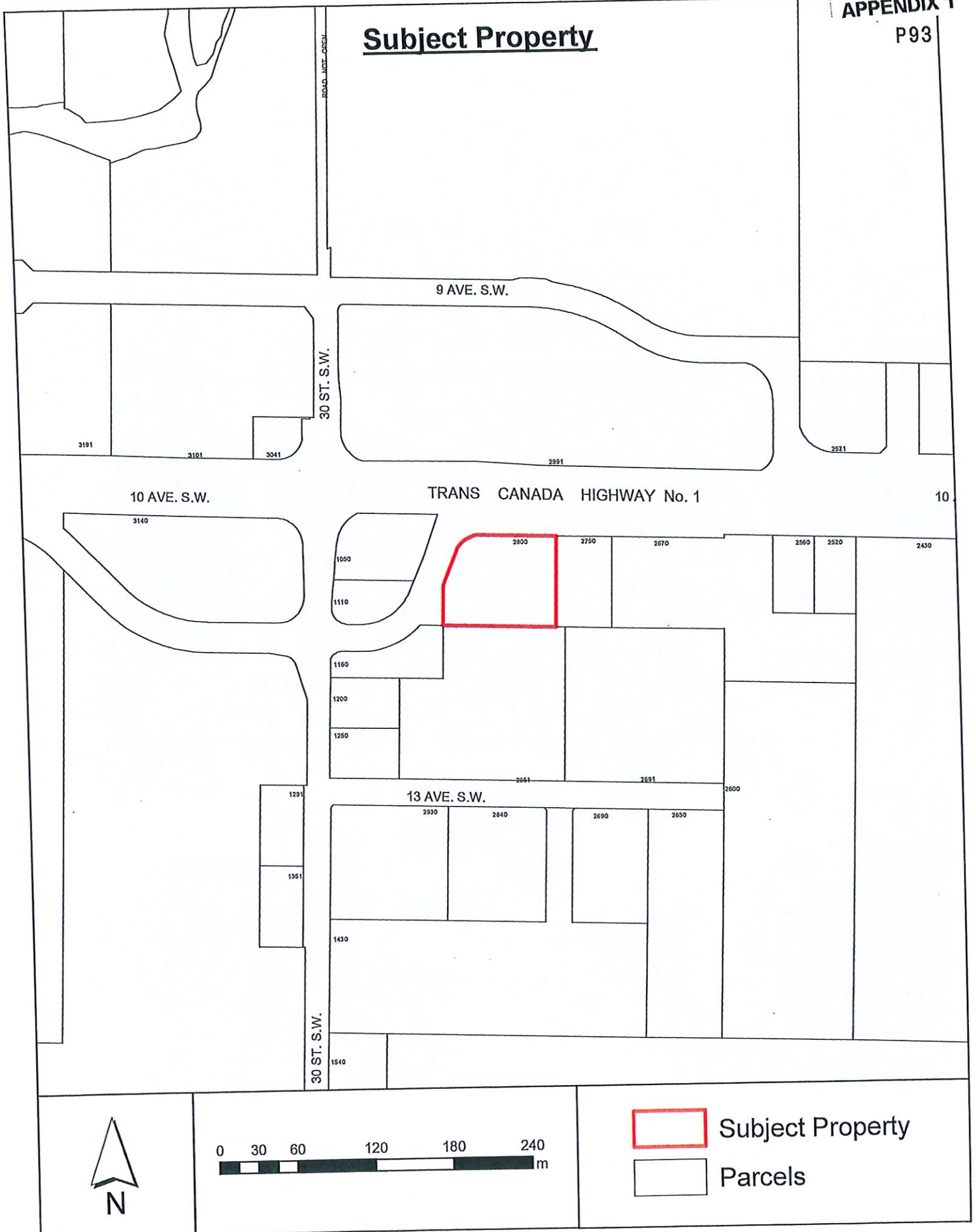


Prepared by Melinda Smyrl, MCIP, RPP
Planner



Reviewed by Chris Larson, MCIP, RPP
Senior Planner

Subject Property



Subject Property



Parcels



Subject Property



Parcels

OCP Map

ROAD NOT SHOWN

30 ST. S.W.

9 AVE. S.W.

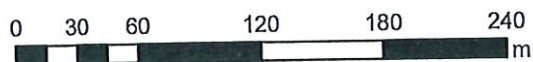
10 AVE. S.W.

TRANS CANADA HIGHWAY No. 1

10 AV

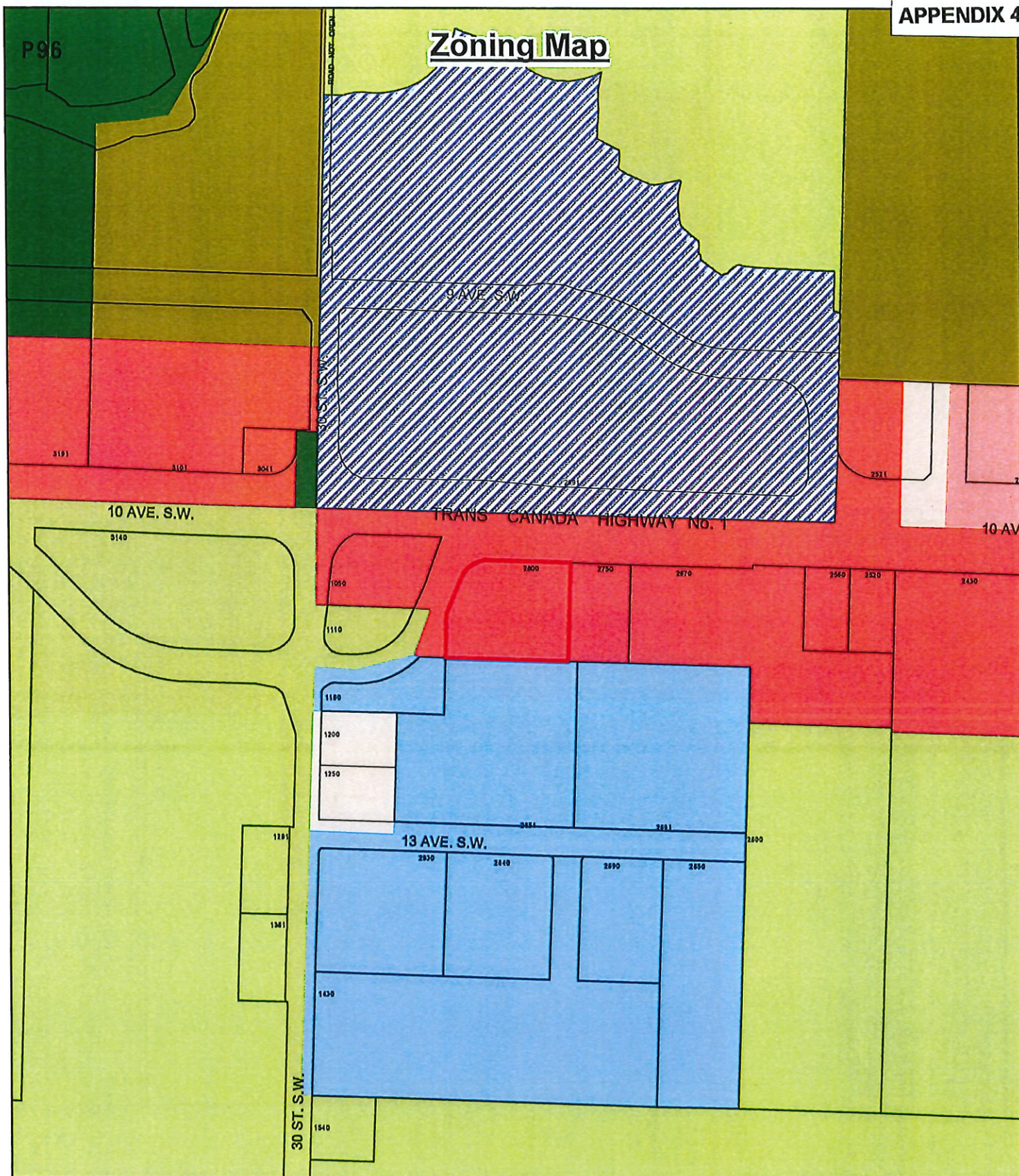
13 AVE. S.W.












30 ST. S.W.



- Subject Property
- Parcels
- Salmon Valley Agriculture
- Commercial - Highway Service / Tourist
- Industrial - General

Zoning Map



-  Subject Property  CD-8  C-5
 Parcels  A-1  IR
 A-2  M-1
 A-3  R-1
 C-3



LOCATION MAP

BUILDING CODE SYNOPSIS

- AS PER BC BUILDING CODE 2018 for up to 1 storey Combustible Buildings

BUILDING CHARACTERISTICS/ CONSTRUCTION

Building #1	Building #2	Building #3 (Popes)
Occupancy: Group E, Up to 2 storeys, 3.2.2.48	Occupancy: Group A2, One Storey, 3.2.2.48	Occupancy: Group A2, One Storey, 3.2.2.48
Building Area: 128.6 sqm (1,379.0 sqft)	Building Area: 471.6 sqm (5,079.0 sqft)	Building Area: 218.9 sqm (2,354.0 sqft)
Building Height: 1 storey, (19.2')	Building Height: 1 storey, less than 20m	Building Height: 1 storey, less than 20m
Streets Facing: 2	Streets Facing: 2	Streets Facing: 1
Construction: Combustible and Non-Combustible	Construction: Combustible and Non-Combustible	Construction: Combustible and Non-Combustible
Sprinklers: No	Sprinklers: No	Sprinklers: No
Floor Assemblies: NA	Floor Assemblies: NA	Floor Assemblies: NA
Roof Assemblies: NA	Roof Assemblies: NA	Roof Assemblies: NA
Smoke Densities: 1H FR	Smoke Densities: 1H FR	Smoke Densities: NA

FIRE PROTECTION
 Access min. 105 building perimeter within 15m of a street (fire department access route).
 Fire/Smoke alarm and detection systems, exit lights and emergency lighting.
 Emergency Power duration of 60min.
 Horizontal concealed spaces (such as attics) to be fire blocked into compartments (unless filled with non-combustible insulation).

SPATIAL SEPARATION AND EXPOSURE CALCULATION

* CALCULATIONS BASED ON TABLE 3.2.3.1-0
 VALUES HAVE BEEN INTERPOLATED WHERE THE LIMITING DISTANCE OR FIRE COMPARTMENT VALUES ARE IN BETWEEN THOSE LISTED IN THE TABLE
 ALL LIMITING DISTANCES HAVE BEEN MEASURED TO PROPERTY LINE.

BUILDING #1 LEVEL COMPARTMENT	FACE	OCCUPANCY	LIMITING DISTANCE (m)	AREA (sqm)	UNPROTECTED OPENINGS (sqm)	ACTUAL OPENINGS	OPENINGS PERMITTED	GLAZING RECD.	CONST. RECD.
ENTIRE FACE	W	E	25.6	117.8	22.5	15.1%	100.0%	CNC	CNC
ENTIRE FACE	N	E	10.5	224.8	22.7	10.1%	100.0%	CNC	CNC
ENTIRE FACE	S	E	1	307.3	5.0	1.6%	100.0%	CNC	CNC
ENTIRE FACE	E	E	3	117.8	0.0	0.0%	100.0%	CNC	CNC
BUILDING #2 LEVEL COMPARTMENT	FACE	OCCUPANCY	LIMITING DISTANCE (m)	AREA (sqm)	UNPROTECTED OPENINGS (sqm)	ACTUAL OPENINGS	OPENINGS PERMITTED	GLAZING RECD.	CONST. RECD.
ENTIRE FACE	W	E	10.8	119.8	8.4	7.0%	84%	CNC	CNC
ENTIRE FACE	N	E	6.0	163.2	4.0	2.5%	12%	CNC	CNC
ENTIRE FACE	S	E	10.5	163.2	36.1	22.4%	33%	CNC	CNC
ENTIRE FACE	E	E	8.45	119.8	8.4	7.0%	40%	CNC	CNC
BUILDING #3 (POPEYES) LEVEL COMPARTMENT	FACE	OCCUPANCY	LIMITING DISTANCE (m)	AREA (sqm)	UNPROTECTED OPENINGS (sqm)	ACTUAL OPENINGS	OPENINGS PERMITTED	GLAZING RECD.	CONST. RECD.
ENTIRE FACE	W	A2	6.3	113.7	13.4	10.0%	65%	CNC	CNC
ENTIRE FACE	N	A2	6.0	47.9	14.0	31.1%	45%	CNC	CNC
ENTIRE FACE	S	A2	18.5	48.6	2.3	4.7%	100%	CNC	CNC
ENTIRE FACE	E	A2	4.3	113.8	0.0	0.0%	16%	CNC	CNC

PROJECT INFORMATION

LEGAL DESCRIPTION: SITE PLAN OF PARCEL A (DD 13577 PLAN 80396) OF LOT 1
 SEC. 10, T9, R20, E10, R210, PLAN 4550 EXCEPT PLANS H401, KAP55184, KAP78951 AND EP77474
 CIVIC ADDRESS: 2600 100th AVENUE SW

ZONING: C

DEVELOPMENT INFORMATION

ZONING ANALYSIS TABLE BASED ON CITY OF SALMON ARM B.C. BYLAW No. 2303

SITE DETAILS:

PARCEL AREA:	MINIMUM				PROPOSED			
(ha)	(acres)	(m ²)	(ft ²)		(ha)	(acres)	(m ²)	(ft ²)
0.048	0.115	485.0	5,005.4		0.56	1.39	5,518.7	60,402.0

MINIMUM PARCEL FRONTAGE:	MINIMUM		PROPOSED	
	(m)	(ft)	(m)	(ft)
	15.0	49.2	60.9	199.8

MINIMUM PARCEL SETBACKS:	MINIMUM		PROPOSED	
	(m)	(ft)	(m)	(ft)
FRONT:	6.0	19.7	6.0	19.7
INTERIOR SIDE:	1.0	3.3	0.3	1.0
EXTERIOR SIDE:	6.0	19.7	12.7m	41.7
REAR:	1.0	3.3	1.8	5.9

DEVELOPMENT DETAILS:

FLOOR AREAS:	(m ²)	(ft ²)
BUILDING 1:	928.62	9,996.0
BUILDING 2:	471.56	5,078.0
BUILDING 3 (POPEYES):	218.87	2,356.0
TOTAL:	1,619.05	17,430.0

MAXIMUM BUILDING HEIGHT:	MAXIMUM		PROPOSED	
	(m)	(ft)	(m)	(ft)
BUILDING 1:	10.0	32.8	6.0	19.8
BUILDING 2:	10.0	32.8	5.12	16.8
BUILDING 3 (POPEYES):	10.0	32.8	5.12	16.8

PARKING:	PARKING REQUIRED:	PARKING PROVIDED:
	BUILDING 1 928.62m ² /240m ² = 38.7 STALLS	REGULAR SIZE = 66 STALLS
	BUILDING 2 471.56m ² /240m ² = 19.7 STALLS	HC = 3 STALLS
	BUILDING 3 218.87m ² = 9.1 STALLS	TOTAL = 69 STALLS
	TOTAL = 67.5 STALLS	

VARIANCE REQUIRED
 A VARIANCE IS REQUIRED FOR THE
 WEST PROPERTY SETBACK FOR
 BUILDING #1 FROM 1m TO 3m.

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NOT FOR
 CONSTRUCTION



1	2023-05-10	Issued for preliminary CP review
---	------------	-------------------------------------

Revisions

A2O Architecture
 Andrew and Michael,
 Architects
 2600 100th Avenue SW, Unit 100
 Salmon Arm, BC V1E 3P8
 Phone: 250-835-1111
 Email: info@a2oarchitecture.ca

Project Title
 ANDRE'S DEVELOPMENT
 SALMON ARM, BC

Drawing title

ZONING & CODE ANALYSIS

Scale

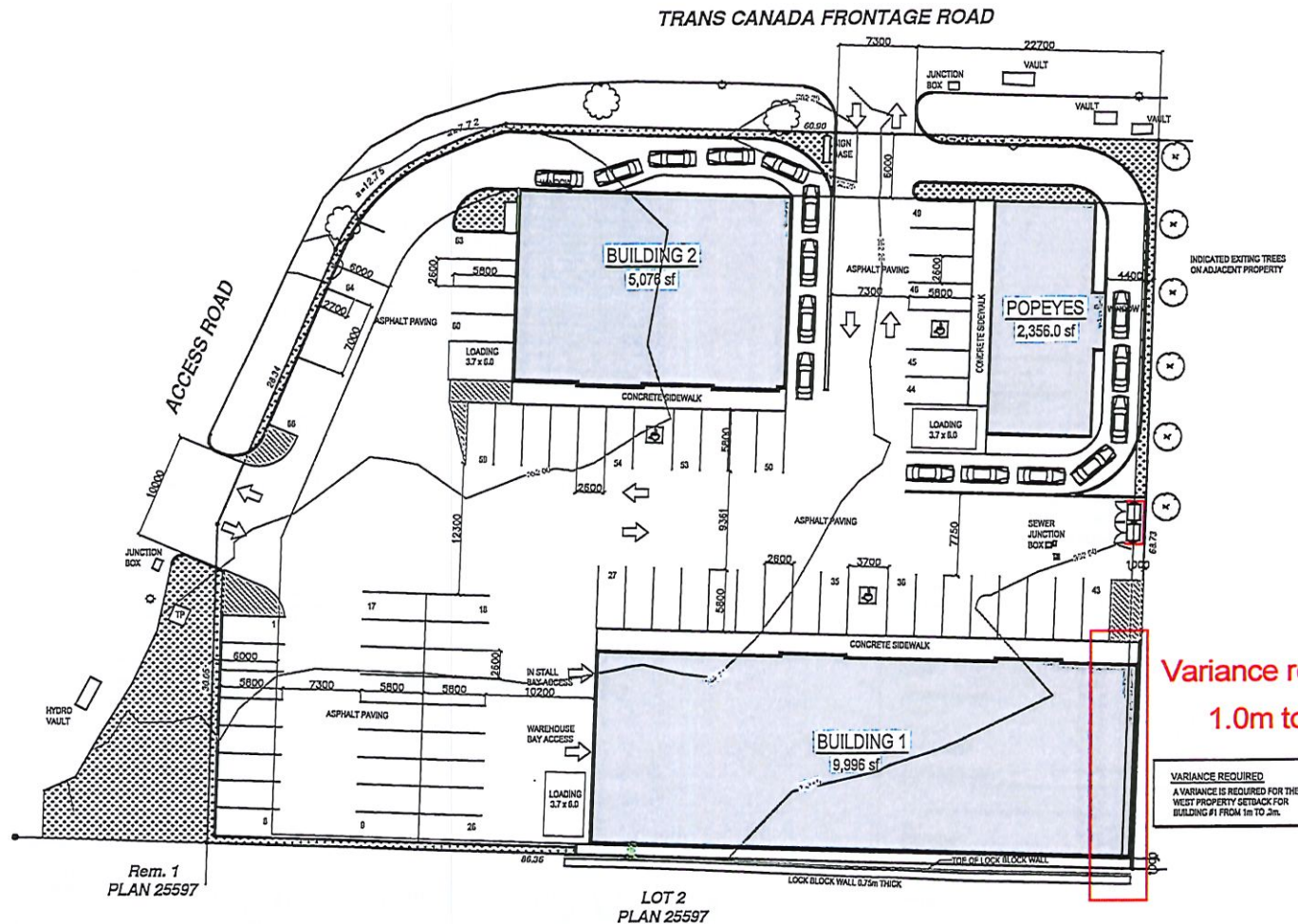
Date

Drawn by

Checked by

2023-05-10

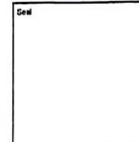
DP1



SITE PLAN
SCALE: 1200

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1	2022-05-10	Issued for preliminary DP review
Revisions		

Variance request from
1.0m to 0.0m

VARIANCE REQUIRED
A VARIANCE IS REQUIRED FOR THE
WEST PROPERTY SETBACK FOR
BUILDING #1 FROM 1m TO 0m.

AXO architecture
Architects and Planners
200-2000 Pacific Highway, Suite 200
Vancouver, BC V6X 3E8
www.axoarchitecture.ca

Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

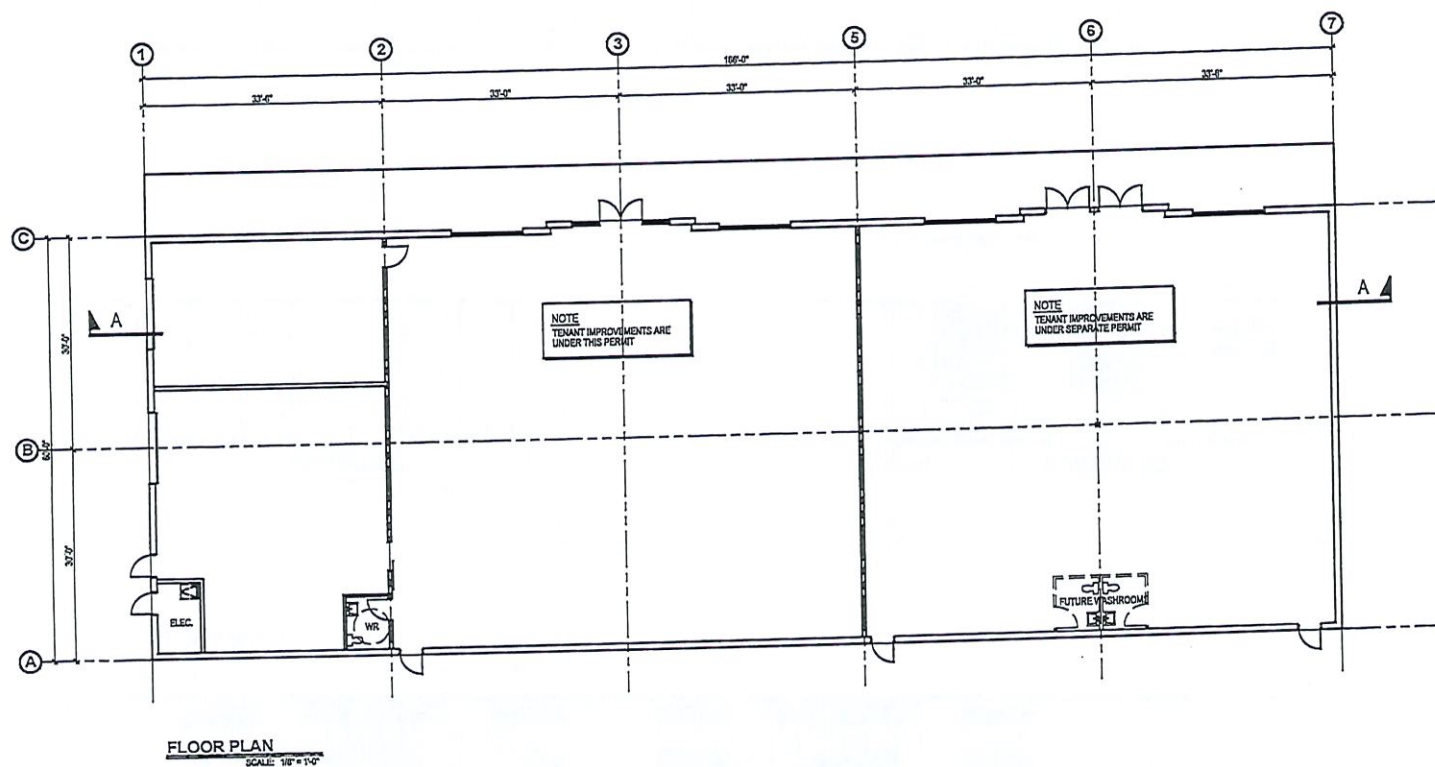
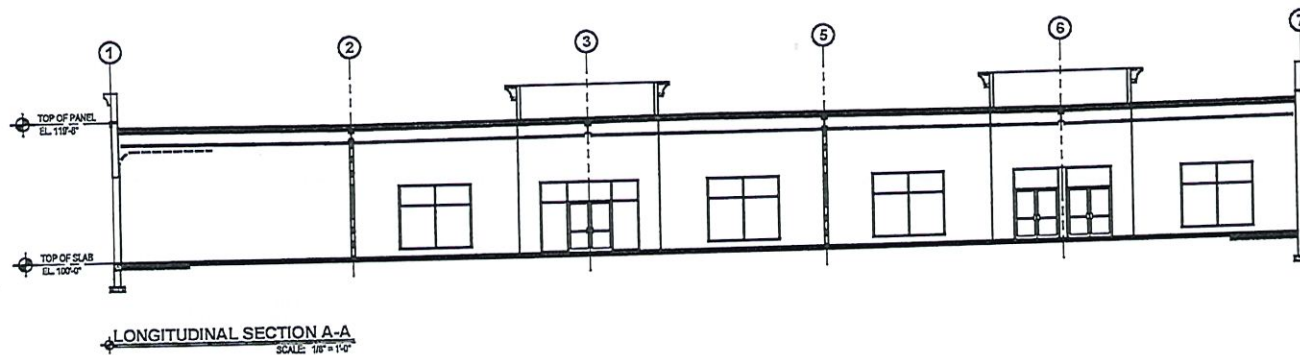
Drawing Title
SITE PLAN

Scale
1:2000

Drawing No.

DP2

Issue 2022-05-10



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1	2022-05-10	Issued for preliminary CDP review
Revisions		

AXOarchitecture
Anil Arora, AIA
Architect License
361.2818 Potomac, Maryland, DC
20854-5121
anil@axoarchitecture.com

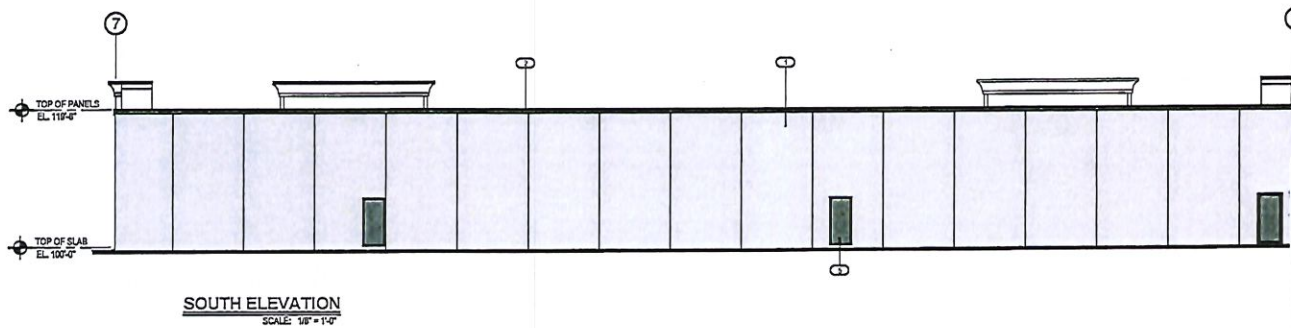
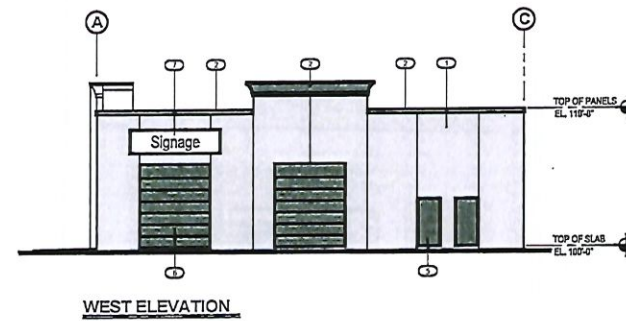
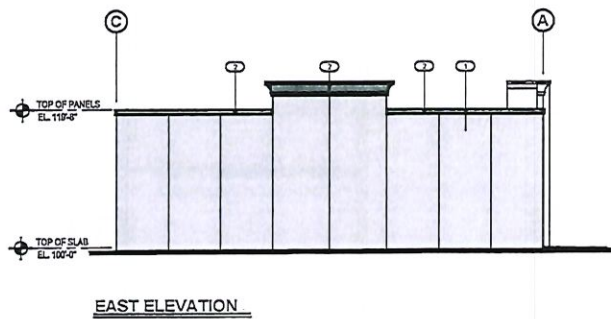
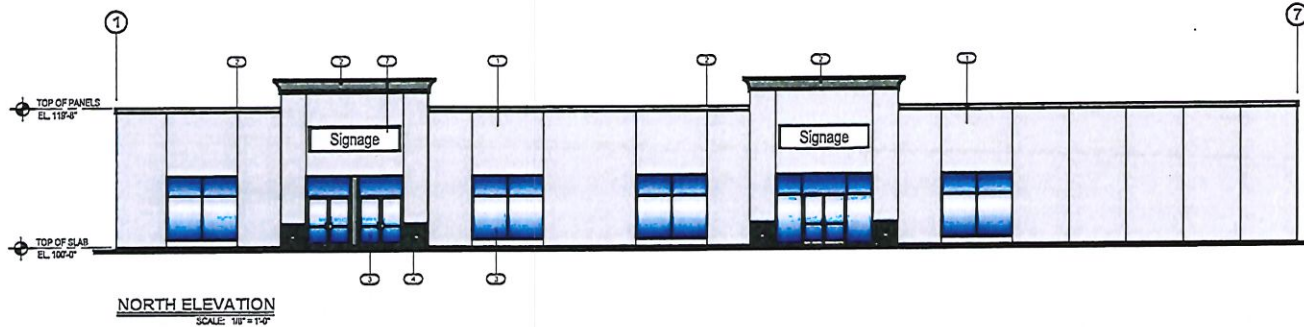
Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title
BUILDING #1
FLOOR PLAN

Scale
1/8" = 1'-0"

DP3

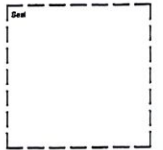
Date
2022-05-10



- MATERIAL LEGEND**
1. CONCRETE INSULATED TILT UP PANELS
 2. STYROFOAM BUILD OUT WITH ACRYLIC STUCCO SMOOTH TEXTURE, COLOUR TBC
 3. STOREFRONT DOOR / WINDOW
 4. PRO-FIT LEGERSTONE IN BLACK RUNBLE OR SIMILAR
 5. MANDOOOR
 6. OM DOOR
 7. TENANT SIGNAGE

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NOT FOR CONSTRUCTION



1	2022-02-10	Issued for preliminary DP review
---	------------	----------------------------------

Revisions

AXOarchitecture
Andrea van der Merwe
Architect AIBC
10000 Highway 100, Suite 100
Burnaby, BC V5N 3M5
604.291.1111
info@axoarchitecture.ca

Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title

BUILDING #1
ELEVATIONS

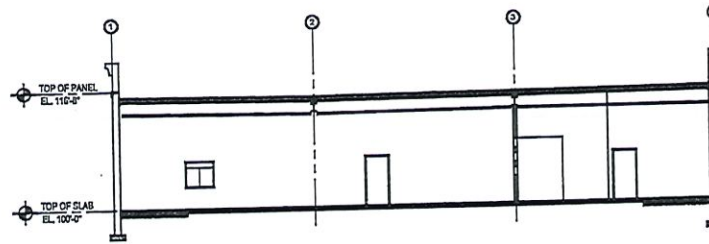
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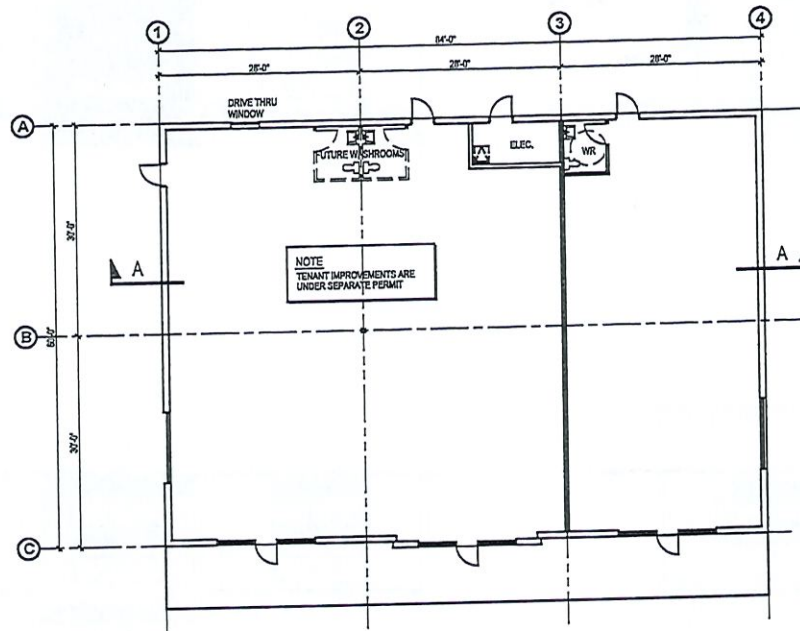
Drawn by

DP4

2022-05-10



LONGITUDINAL SECTION A-A
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"

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1	2022-03-10	Issued for preliminary DP review
Revisions		

AXOarchitecture
Andrew van Winkle,
Architect/PRC
300-450-3100
andrew@axoarchitecture.ca

Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title
BUILDING #2
FLOOR PLAN

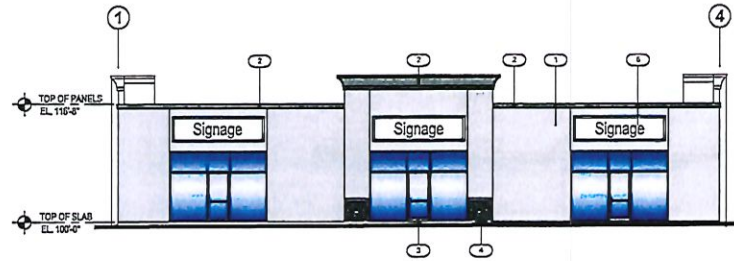
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Drawing No.

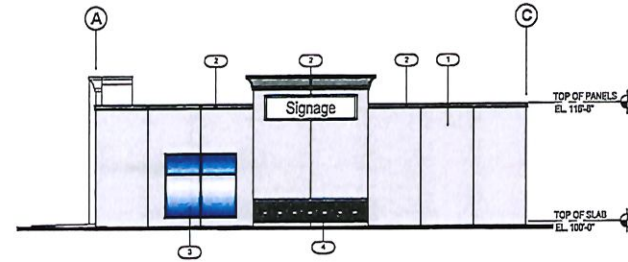
DP5

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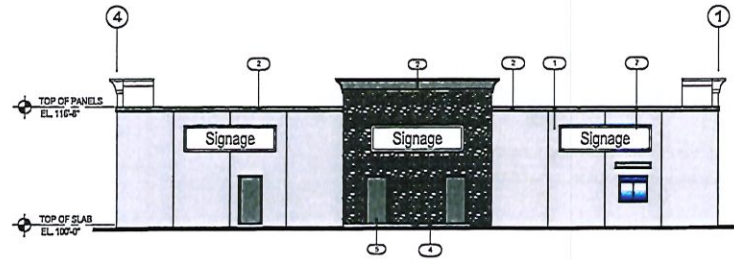
NOT FOR
CONSTRUCTION



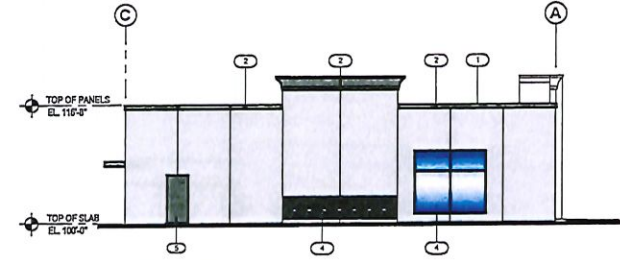
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION

MATERIAL LEGEND

1. CONCRETE INSULATED TILT UP PANELS
PAINTED FINISH, COLOUR TBC
2. STYROFOAM BUILD OUT WITH ACRYLIC STUCCO
SMOOTH TEXTURE, COLOUR TBC
3. STOREFRONT DOOR / WINDOW
4. LEGERSTONE - IN BLACK RUNDLE OR SIMILAR
5. MANDOR
6. OAK DOOR
7. TENANT SIGNAGE

2	2022-06-10	North Elevation Revised
1	2022-05-10	Issued for preliminary DP review

Revisions

AXOarchitecture
Architects & Planners
Architects & Planners
200-300-0000
200-300-0000
www.axoarchitecture.ca

Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title
BUILDING #2
FLOOR PLAN

Scale
1/8" = 1'-0"

Drawn by

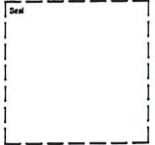
DP6

Date 2022-06-10



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1	2023-05-10	Issued for preliminary DP review
Revisions		

AXOarchitecture
Andrew van Nieuwen
Architect AIBC
100-1012 Penderway, Richmond, BC
V6X 3C8
axo@axoarchitecture.ca

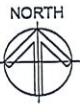
Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title
PICTURES OF EXISTING
DEVELOPMENT IN QUESNEL

Scale
1:100
Drawing

DP8

Date 2023-05-10

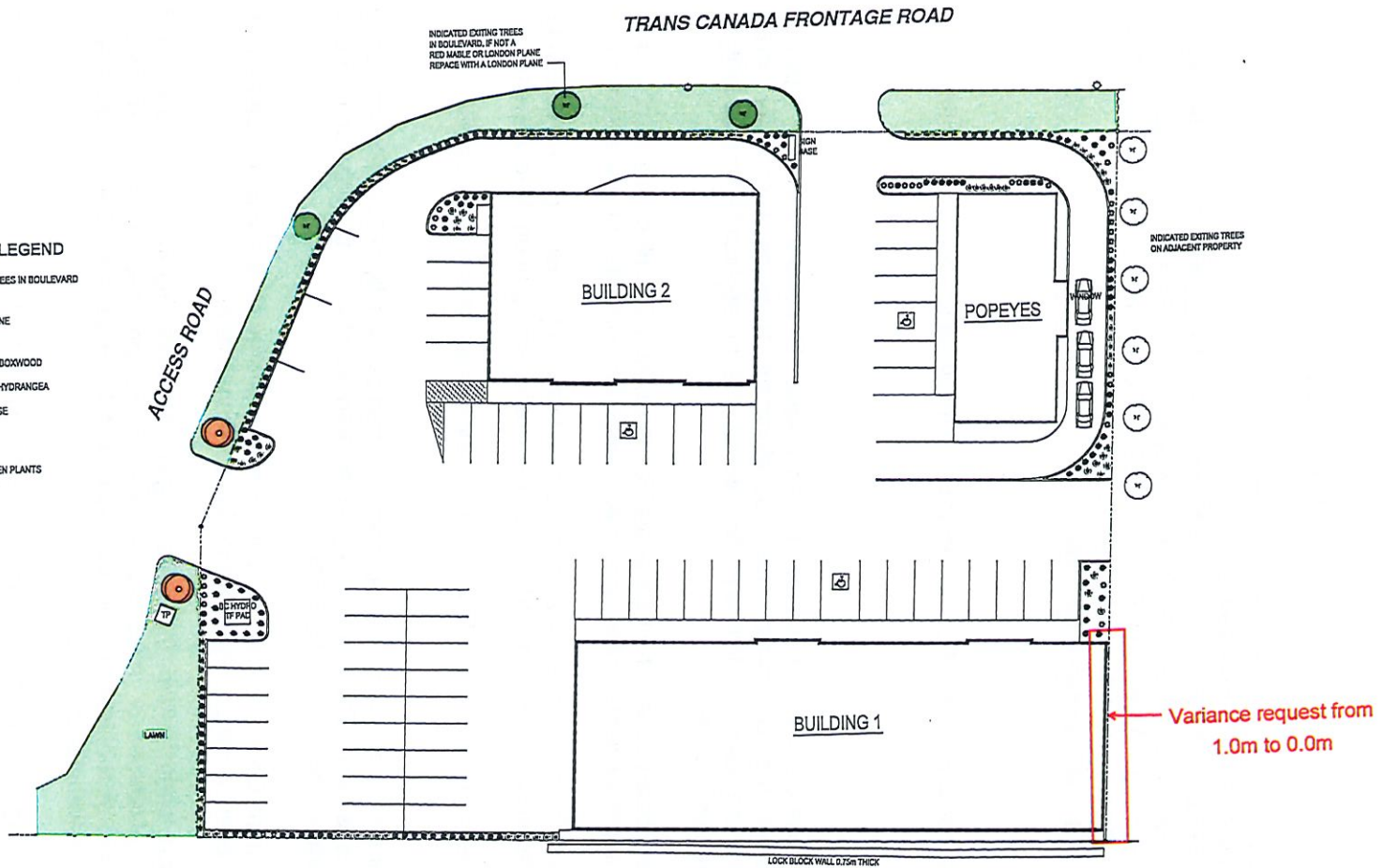


LANDSCAPE LEGEND

- EXISTING TREES IN BOULEVARD
- LONDON PLANE
- GREEN GEM BOXWOOD
- ANNABELLE HYDRANGEA
- PRICKLY ROSE

NOTE

GROUND COVER BETWEEN PLANTS AND TREES TO BE ROCK



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2	2022-05-16	Landscape plan revised
1	2022-05-10	Issued for preliminary CIP review
Revisions		

AXOarchitecture
Architects & Planners
Architects & Planners
2022-05-16
2022-05-16

Project Title
ANDRE'S DEVELOPMENT
SALMON ARM, BC

Drawing Title
LANDSCAPE PLAN

Scale
1:200

DP9

Date
2022-05-13

P106

CITY OF SALMON ARM

*Memorandum from the
Engineering and Public
Works Department*

TO: Kevin Pearson, Director of Development Services
 DATE: May 24, 2022
 PREPARED BY: Mustafa Zakreet, Engineering Assistant
 APPLICANT: **Blanleil Cranbrook Holdings Ltd**
 SUBJECT: **DEVELOPMENT PERMIT (with Variance) APPLICATION NO. DP-443**
 LEGAL: Parcel A (DD 136157F Plan B6396) of Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan 4550, Except Plans H401, KAP55184, KAP69718, KAP7895 and EPP7474
 CIVIC: **2800 – 10 Avenue (TCH) SW**

Further to your referral dated May 16, 2022, we provide the following servicing information:

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with (underground) electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of building permit the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

Development APPLICATION FILE: DP 443

DATE: May 24, 2022

Page 2

-
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
 10. For the off-site improvements at the time of building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 10 Ave SW, on the subject property's northern and western boundary, is designated as an Urban Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
2. The Ministry of Transportation and Infrastructure (MOTI) has constructed 10 Ave SW to the Urban Collector standard. No further upgrade is required.
3. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
4. As 10 Ave SW is designated as a Collector Road, accesses shall be designed by keeping to a minimum number. Only two driveway accesses will be permitted onto 10 Ave SW. All unused driveways shall be removed. Owner / Developer responsible for all associated costs.

Water:

1. The subject property fronts a 300mm diameter Zone 1 watermain on 10 Ave SW. No upgrades will be required at this time.
2. The existing lot is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 150mm service from the 300mm diameter watermain on 10 Ave SW. No further upgrading will be required at this time. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).

Development APPLICATION FILE: DP 443

DATE: May 24, 2022

Page 3

5. Fire protection requirements to be confirmed with the Building Department and Fire Department.
6. Fire hydrant installation will be required. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the high density spacing requirements of 90 meters.

Sanitary:

1. The subject property fronts a 300mm diameter sanitary sewer on 10 Ave SW. No upgrades will be required at this time.
2. The proposed parcel is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).
4. Records indicate that the existing property is serviced by a 200mm service from the sanitary sewer on 10 Ave SW. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Drainage:

1. The subject property fronts a 900mm diameter storm sewer on 10 Ave SW. No upgrades will be required at this time.
2. Records indicate that the existing property is serviced by a 300mm service from the storm sewer on 10 Ave SW. No upgrade is required. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
3. The subject property is in an area with no current storm capacity concerns according to the Stormwater Master Plan Study (April 2020)
4. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
5. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
6. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate /

Development APPLICATION FILE: DP 443

DATE: May 24, 2022

Page 4

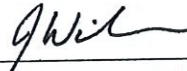
unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



Mustafa Zakreem
Engineering Assistant



Jenn Wilson P.Eng., LEED ® AP
City Engineer

From: luke@salmonarmwindow.ca <luke@salmonarmwindow.ca>

Sent: Friday, June 17, 2022 5:44 PM

To: Barb Puddifant <bpuddifant@salmonarm.ca>

Subject: [External] Development Variance Permit DP-443

To: Kevin Pearson, Director of Development Services, City of Salmon Arm.

Please accept this email submission is support of Development Variance Permit DP-443 in regards to the application for development variances for Blaneil Cranbrook Holdings Ltd at 2800 10 Ave SW. As a neighbouring business, we are very happy to have some positive development happening on the adjacent empty lot and have no concerns about the proposed plans. We are anticipating increased traffic to this side of the highway which will be good for all of the businesses in this area.

The interior parcel line set back variance will put Building 1 directly on our property line, but as noted in the report, the building will actually screen our outdoor storage area and will improve the appearance of our property so we have no issues with this variance.

Sincerely,

Luke Engel
General Manager
Salmon Arm Window & Door Ltd.



2750 10 Ave SW Salmon Arm, BC V1E 3J9
250-832-8884 www.salmonarmwindow.ca

Item 22.2

CITY OF SALMON ARMDate: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. 441 be authorized for issuance for Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP82683 (1180 Old Auto Road SE) in accordance with the drawings dated March 22, 2022 and attached as Appendix 6 to the staff report dated June 1, 2022;

AND THAT: Development Permit No. 441 include the following variances to Zoning Bylaw No. 2303:

Section 4.9.1 – decrease the special building setback from the center line of an Arterial Street from 17.5 metres (57.4 feet) to 15.4 metres (50.5 feet) in accordance with the attached drawings;

Section 4.12.1 – increase the maximum height of a retaining wall from 2.0 metres (6.5 feet) to 2.5 metres (8.2 feet) in accordance with the attached drawings;

Section 9.4 – increase the maximum height of a principal building from 10.0 metres (32.8 feet) to 12.1 metres (39.7 feet) in accordance with the attached drawings;

AND FURTHER THAT: Issuance of Development Permit No. 441 be withheld subject to receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscape plan and installation of fencing.

[1334672 Ltd., Inc. No. BC1334672/ Lawson Engineering Ltd.; 1180 Old Auto Road SE; Residential]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: June 1, 2022

Subject: Development Permit Application DP-441 (Residential)

Legal: Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP82683 Except Plan EPP3209

Civic: 1180 Old Auto Road SE

Owners: 1334672 BC Ltd., INC.NO. BC1334672

Agent: Lawson Engineering Ltd.

MOTION FOR CONSIDERATION

THAT: Development Permit No. 441 be authorized for issuance for Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP82683 (1180 Old Auto Road SE) in accordance with the drawings dated March 22, 2022 and attached as Appendix 6;

AND THAT: Development Permit No. 441 include the following variances to Zoning Bylaw No. 2303:

Section 4.9.1 – decrease the special building setback from the center line of an Arterial Street from 17.5 metres (57.4 feet) to 15.4 metres (50.5 feet) in accordance with the attached drawings;

Section 4.12.1 – increase the maximum height of a retaining wall from 2.0 metres (6.5 feet) to 2.5 metres (8.2 feet) in accordance with the attached drawings;

Section 9.4 – increase the maximum height of a principal building from 10.0 metres (32.8 feet) to 12.1 metres (39.7 feet) in accordance with the attached drawings;

AND FURTHER THAT: Issuance of Development Permit No. 441 be withheld subject to receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscape plan and installation of fencing.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

BACKGROUND

The irregularly shaped subject parcel is located at 1180 Old Auto Road SE and has an area of just under 0.6 acres (Appendix 1). The parcel is vacant and designated Medium Density Residential in the Official Community Plan (OCP) Bylaw, and R4 Medium Density Residential in the Zoning Bylaw (Appendix 2 & 3). Site photos are attached (Appendix 4).

This application is to permit a 9 unit multi family residential development with a total of 3 residential buildings, as described in the applicant's letters (Appendix 5) and shown in the proposed Development Permit drawings (Appendix 6). Given parcel area, the maximum density permitted is 9 dwelling units.

COMMENTS

Building Department

No limiting distance concerns and fire department access should be satisfactory.

Fire Department

No fire department concerns.

Engineering Department

No concerns. Engineering comments are attached as Appendix 7.

Design Review Panel

With the proposal for multi family development, the application was referred to the Design Review Panel (DRP) for review (Appendix 8). The Panel was supportive of the proposal as presented.

Public Consultation

Pursuant to the *Local Government Act* and *City of Salmon Arm Development Permit Procedures Bylaw* notices are mailed to land owners within a 30m radius of the application. The notices outline the proposal and advises those with an interest in the proposal to provide written submission prior to the Hearing and information regarding attending the Hearing. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

As supported by the Medium Density OCP designation and the R4 Zoning regulations, the proposed 9 unit development is subject to the guidelines of the "Residential Development Permit Area" as described in the section 8.4 of the OCP. This section recommends characteristics under the topics of siting and building, landscape and screening guidelines, as well as access, circulation and parking area guidelines.

Siting and Building

The applicant is proposing a 9 unit multi family development in the form of 3 residential buildings, each with 3 units. The site is sloping. The southern portion of the parcel along Auto Road is proposed to be brought up to the second level of buildings 2 and 3 to provide rear yard walkout access. This orientation towards the street frontage is aligned with OCP policy 8.4.11, which supports defined entries to the street.

The proposed buildings as illustrated would have footprints of approximately 230 square metres each and are generally comprised of 3 storeys in height (up to 12.1 m). The building designs feature a contemporary style with varied facades, colours, and linear rooflines reasonably unified on all elevations and providing visual interest. Multiple buildings generally present less of an impact than a single larger building in terms of overall massing on any site, allowing for sightlines between buildings. High quality materials are incorporated with proposed cladding featuring fiberboard siding.

Landscape and Screening

A landscape plan has been completed in consultation with the OCP guidelines. The landscape plan prescribes plantings throughout the site, including "Red Sunset" and Norway" maple trees, reducing the impact of the proposed development on the streetscape. Staff have provided the City's list of "Fire Smart" landscaping to the proponents, which appear to be incorporated. Furthermore, staff note that the plans address OCP Policy 8.4.28, indicating installation of street trees along the road frontages at a 15 m spacing along the Auto Road frontage to the south (approximately 7 trees), and 10 m spacing along Old Auto Road SE (3 trees). An estimate for landscaping will be required, including irrigation.

Access, Circulation and Parking Area

Vehicle access proposed is via a single shared 7.3 metre wide access route with turnarounds. There are a total of 17 parking stalls proposed (14 are required), with 14 parking stalls proposed in garages (6 in building 1, 4 in building 2, 4 in building 3) and an additional 3 surface parking stalls on site. Aligned with

OCP policy, parking is largely under-building, with surface parking and building massing is broken up and screened with landscaping. The proposed parking exceeds the bylaw requirements.

Variance – Special Building Setback - 17.5 to 15.4 metres

Special Building Setbacks help to ensure that ultimate road widths may be achieved in the future along primary arterial roads within the City's road network. A variance has been requested to reduce the special building setback from the centreline of Auto Road (an Arterial) from 17.5 m to 15.4 m (Appendix 6). This 2.1 m variance affects the patio/porch structures of 2 units in the south east corner of the proposed development. Staff note that these structures meet the required 5 m external parcel line setback requirement. As building setbacks between the proposed development and all parcel lines have been achieved, and with no further dedication required at this time, staff have no concerns with this request.

Variance - Retaining Wall Height - 2 to 2.5 metres

A variance has been requested to increase the permitted height of a retaining wall from 2 to 2.5 metres for the retaining wall along the west parcel line (Appendix 6). Requests such as this are not uncommon on sloping sites. Staff have no concerns with the requested retaining wall height considering terrain and that the relatively small increase requested will have minimal related impact on adjacent parcels.

Variance – Building Height - 10 to 12.1 metres

A variance has been requested to increase the permitted height from 10 to 12.1 metres for the proposed buildings (Appendix 6). Building 1 is proposed to be 12.1 m, Building 2 is 11.2 m and Building 3 is 9.5m in height. This request is to accommodate the peaked roof designs relative to the sloping site. The building heights proposed are aligned with the maximum 10-to-13 m permitted height in the R4 zone (under R4 zoning, the maximum height can be increased up to 13 metres with the inclusion of specified special amenities), and are substantially consistent with development in the area (10 m maximum permitted height in the R1 zone). Staff note that manner in which height is defined, averaging lowest and highest points over an exterior wall, can be challenging across sloping sites. Staff have no concerns with the requested building height considering: the relatively small increase requested, the slope across the development site, and as it is a variance only applicable to the north faces of the buildings (the buildings are set into the sloping site and the south-facing elevations are two storeys in height). Furthermore, landscape trees have been proposed along the north parcel line to help limit related impacts.

Servicing

Frontage improvements to the Urban Interim Arterial Road (RD-4 – Auto Road SE) and the Urban Local Road (RD-2 – Old Auto Road SE) standards are required, including installation of curb, sidewalk, boulevard, multi-use pathway, fire hydrants, and street lighting as required. Staff note that these are important upgrades to support multi family development including active transportation infrastructure at a key location in the City's transportation network, and that there is some history of requests for such improvements in this area.

CONCLUSION

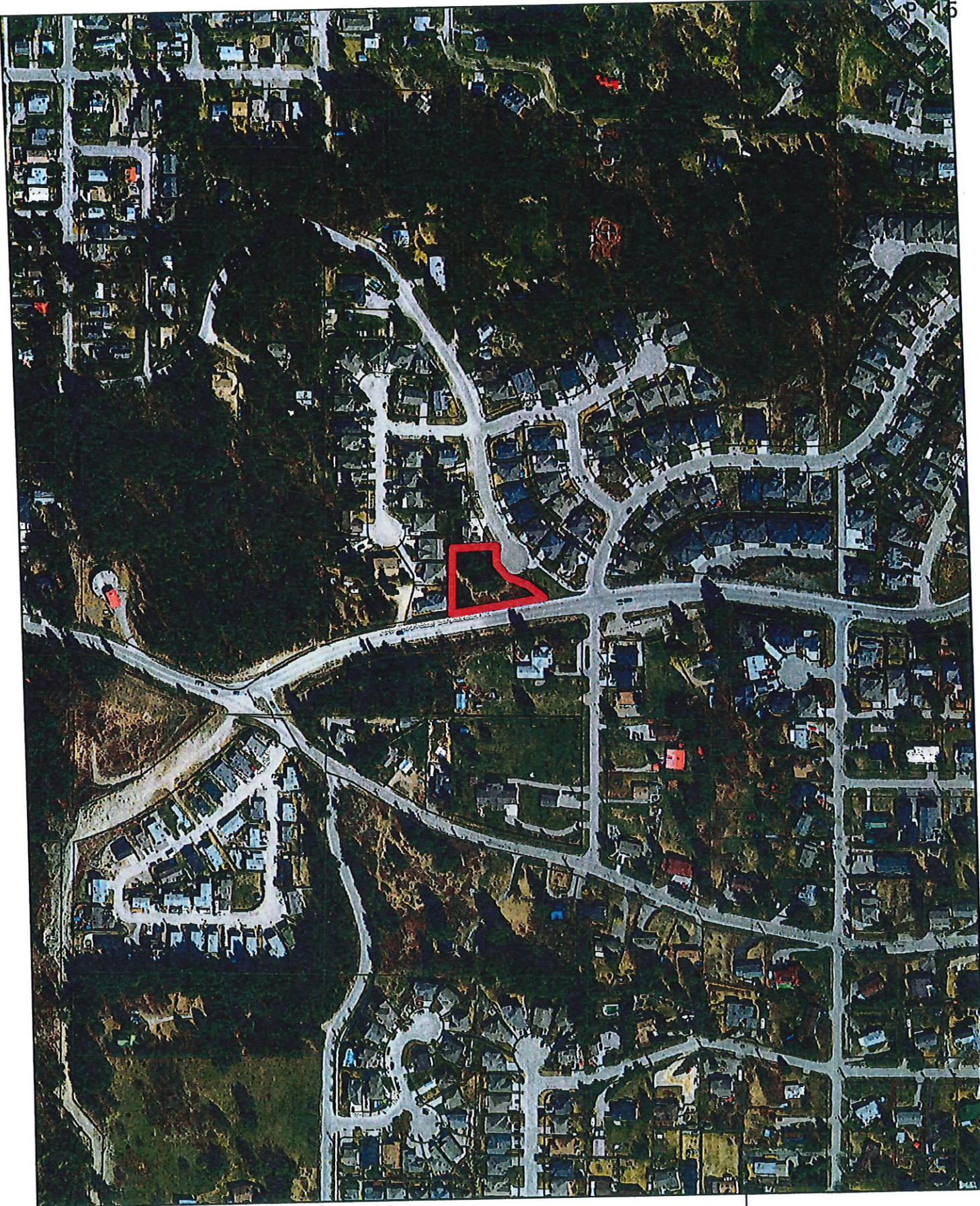
The applicant is applying for a Development Permit to support a 9 unit multi family residential development. The proposal is supported by the Medium Density OCP designation and permitted under the R4 Zoning regulations. The applicant has made revisions to their proposal to meet the OCP guidelines and the DRP has supported the proposal. In the opinion of staff the proposal aligns with the Development Permit Area guidelines as described in the OCP, while the variances requested are relatively minor. Staff recommends approval of Development Permit No. 441 and the associated variances.




Prepared by: Chris Larson, MCIP, RPP
Senior Planner

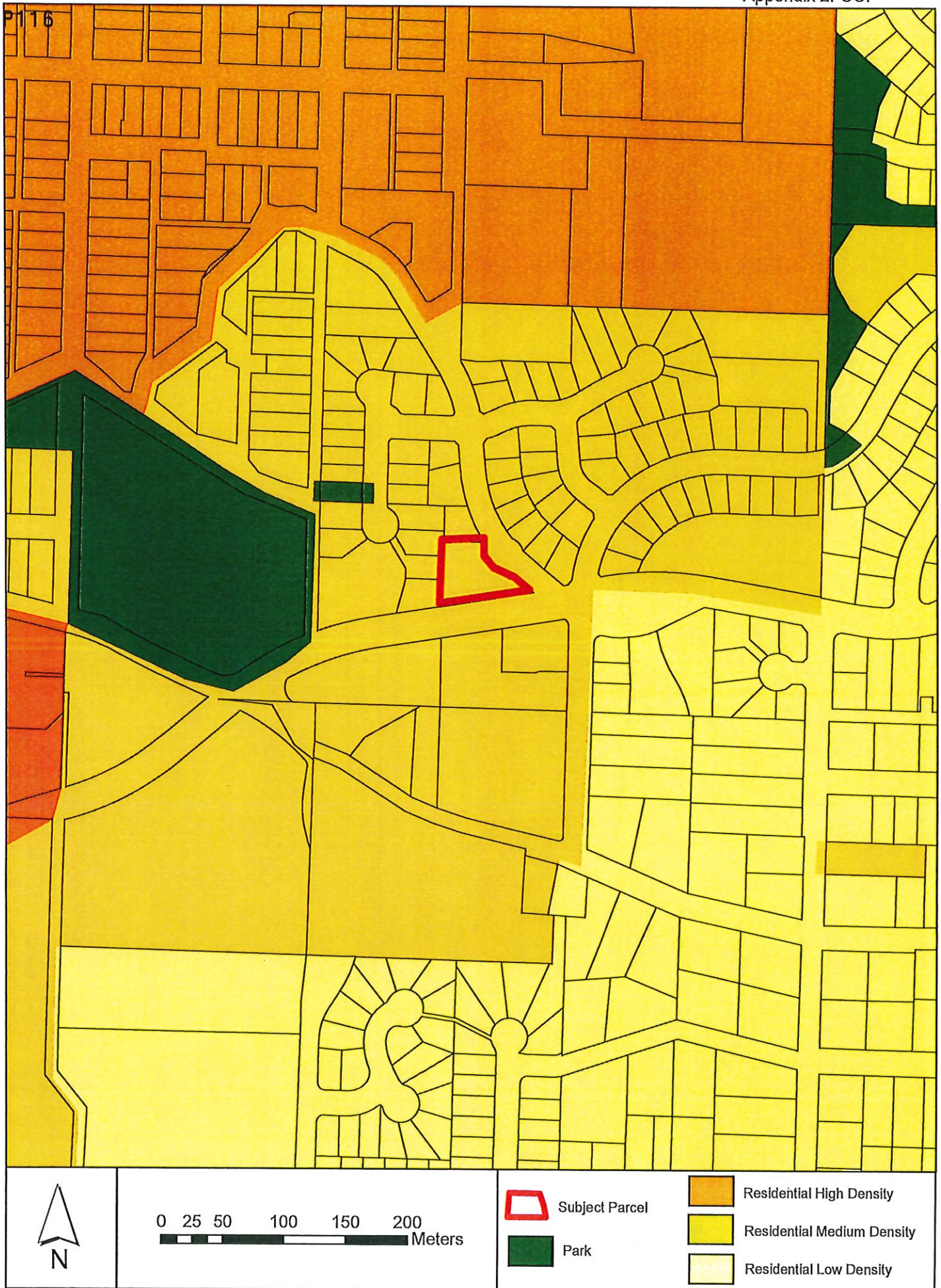


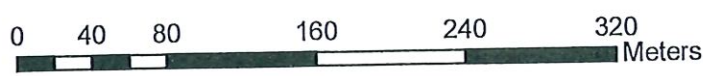
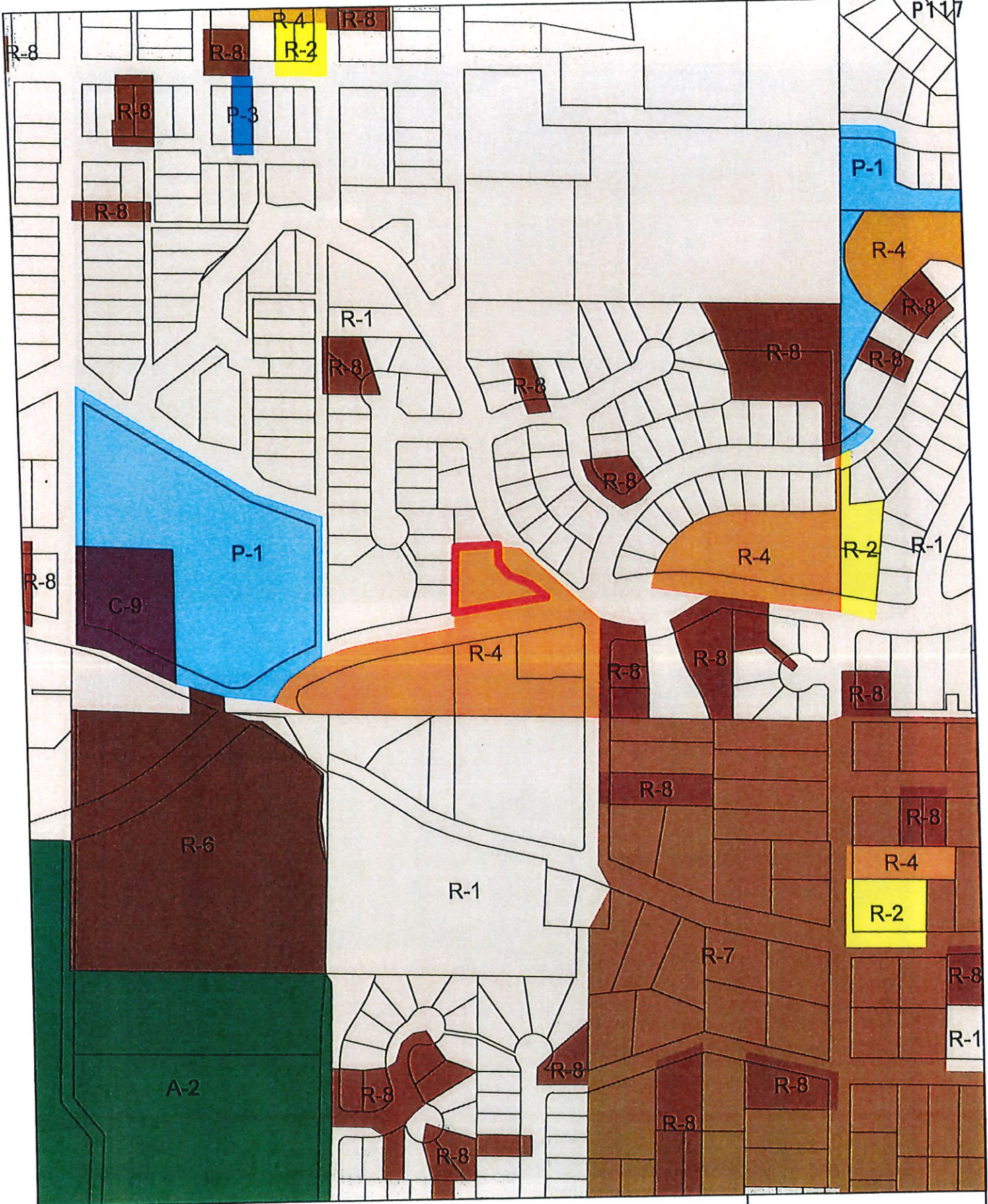
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



0 40 80 160 240 320 Meters

 Subject Parcel







View northeast over subject parcel from Auto Road.



View west over subject parcel from Auto Road.

February 7, 2022

City of Salmon Arm

Development Services
500 2 Avenue NE - PO Box 140
Salmon Arm, BC V1E 4N2

Re: 1180 Old Auto Road Development, Salmon Arm, BC - Development Permit Application – Letter of Proposal

The subject property is 0.57 acre in size and is currently zoned R-4 with an OCP designation of *residential – medium density*. The proposed development plan of creating 3 similarly sized triplexes aligns with the City of Salmon Arm's Official Community Plan and is consistent with the R-4 zoning.

The develop is comprised of (3) 3-storey triplexes totaling 9 overall multi-family units. The triplex design attempts to realize a modern quality while still maintaining a connection to the surrounding residential subdivision through use of a neutral colour palette inspired by nature and highlighted by stone and wood accents. The northern units are proposed to have single-car garages whereas two southern units are proposed to have stacked double-car garages. Combined with the proposed additional 3 parking stalls at the entrance to the site the development will boast adequate parking with 17 overall parking stalls being provided where only 14 are required by the bylaw.

All proposed units are being constructed with environmental efficiency in mind and will have Insulated Concrete Form (ICF) foundations to increase insulation values as well as provide superior sound-dampening between shared walls. All units will be proactively wired for Electric Car charging stations as well as solar panels.

As shown in the landscape plans the project is proposed to maintain all existing trees along the southeastern property line while reinstating trees along the southern property line to provide noise buffering, privacy and aesthetics to the form and character of the development.

The proposed development intends to maximize the density of the smaller 0.57 acre lot all the while striking a balance between various project objectives such as meeting the needs of the users and surrounding community, budgets, costs design, construability and profitability. Finding this balance can be a challenge yet this process of finding balance can provide direction as was the case is this project. In total, this development will create 9 multi-family homes in a neighbourhood and community that desperately needs it.

Thank you for your time and consideration,



1334672 BC Ltd.

P120

May 30, 2022

City of Salmon Arm

Development Services
 500 2 Avenue NE - PO Box 140
 Salmon Arm, BC V1E 4N2

Re: 1180 Old Auto Road Development, Salmon Arm, BC - Development Permit Application – Variance Request:

This letter is intended to provide insight into the *Development Permit* variance application submitted for 1180 Old Auto Road SE by the *owner* (1334672 BC Ltd.).

The subject property is 0.57 acre in size and is currently zoned R-4 with an OCP designation of *residential – medium density*. The proposed development plan of creating 3 similarly sized triplexes aligns with the City of Salmon Arm's Official Community Plan and is consistent with the R-4 zoning.

It is understood that to align with *Section 4 – General Regulations – Special Building Setbacks 4.9.1.1* for properties zoned R4 and fronting a designated Arterial Road a setback from centerline of constructed road must be 17.5m as per the City of Salmon Arm Zoning Bylaw No. 2303.

As such, the *owner* is requesting the following variance:

1) Zoning Bylaw No. 2303 (Section 4.9.1.1 – Special Building Setbacks):

Reduce the required 17.5m setback from centerline exclusively for areas highlighted on attached layout plan (building 3 only) to 15.4m.

The reason(s) for this variance request:

- a) The drive aisle of Auto Road is currently constructed skewed ~4m to the Northern side of the road right-of-way along the subject properties frontage when compared to City of Salmon Arm Subdivision and Development Servicing Bylaw Specification Drawing RD-4 – Urban Arterial Road Cross-section. This forces the *special setback provisions* of the already extended 17.5m setback to extend further into the subject parcel reducing buildable envelope even further;
- b) Due to the existing alignment of Auto Road along the subject parcels frontage (outside bend) the proposed setback variance, if granted, will not take away line-of-sight from vehicular, cycling or pedestrian traffic creating no safety concerns;
- c) The subject parcel faces challenging development constraints such as topography and irregularity of parcel shape. The challenges this specific site already faces are exacerbated by the *special provision setbacks* and skewed centerline alignment;
- d) It is highly desirable both from a marketability and functionality perspective to construct 3 equally-sized covered patios for Proposed Building #3;

Due to the existing challenging topography of the site substantial grade changes from the site access (Old Auto Road) to the West property line were unavoidable to ensure safe and reasonable unit access. As such, the retaining wall at the end of the Strata Road is required to be constructed 2.5m tall as opposed to the bylaw permitted 2.0m tall on the rear parcel line.

2) Zoning Bylaw No. 2303 - Section 4.12.1 (a) - Retaining Wall Height:

Increase the maximum retaining wall height allowance at the rear of a parcel from 2.0m to 2.5m.

The reason(s) for this variance request:

- a) The challenging grade of the site has required substantial fills from East to West to match the grade to that of the cul-de-sac on Old Auto Road where site access is provided. Every design attempt was made to lower the road grade to better match that of existing ground elevations (from East to West) however could only be lowered to a certain point to ensure drivability of the Strata Road as well as serviceability of underground infrastructure (storm & sanitary sewer) – the end product is a 2.5m tall required retaining wall at the end of the Strata Road;
- b) A preexisting mature and established cedar privacy hedge along the western property line will screen the neighbouring property from the proposed increased retaining wall height (0.5m/1'7").

Again, due to the existing challenging topography of the site substantial grade changes from the site access (Old Auto Road) to the West property line were unavoidable to ensure safe and reasonable unit access to all nine units. As such, two of the Strata Unit's Overall Building Heights (Unit 1 = 12.1m, Unit 2 = 11.2m) do not satisfy the 10.0m maximum height specified in the City of Salmon Arm bylaw #2303

3) *Zoning Bylaw No. 2303 - Section 9.4) – Maximum Height of Principal Buildings:*

Increase the maximum height of principal buildings from 10.0m to 12.1m.

The reason(s) for this variance request:

- a) The original topography of the site drops from East (elevation of Old Auto Road) to Western property line 5.5m (18'). To maintain reasonable accessibility to proposed multi-family units while also ensuring serviceability (sanitary and storm) the Strata Road grades down towards the Western property line as much as practical but still requires considerable fill when compared to original ground elevation. This creates a discrepancy between the proposed mainfloor elevation of the units and the original ground elevation – to which maximum building height is measured from.
- b) The site not only grades from East to West but also from South to North – this only exacerbates again the overall maximum height of the buildings based on how and where the *maximum building height* is measured from.
- c) As this property is a corner-lot property with Auto Road separating it from any other residential properties, as well as being situated 5.0m (16') below the elevation of Auto Road, no views are anticipated to be negatively affected.
- d) How *maximum height* is defined and measured in the bylaws can be extremely challenging when attempting to build on an unlevel and irregularly shaped site. With the example of building #1, the lowest original ground elevation of the outside foundation wall is 4.5m (15') lower than that of the opposite building corner. Essentially, 4.5m (15') in building height is lost when compared to a building on a flat lot.

Based on the information provided above, the owner (1334672 BC Ltd.) would respectfully request that the City of Salmon Arm provide these variances to allow the developer to maximize the developments potential and in-end produce a more desirable product. It is believed that in allowing requested variances there will be no present or future negative impact to public safety or loss of public value. Granting these variances would however allow for an assumed overall better multi-family development in a neighbourhood and community that is in desperate need of it.

Thank you for your time and consideration,

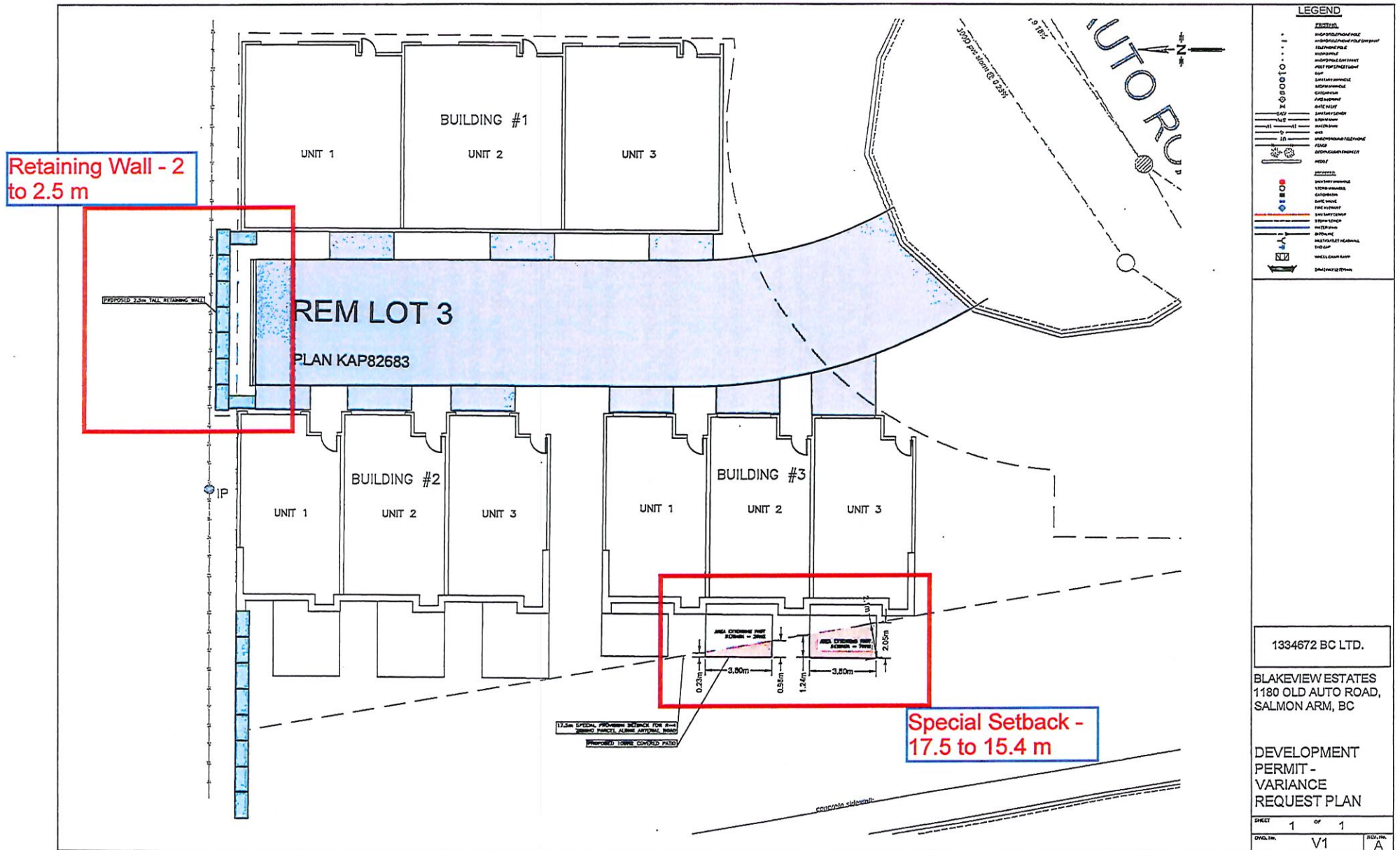
Best Regards,

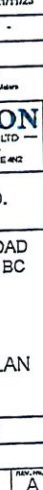


1334672 BC Ltd.

Attachment(s):

- Development Permit Variance Request Plan – Setback Variance







① South View

② North View

GENERAL NOTES:

1. These drawings define the general character and quality of the work and extent of the details. Plans are detailed and the elevations are indicated with line weights and shading to indicate the materials and construction of the work.
2. The owner shall be responsible for the design of the building and shall provide the required strength and quality of materials and construction of the work.
3. The owner shall be responsible for the design of the building and shall provide the required strength and quality of materials and construction of the work.
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9. The owner shall be responsible for the design of the building and shall provide the required strength and quality of materials and construction of the work.
10. The owner shall be responsible for the design of the building and shall provide the required strength and quality of materials and construction of the work.

STRUCTURAL NOTES:

1. All work to be in accordance with Structural Drawings and Specifications.
2. All work to be in accordance with the drawings and specifications.
3. All work to be in accordance with the drawings and specifications.
4. All work to be in accordance with the drawings and specifications.
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General Provisions:

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9. All work to be in accordance with the drawings and specifications.
10. All work to be in accordance with the drawings and specifications.

1180
Old Auto Rd.
North Bldg #1
Salmon Arm BC

Cover Sheet

Date: Mar 22, 2022
Drawn by: JAL
Project No.: 825P01_22009
Scale: 1/4" = 1'-0"
A0



Building Height -
10 to 12.1 m

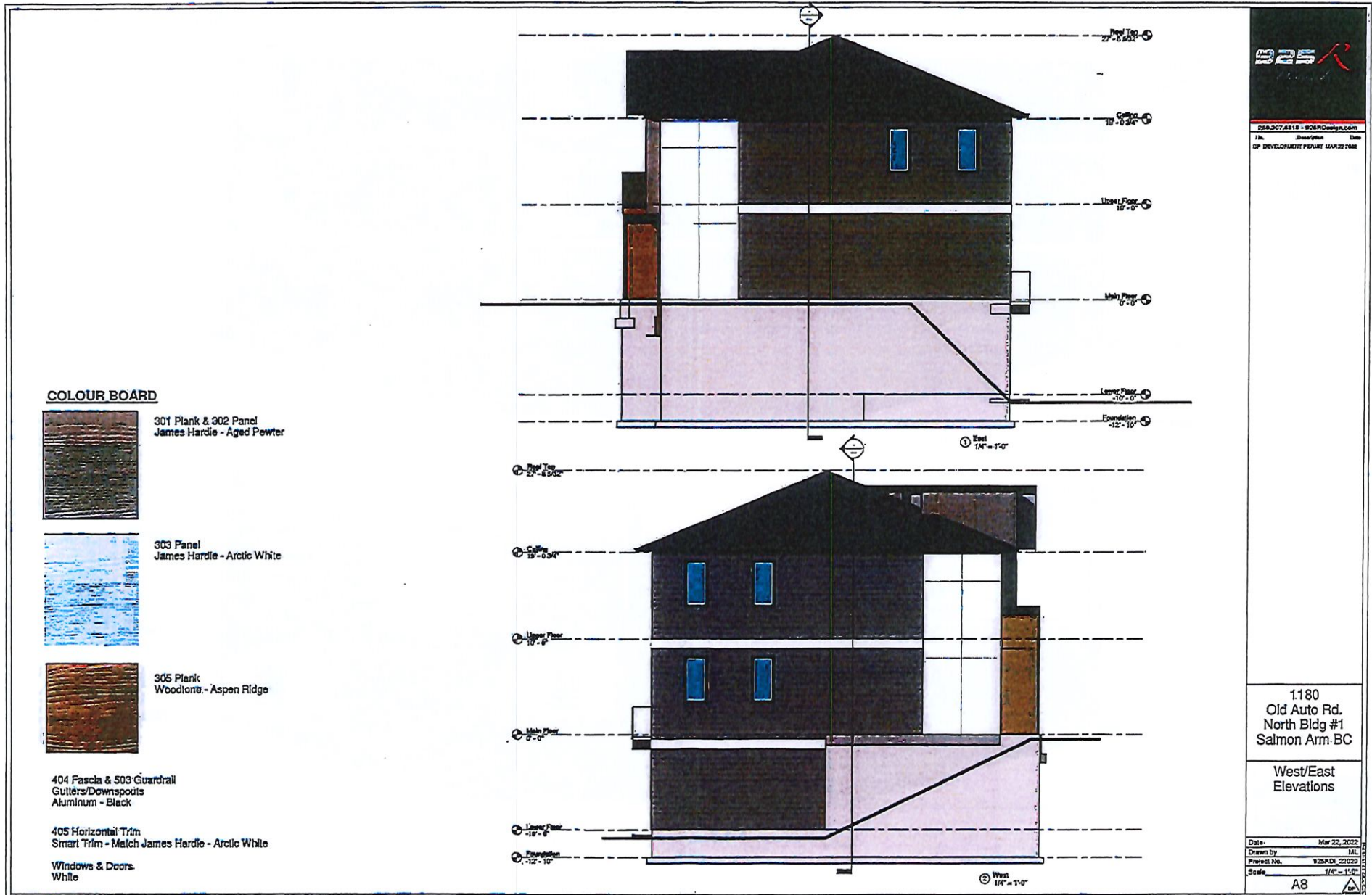
925

254.307.6818 - 925@Design.com
Date: 11/11/2021
Description: 1180 Old Auto Rd. North Bldg #1 Salmon Arm BC

1180
Old Auto Rd.
North Bldg #1
Salmon Arm BC

North/South
Elevations

Date: Mar 22, 2022
Drawn by: JAL
Project No.: 925/NDL 220228
Scale: 1/4\" = 1'-0\"
A7



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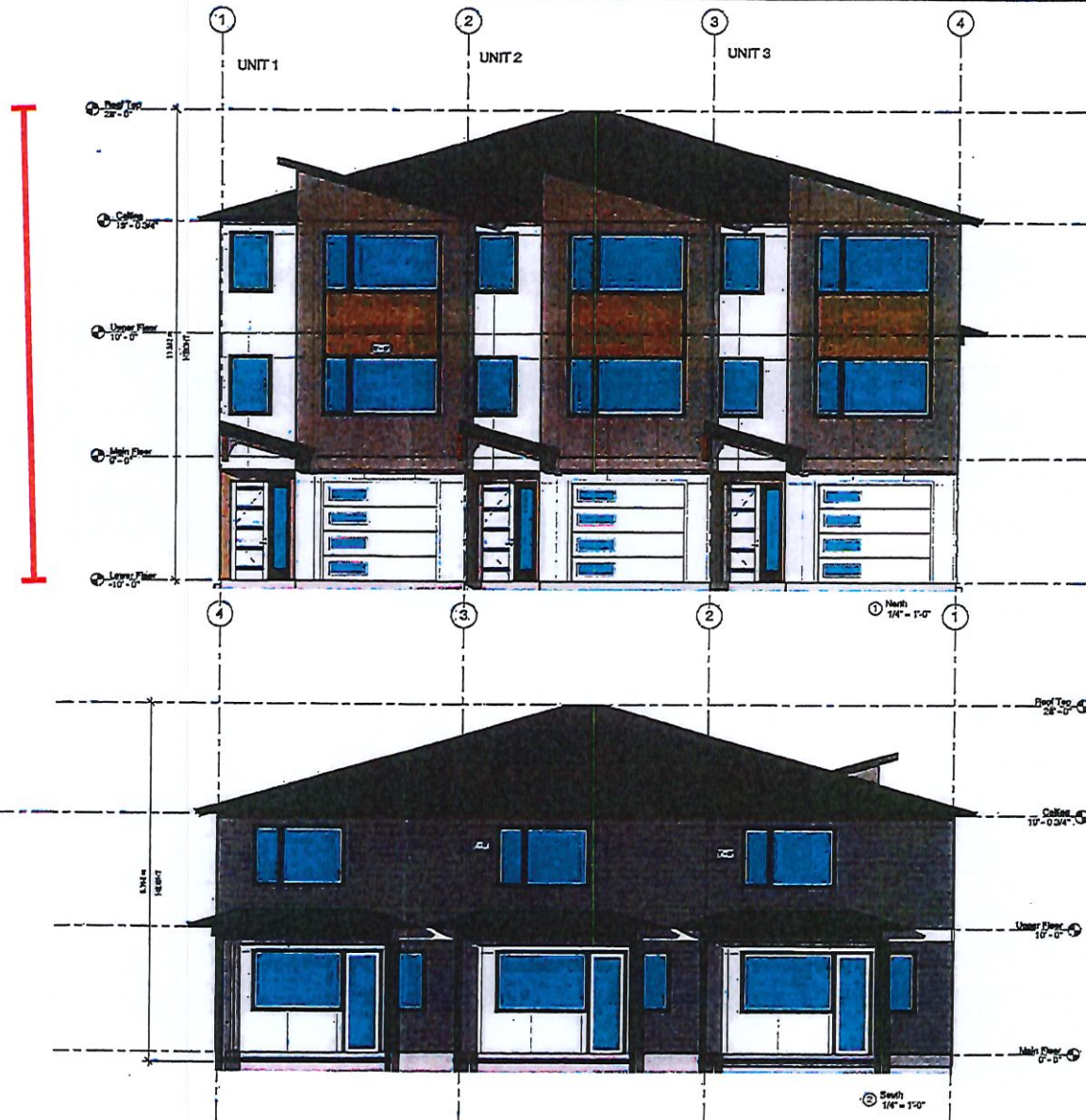
Cover Sheet

Date	Mar 22, 2022
Drawn by	1AL
Project No.	925RDI 22089
Scale	1/4" = 1'-0"

A0

△ OF

Building Height
Building 2 -
10 to 11.2 m



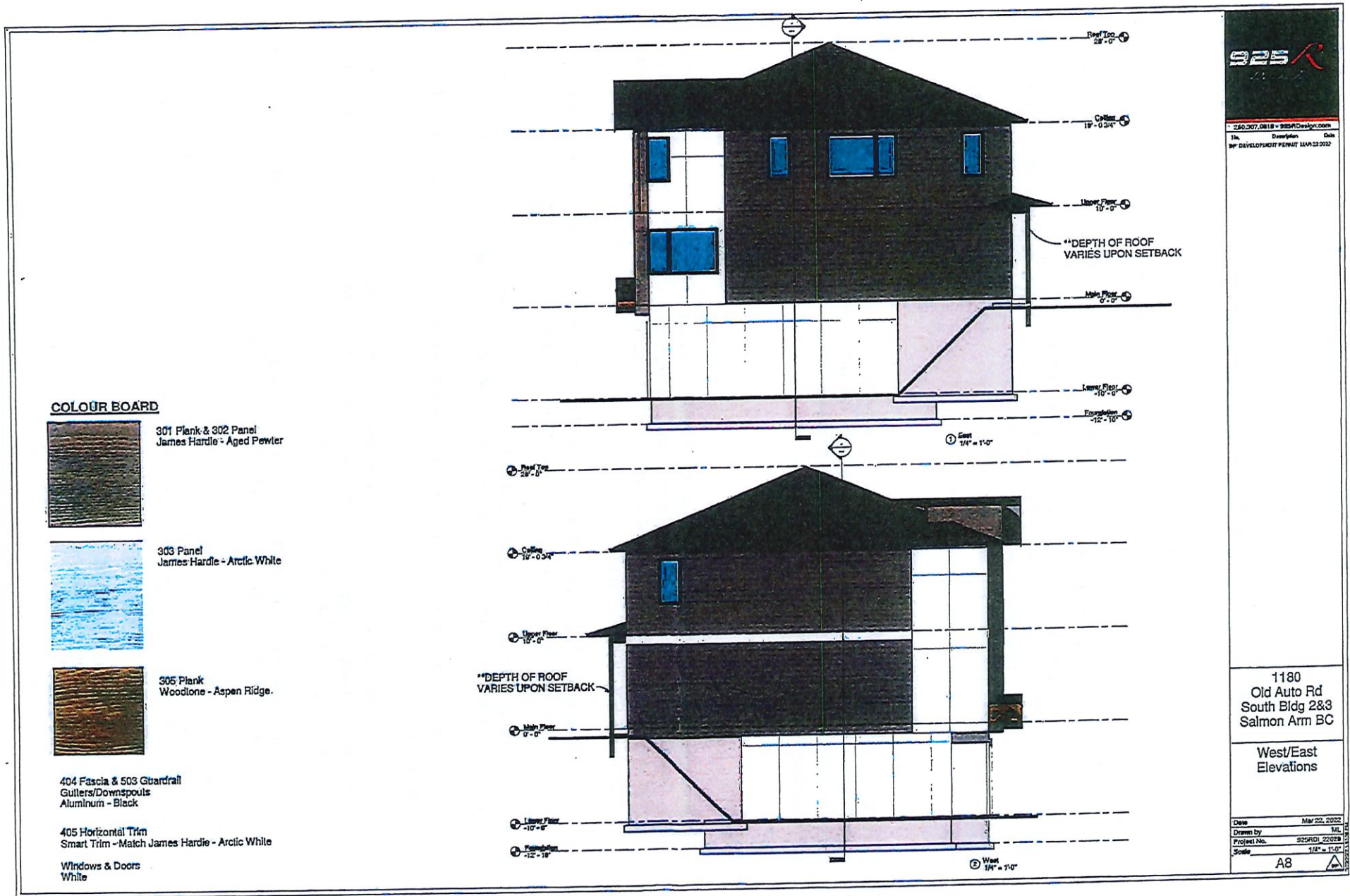
925

220-307-6018 • 925@925.ca
Jm Description Date
DP DEVELOPMENT PERMIT JAN22/2022

1180
Old Auto Rd
South Bldg 2&3
Salmon Arm BC

North/South
Elevations

Date Mar 22, 2022
Drawn by ML
Project No. 925RDI 2202P
Scale 1/4" = 1'-0"
A7



**CITY OF
SALMON ARM***Memorandum from the
Engineering and Public
Works Department*

TO: Kevin Pearson, Director of Development Services
DATE: April 25, 2022
PREPARED BY: Mustafa Zakreel, Engineering Assistant
APPLICANT: 1334672 BC Ltd
SUBJECT: Development Permit APPLICATION NO. DP-441
LEGAL: Lot 3, SECTION 13, TOWNSHIP 20, RANGE 10, W6M KDYD Plan
KAP82683 Except Plan EPP3209
CIVIC: 1180 Old Auto Road SE

Further to your referral dated March 31, 2022, we provide the following servicing information. The following comments and servicing requirements are not conditions for Rezoning and OCP amendment; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with (underground) electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of the building permit the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe

SUBDIVISION APPLICATION FILE: DP-441

April 20, 2022

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elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
10. For the off-site improvements at the time of building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. Auto Road SE, on the subject property's southern boundary, is designated as an Urban Arterial Road standard, with an ultimate 25.0m road dedication (12.5m on either side of road centerline). The City only requires an Interim total of 20.0m of road dedication (10.0m on either side of road centerline). At this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. Available records indicate that no additional road dedication is required (to be confirmed by BCLS).
2. Auto Road SE is currently constructed to an Interim Urban Arterial Road standard. Upgrading to the current Urban Interim Arterial Road standard is required, in accordance with Specification Drawing No. RD-4. Upgrading may include, but is not limited to, road widening, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs.
3. Old Auto Road SE, on the subject property's eastern boundary, is designated as an Urban Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
4. Old Auto Road SE is currently constructed to an Interim Urban Local Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to, boulevard construction, sidewalk, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
5. Statutory right of way along the north property line Plan A17566 to has been City approved for release and officially removed from title via BC land title office.

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April 20, 2022

Page 3

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6. Two right-of-way plans EPP 3209 and KAP 82685 are located along the south and east of property's lines. To the City's best knowledge, they are no longer needed; however, it is to the developer to confirm the discharge of them.
 7. A fence with the ability to take on the snow load plowed off Auto Road SE is required along the south line of the property. The Owner/Developer is responsible for all associated costs.
 8. Maximum driveway width is 8.0m for commercial developments. The proposed layout shows 6 parking spaces backing directly onto the Cu-de-sac resulting in a driveway width significantly larger than permitted. All parking must be accessed internally to the development and driveway width shall conform to the previously stated maximum.

Water:

1. The subject property fronts a 150mm diameter Zone 2 watermain on Auto Road SE. No upgrades will be required at this time.
2. The proposed development is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Bare Land Strata developments with ground oriented access have the option of a bulk water meter installed at property line at time of subdivision with invoicing to the Strata Corporation or individual strata lot metering with invoicing to each strata lot (currently on an annual flat rate). To qualify for the second option each unit requires a separate outside water service shut-off connected to the onsite private water main. Contact Engineering Department for more information. All meters will be provided at time of building permit by the City, at the owner/developers cost.
4. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
5. Fire protection requirements to be confirmed with the Building Department and Fire Department.
6. Fire hydrant installation will be required. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the Medium Density spacing requirements of 90 meters.

Sanitary:

1. The subject property fronts a 200mm diameter sanitary sewer on Old Auto Road. No upgrades will be required at this time.
2. The development is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner

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April 20, 2022

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/ Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development. Owner / Developer is responsible for all associated costs.

3. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).

Drainage:

1. The subject property fronts a 600mm diameter storm sewer on Old Auto Road SE. No upgrades will be required at this time.
2. Records indicate that the existing property is not serviced by a storm sewer service. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
3. The subject property is in an area with current storm capacity concerns according to the Stormwater Master Plan Study (April 2020). It is anticipated that stormwater will require control to the 2 year pre-development flows. Owner / Developer's engineer shall review downstream capacity within the existing City Storm System to receive the proposed discharge from the development and upstream contributing drainage areas.
4. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
5. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
6. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

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April 20, 2022

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Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng.,
City Engineer



DESIGN REVIEW PANEL MINUTES

April 27, 2022, 3:05 to 4:20 pm - Online, City Hall

Present: Marc Lamerton (Panel Member)
 Dennis Lowe (Panel Member)
 Bill Laird (Panel Member - Chair)
 Chris Larson (Senior Planner)
 Evan Chorlton (Planner)
 Rose Muto - Muto Holdings Ltd. - DP-440
 Matt Gienger - MRG Design - DP-440
 Al Waters & Craig Shantz - 1334672 BC Ltd. - DP-441
 Matt - 925R Design - DP-441
 Cole Robillard - AR Broadview Holdings Ltd - DP-442
 Kim Fuller - Lake Monster Studio - DP-442

Applications: Development Permit Applications No. DP-440, DP-441, and DP-442

Application No. DP-440 130 Shuswap Street S – Muto Holdings Ltd. (MRG Design)

Staff, the applicant, and agent provided an overview of the proposal under current application. Panel members discussed the proposal and the need for rental housing. The DRP discussed how the proposed design is fairly simple and relatively utilitarian in terms of the site layout, fitting the relatively small site. An opportunity to enhance the impact to the streetscape was suggested, with a discussion of potential revisions/additions to the west building elevation. The applicant/agent were generally amenable. With these considerations, the DRP is supportive of the proposal as such:

Panel Recommendation

THAT the DRP supports application DP-440 subject to the consideration of the following conditions:

the inclusion of design elements to enhance the west building elevation facing Shuswap Street such as:

- the inclusion of an additional roof gable, and/or
- the realignment of the entrances of the western units towards Shuswap Street.

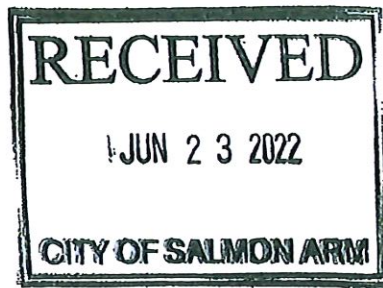
Application No. DP-441 1180 Old Auto Road SE – 1334672 BC Ltd. (925R Design)

Staff, the applicant, and agent provided an overview while the designer detailed the proposal under current application, noting site challenges. Panel members discussed the proposal and the need for a range of housing. The panel was favourable to the design presented, noting the importance of including landscaping for privacy along the north parcel line, also discussing the streetscape impact. The setback variance was not of concern. The DRP complimented the form of the buildings. The DRP is supportive of the proposal as presented.

Panel Recommendation

THAT the DRP supports application DP-441 as presented.

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P137

Thursday, June 23, 2022
From 1171 old auto road
Brian and Lynn Hyland

DP-441

mtg Monday June 27
2022
7pm.

Development of 1180 Old Auto Rd SE concerns

Views

The provided drawings are too small to read. Please provide b size pdfs

Please provide a 3d rendering showing old auto rd views. Confirm the developers statement of 3c ...no views are anticipated to be negatively affected. (Appendix 5). It is difficult to respond to height variance. I must object to 7 ft of additional height.

How far do the balconies extend from wall on building 1.

Storm drain system on old auto road

What is the timeline and bond for increasing storm drainage? It is noted by city's study april 2020 that old auto road has a storm water capacity concern.

Sewer

All residents on old auto rd will be affected by increased sewer discharge from a higher point than most residents. Will backup valves be required for sewer systems and damage from flooding paid for by the developer?

Garbage / Recycling

Where will the cans be placed for pickup i see no dedicated space?

Parking

Most dwellings need space for 2 cars. 17 spaces seems less than adequate. Is street parking allowed? is there a time limit ?

Are there caveats on no airbnb for these properties?

Snow clearing

Is the developer aware that old auto rd is not a snow clearing priority.

The cul de sac and streets will need to be clear for city snow clearing operations.

No parking should be allowed on cul de sac and it should be posted.

Where will snow on the development be cleared to both during construction and when occupied?

Construction

Control of garbage from wind onto neighboring properties.

The cul de sac has limited room for turning garbage truck or delivery trucks. No parking should be allowed on cul de sac and it should be posted. Construction vehicles will need to be on development properties or transit vans for workers may be required.

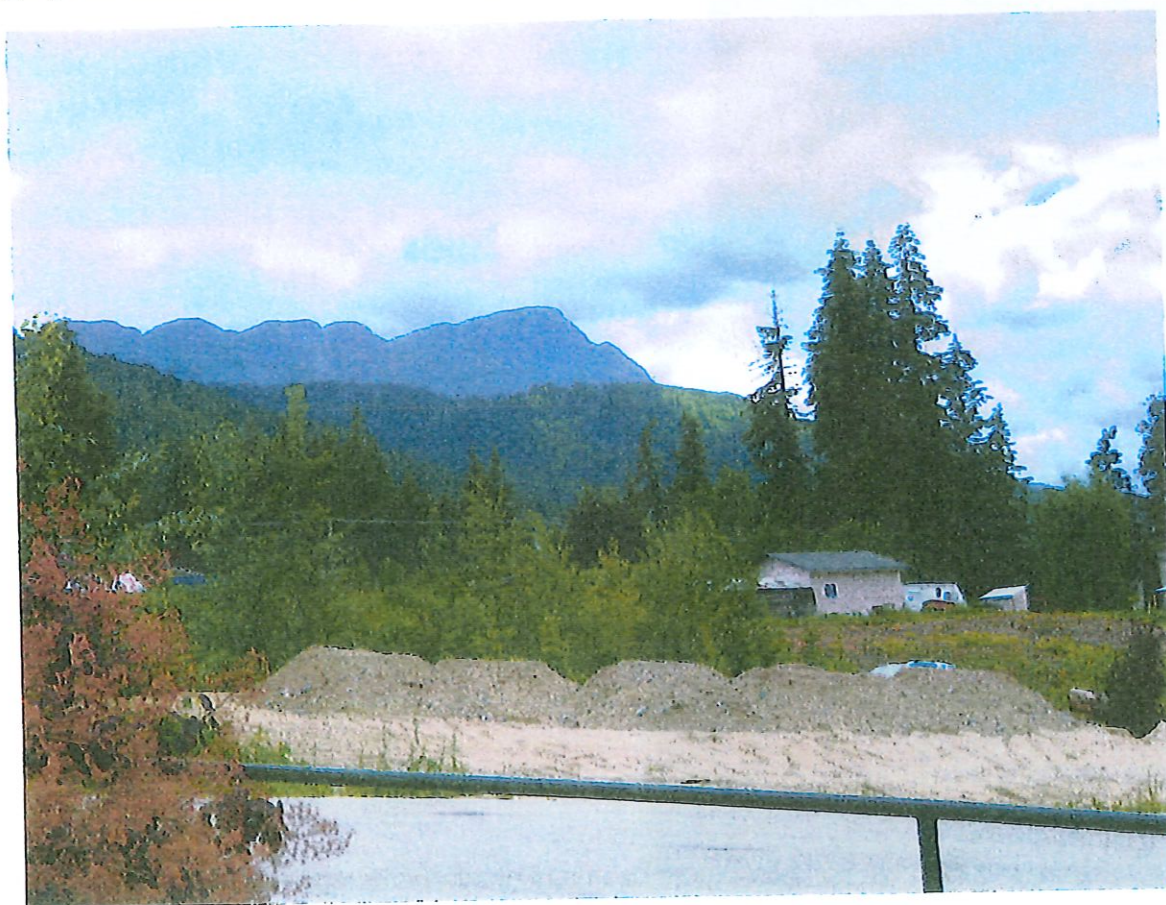
What is the percentage of building area versus property size?

Fire smart

Bark mulch is not recommended



grey truck on Auto Rd so by the time you add height of building from gravel level, will block view.



P140
Parking Culdesac



supposedly no parking on this cul de sac



if pkg on cul de sac.

even one motor home would take up one section

23.1 a

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

1) **Proposed Amendment to Official Community Plan Bylaw No. 4000 and to Zoning Bylaw No 2303:**

Proposed re-designation of Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from TC (City Center Commercial) to HR (High Density Residential).

Proposed Rezoning of Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from C-2 (Town Centre Commercial Zone) to R-5 (High Density Residential).

Civic Address: 30 – 2 Street SE

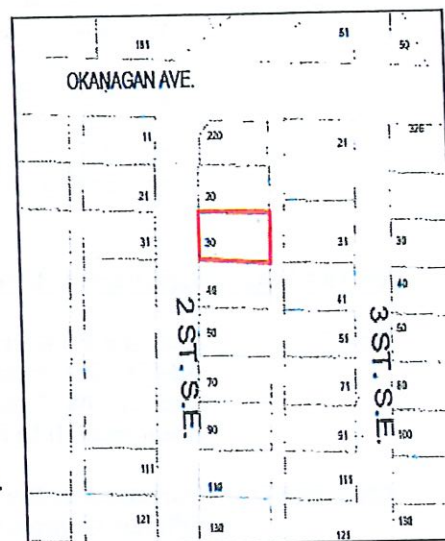
Location: South of TransCanada Highway of the East side of 2 Street SE

Present Use: Bare Land

Proposed Use: For construction of a duplex development

Owner/Applicant: I. Burmeister / Timberline Solutions

Reference: OCP4000-49/Bylaw No. 4510 and ZON-1237/ Bylaw No. 4511



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF
SALMON ARM

TO: His Worship Mayor Harrison and Members of Council

DATE: June 1, 2022

SUBJECT: Official Community Plan Amendment Application No. OCP4000-49
Zoning Amendment Application No. 1237

Legal: Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392

Civic: 30 – 2 Street SE

Owner: I.E. Burmeister

Agent: Timberline Solutions / K. Lowe

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Official Community Plan Bylaw No. 4000 Land Use Designation of Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from TC (City Centre Commercial) to HR (High Density Residential);

AND THAT: Pursuant to Section 475 of the *Local Government Act*, Council shall consider this Official Community Plan amendment after appropriate consultation with affected organizations and authorities;

AND THAT: Pursuant to Section 476 of the *Local Government Act*, Council shall consider this Official Community Plan amendment after required consultation with School District No. 83;

AND THAT: Pursuant to Section 477 (3) (a) of the *Local Government Act*, Second Reading of the Official Community Plan bylaw be withheld pending Council's consideration of the amendment in conjunction with:

1. The Financial Plans of the City of Salmon Arm; and
2. The Liquid Waste Management Plan of the City of Salmon Arm;

AND THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392, from C-2 (Town Centre Commercial Zone) to R-5 (High Density Residential Zone);

AND FURTHER THAT: Final Reading of the Zoning Amendment Bylaw be withheld subject to:

1. Ministry of Transportation and Infrastructure approval; and
 2. Adoption of the associated Official Community Plan Amendment Bylaw.
-

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

BACKGROUND

The civic address of the subject property is 30 – 2 Street SE. The property is located near the corner of Okanagan Avenue SE and 2 Street SE, south of the Trans Canada Highway (Appendices 1 & 2). The ultimate intent is to construct a duplex development on the now-vacant parcel. Site photos are attached, as Appendix 3. In December 2018, the Single Family Dwelling on the subject property was demolished.

Only upper or lower floor dwelling units, not both, are permitted in the C-2, Town Centre Commercial Zone. As such, to eliminate any potential commercial space requirements, both an OCP and a zoning amendment are necessary. This is because, in order to eliminate any commercial space requirements, an OCP amendment back to HR is necessary in order to also rezone to R-5, where commercial space is not required.

This application proposes to change the OCP designation from TC (Commercial City Centre) to HR (High Density Residential); and a Zoning Amendment to change the zoning from C-2, Town Centre Commercial Zone, to R-5, High Density Residential Zone. OCP and zoning maps are attached, as Appendices 4 & 5. The C-2 and R-5 zones are attached as Appendices 6 and 7.

Land uses adjacent to the subject parcel include the following:

North:	single family dwelling	Zoned C-2
South:	single family dwelling	Zoned R-1
East:	single family dwelling	Zoned R-1
West:	single family dwelling with home occupation	Zoned R-1

In 2012, the subject property, 20 2 Street SE and 220 Okanagan Avenue SE were re-designated from HR to TC and rezoned from R-1 to C-2 to accommodate a larger-scale development. However, the owner proceeded with only developing 220 Okanagan Avenue SE. The single family dwelling on the subject property was demolished, but no further development has occurred. The property currently remains vacant.

OCP POLICIES

This application proposes to reverse the OCP designation on the subject property back to its 2011 designation of High Density Residential. This property essentially borders the boundary between City Centre Commercial and High Density Residential. OCP Policy 8.3.19 supports high density residential developments in areas with good access to the following:

- transportation routes, including transit, trails and sidewalks, and roads;
- recreation, parks and open space;
- community services, e.g., commercial uses, schools.

Section 475 & 476 – Local Government Act

Pursuant to Section 475 and 476 of the Local Government Act (consultation during OCP development/amendments), the proposed OCP amendment was referred to the following external organizations:

Adams Lake Indian Band (and subsequent follow-up with Archaeology Branch on June 1, 2022):	Response (attached as Appendix 8)
Neskonlith Indian Band:	No response to date
Economic Development Society:	Response (attached as Appendix 11)
School District No. 83:	No response to date

Section 477 – Local Government Act

Pursuant to Section 477 of the *Local Government Act* (adoption procedures for Official Community Plan), after first reading, the OCP amendment bylaw must be considered in relation to the City's Financial and Waste Management Plans. In the opinion of staff, this proposed OCP amendment is largely consistent with both the City's financial and waste management plans.

COMMENTSFire Department

No Fire Department concerns.

FortisBC

FortisBC has reviewed the subject proposal and has no objections.

Building Department

No concerns at this time. British Columbia Building Code requirements must be adhered to at Permit Stage.

Engineering Department

Comments attached (Appendix 9).

Ministry of Transportation and Infrastructure

Preliminary Approval has been granted (Appendix 10).

Public Consultation

Pursuant to the *Local Government Act* and City of Salmon Arm Zoning Bylaw notices are mailed to land owners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the Statutory Public Hearing. The notices outline the proposal and advises those with an interest in the proposal to provide written submission prior to the Public Hearing and information regarding attending the Public Hearing. It is expected that the Public Hearing for this application will be held on June 27, 2022.

Planning Department

The location of the property is just south of the Trans-Canada Highway and essentially borders the downtown commercial area to the north and the residential area to the south. The property is centrally located and provides good access to amenities in the downtown core. The neighbourhood of the property ranges from low density, single family dwellings to higher density multi-family residential developments.

A covenant prohibiting some commercial uses that were considered non-compatible in this transitional area between the Town Centre commercial area and the residential area was a condition for rezoning the parcel to C-2 in 2013. Because the property is located in this transitional area, changing the designation and rezoning the property back to residential is supported based on its location. Should development proceed, the covenant could be removed at either the Development Permit or Building Permit stage.

The maximum density permitted in the R-5 zone is 100 dwelling units per hectare or 40.5 dwelling units per acre. With R-5 zoning, the maximum density on this property would be four (4) dwelling units or five (5) units with a density bonus. The practicality of achieving that density is limited by the narrowness of the

lot, the parking easement (6 m wide) along the lane, and parking regulations. Two dwelling units are proposed (i.e. a duplex).

The setbacks are significantly different between commercial and residential zoned properties. The current zoning, C-2 Town Centre Commercial, allows the maximum parcel or site coverage to be 100% of the parcel or site area and 0.0 m setbacks. The proposed R-5, High Density Residential zoning, the maximum parcel coverage is 55% for all buildings. The setbacks for principal buildings in the R-5 zone are 5.0 m for the front, rear and exterior side parcel lines; and 2.4 m for interior side parcel lines.

With respect to parking requirements, the proposal requires a minimum of 4 parking spaces (2 per dwelling unit for a Duplex). In 1981, there was a 6 m wide Easement registered on Title for the east portion of the property (off of the lane). The intent of this was/is for nearby property 21 3 Street SE to use the Easement as a parking lot. As such, all parking spaces will need to be accessed/located on the west (off of 2 Street SE). Staff believe there is sufficient space to fulfill the minimum parking requirements of the R-5 zone for a duplex development.

The City's OCP does not require a Form and Character Development Permit application for a duplex. The R-5 zone was amended in 2021 to permit *duplex* development in the R-5 zone.

CONCLUSION

This OCP and zoning amendment application proposes to revert the subject property from commercial back to high density residential to facilitate the construction of a duplex. The property is located in a transitional area essentially bordering the downtown commercial area to the north and the high density residential area to the south. The location of the property is supportive of this proposal. In addition, given that the parcel is currently vacant, the density and parking provisions of the R-5 zone could be achieved. Staff are supportive of the land use changes.



Prepared by: Evan Chorlton
Planner I


Reviewed by: Kevin Pearson MCIP RPP
Director of Development Services

APPENDIX 1



OrthoMap

220

P14

20

30

40

50

ES

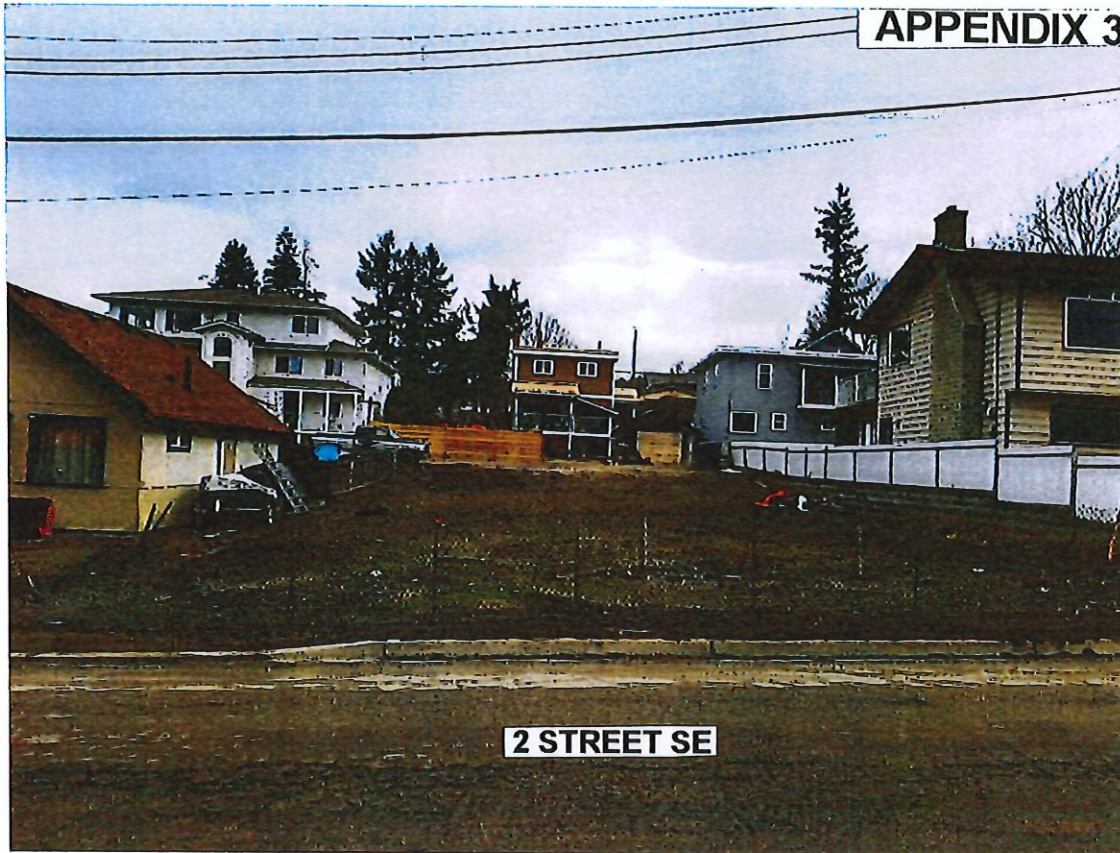


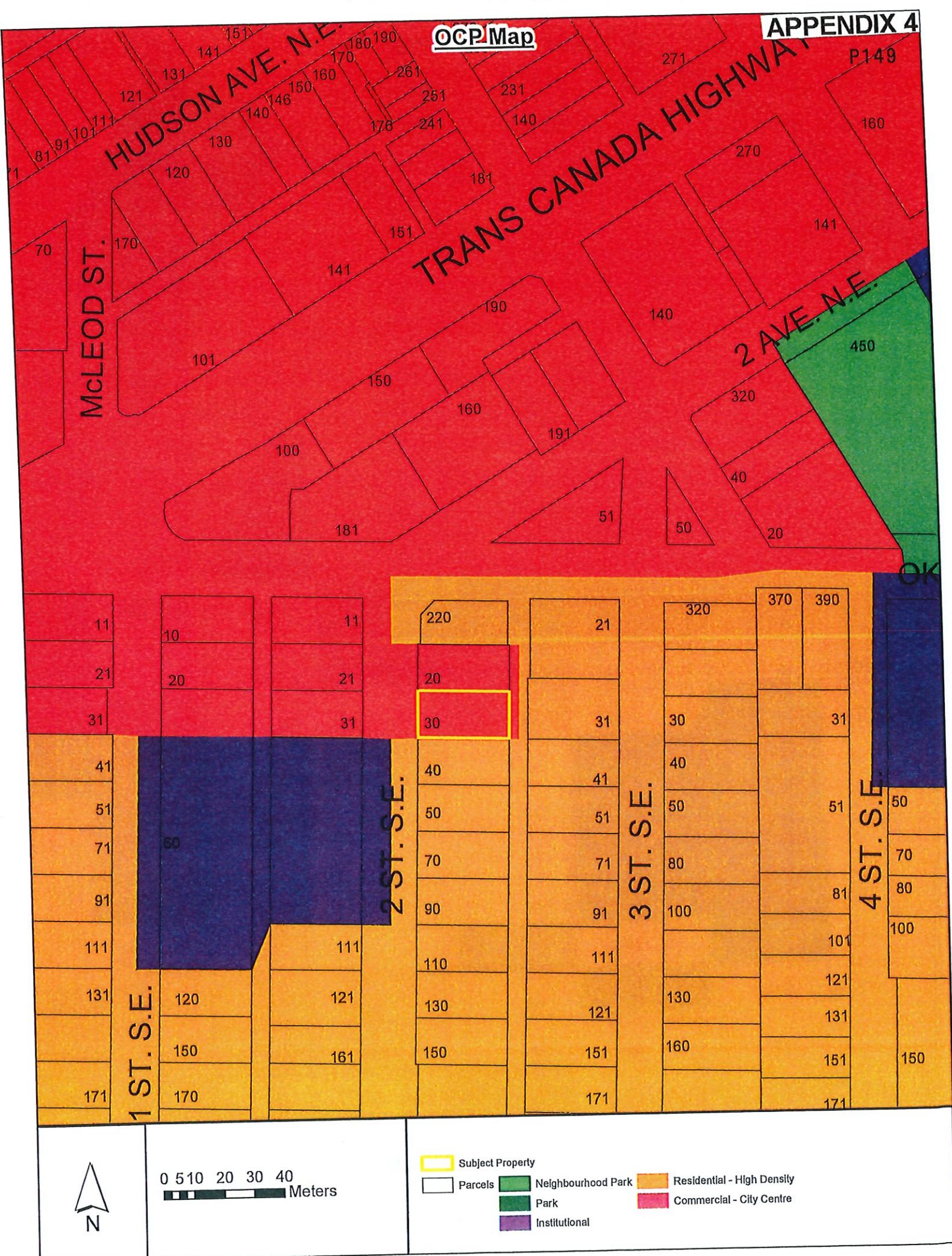
0 1.5 3 6 9 12 Meters

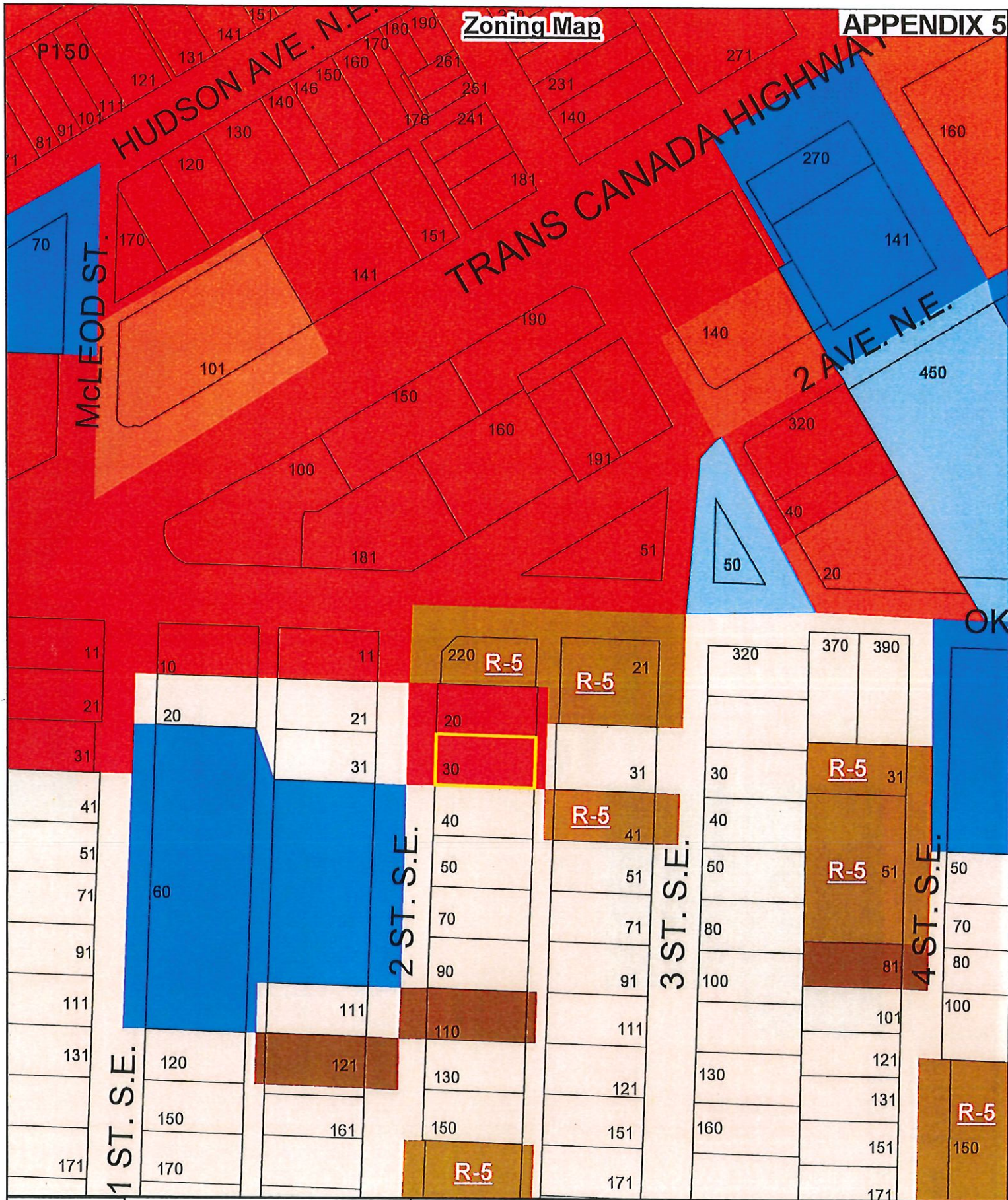
Subject Property
Parcels



APPENDIX 3







Purpose

- 16.1 The C-2 Zone is intended to function as the central business district of the *Municipality* and as such be oriented to pedestrian traffic and provide for a wide variety of activities including retail, business, entertainment, cultural and limited residential uses. New *developments zoned C-2* may be required to obtain a *Development Permit* as per the requirements of the *Official Community Plan*.

Regulations

- 16.2 On a *parcel zoned C-2*, no *building or structure* shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the C-2 Zone or those regulations contained elsewhere in this Bylaw.

Permitted Uses

- 16.3 The following uses and no others are permitted in the C-2 Zone:

- .1 assembly hall;
- .2 auto parts retail; #3001
- .3 cabaret;
- .4 cafe; #2900
- .5 churches; #2819
- .6 commercial daycare facility;
- .7 congregate housing; #3067
- .8 education/training facility;
- .9 entertainment facility;
- .10 financial institution;
- .11 health services centre;
- .12 high technology research and development; #4368
- .13 home occupation; #2782
- .14 hotel;
- .15 licensee retail store; #3223
- .16 lower floor dwelling units; #3951
- .17 neighbourhood pub;
- .18 mobile food vending; #4240
- .19 nightclub;
- .20 outside display of goods and wares;
- .21 office;
- .22 parkade/off street parking;
- .23 personal service establishment;
- .24 print service;
- .25 public use;
- .26 private utility; #3060
- .27 public utility;
- .28 radio and television broadcasting station;
- .29 recreation facility - indoor;
- .30 restaurant;
- .31 retail store;
- .32 sporting goods stores;
- .33 tourist retail shop;
- .34 transportation use;
- .35 upper floor dwelling units;
- .36 upholstery shop;
- .37 accessory use.

P152 **SECTION 16 - C-2 - TOWN CENTRE COMMERCIAL ZONE - CONTINUED**

Maximum Height of Principal Buildings

16.4 The maximum *height* of the *principal buildings* shall be 20.0 metres (65.6 feet).

Maximum Height of Accessory Buildings

16.5 The maximum *height* of an accessory *building* shall be 6.0 metres (19.7 feet).

Maximum Parcel or Site Coverage

16.6 The maximum *parcel* or *site coverage* shall be 100% of the *parcel* or *site* area.

Minimum Parcel Size or Site Area

16.7 The minimum *parcel* size or *site* area shall be 300.0 square metres (3,229.3 square feet).

Minimum Parcel or Site Width

16.8 The minimum *parcel* or *site* width shall be 10.0 metres (32.8 feet).

Outside Storage

16.9 Outside storage shall not be permitted.

Parking and Loading

16.10 Parking and loading shall be required as per Appendix I.

APPENDIX 7

Purpose

- 10.1 The purpose of the R-5 Zone is to provide for high density, multiple family residential development in selected locations throughout the Municipality. New developments zoned R-5 shall be required to obtain a Development Permit as per the requirements of the Official Community Plan, and shall comply with the provisions of the **Fire Services Act**, **British Columbia Building Code**, and other applicable legislation. #2789

Regulations

- 10.2 On a parcel zoned R-5, no building or structure shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the R-5 Zone or those regulations contained elsewhere in this Bylaw.

Permitted Uses

- 10.3 The following uses and no others are permitted in the R-5 Zone:

- .1 assisted living housing; #4336
- .2 boarders, limited to two;
- .3 boarding home; #2789
- .4 commercial daycare facility;
- .5 dining area; #4336
- .6 duplex; #4421
- .7 home occupation; #2782
- .8 multiple family dwellings;
- .9 public use;
- .10 public utility;
- .11 rooming house; #2789
- .12 triplex; #3286
- .13 accessory use.

Maximum Height of Principal Building

- 10.4 The maximum height of the principal buildings shall be 12.0 metres (39.4 feet). This may be increased to 15.0 metres (49.2 ft.), via the Development Permit process, if any of the special amenity (ies) in Table 3 are provided.

Maximum Height of Accessory Building

- 10.5 The maximum height of an accessory building shall be 6.0 metres (19.7 feet).

Maximum Parcel Coverage

- 10.6
- .1 The total maximum parcel coverage for principal and accessory buildings shall be 55% of the parcel area, of which 10% shall be the maximum parcel coverage for accessory buildings. #2811
 - .2 The above parcel coverage may be increased to 70% of the parcel area if all requisite parking, except for visitors, is provided underground.

Minimum Parcel Area

- 10.7 The minimum parcel area shall be 775.0 square metres (8,342.3 square feet).

Minimum Parcel Width

- 10.8 The minimum parcel width shall be 30.0 metres (98.5 feet).

Minimum Setback of Principal Buildings

- 10.9 The minimum setback of buildings from the:
- .1 Front parcel line shall be 5.0 metres (16.4 feet)
 - .2 Rear parcel line shall be 5.0 metres (16.4 feet)
 - .3 Interior side parcel line shall be 2.4 metres (7.8 feet)
 - .4 Exterior side parcel line shall be 5.0 metres (16.4 feet)
 - .5 Refer to Section 4.9 for "Special Building Setbacks" which may apply. #2811

SECTION 10 - R-5 - HIGH DENSITY RESIDENTIAL ZONE - CONTINUED**Minimum Setback of Accessory Buildings**

10.10 The minimum *setback* of accessory *buildings* from the:

- | | | |
|----|---|------------------------|
| .1 | <i>Front parcel line</i> shall be | 5.0 metres (16.4 feet) |
| .2 | <i>Rear parcel line</i> shall be | 1.0 metre (3.3 feet) |
| .3 | <i>Interior side parcel line</i> shall be | 1.0 metre (3.3 feet) |
| .4 | <i>Exterior side parcel line</i> shall be | 5.0 metres (16.4 feet) |
| .5 | Refer to "Pound and Animal Control Bylaw" for special setbacks which may apply. #2811 | |

Maximum Density

Note: The following *density* provisions are based on the *gross parcel area*. Parking requirements, *setback* requirements, road dedication, etc. have not been taken into consideration.

10.11

- .1 The maximum *density* shall be a total of 100 *dwelling units* or *sleeping units* per hectare (40.5 *dwelling units* or *sleeping units* per acre). #2789
- .2 Notwithstanding Section 10.11.1, the maximum *density* in the R-5 Zone may be increased to a maximum of 130 *dwelling units* per hectare (52.6 units per acre) in accordance with Table 3. In Table 3, Column I sets out the special amenity to be provided and Column II sets out the added *density* assigned for each amenity.
- .3 Notwithstanding Section 10.11.1, the maximum *density* in the R-5 Zone may be increase to a maximum of 130 *dwelling units* per hectare (52.6 units per acre) for the provision of *Assisted Living Housing*. #4336

TABLE 3

COLUMN I SPECIAL AMENITY TO BE PROVIDED	COLUMN II ADDED DENSITY
1. Provision of each dwelling unit which caters to the disabled (e.g. wheelchair access)	□ 2 units per hectare (0.8 units per acre)
2. Provision of <i>commercial daycare facility</i> 7 - 10 children 11 - 15 children 16 or more children	□ 4 units per hectare (1.2 units per acre) □ 6 units per hectare (1.6 units per acre) □ 8 units per hectare (2.8 units per acre)
3. Provision of below <i>grade</i> or parkade type parking for at least 50% of the required off street parking	□ 10 units per hectare (4.0 units per acre)
4. Provision of each rental <i>welling unit</i>	□ 2 units per hectare (0.8 units per acre)
5. Provision of affordable rental <i>dwelling units</i> in accordance with special agreement under Section 904 #3218	□ 5 units per hectare (2.0 units per acre)

Parking

10.12 Parking shall be required as per Appendix I.



Adams Lake Indian Band

APPENDIX 8

Project Name:

30 2 STREET SE

FN Consultation ID:

94549

Consulting Org Contact:

Kathy FRESE

Consulting Organization:

[City of Salmon Arm](#)

Date Received:

Monday, March 21, 2022

Weytk,

Re: the 30 2 STREET SE, Salmon Arm proposed OCP amendment for a new duplex.

Through a preliminary analysis ALIB has identified some concerns which include:

x422 known ALIB cultural heritage sites (these do not include archaeology but are specific to ALIB) found within 1 and 5 km of the project area, including Non-Human Being stories (x20), pithouses, sacred/ceremonial/spiritual locales, boundary markers, community gatherings location, habitation and subsistence. It is in an extirpated caribou zone and in the Thompson River watershed.

Adams Lake holds constitutionally protected Aboriginal rights including title throughout the entirety of its territory. Members of Adams Lake continue to exercise their Aboriginal rights as their ancestors have done for generations, including hunting, trapping, gathering and fishing, along with rights associated with spiritual and cultural traditions which are practiced in accordance with Secwepemc customs, laws and governance structures.

ALIB will require an ALIB cultural monitor for any land altering activities. Have them contact Jen Pooley (jpooley@alib.ca) to make arrangements for ALIB crew to visit the project area.

ALIB also requires that they create a Chance Find Policy and make all those involved in the project be made aware of it and the possibility of Indigenous cultural heritage values associated with this locale. A template to create the Policy from can be found here: <https://islandstrust.bc.ca/document/province-of-bc-archaeology-chance-fi...> Note: this guide is from 2014. Some contact information may be out of date.

Notify Jen and Leah Gaze (lgaze@alib.ca) directly when there is a payment sent by mail or courier for ALIB Heritage Permits.

Please share any cultural heritage or environmental reports associated with this project.

Please consider using the Messages function on this referral in NationsConnect to otherwise respond to this letter.

Kukstemc,

Celia Nord, BA
Assistant Title & Rights Coordinator
Adams Lake Indian Band
Chase, BC

From: Cooper, Diana FLNR:EX <Diana.Cooper@gov.bc.ca>
Sent: Wednesday, June 1, 2022 1:28 PM
To: Evan Chorlton
Subject: RE: [External] Data Request: Evan Chorlton - City of Salmon Arm

Hello Evan,

Thank you for your archaeological information request regarding 30 - 2 Street SE, Salmon Arm, PID 012410489, LOT 3 BLOCK 3 SECTION 14 TOWNSHIP 20 RANGE 10 WEST OF THE 6TH MERIDIAN KAMLOOPS DIVISION YALE DISTRICT PLAN 392. Please review the screenshot of the property below (outlined in yellow) and notify me immediately if it does not represent the property listed in your information request.

Results of Provincial Archaeological Inventory Search

According to Provincial records, there are no known archaeological sites recorded on the subject property.

However, archaeological potential modelling for the area indicates there is high potential for previously unidentified archaeological sites to exist on the property, as indicated by the brown colour shown over everything in the second screenshot below. Archaeological potential modelling is compiled using existing knowledge about archaeological sites, past Indigenous land use, and environmental variables. Models are a tool to help predict the presence of archaeological sites, and their results may be refined through further assessment.

Archaeology Branch Advice

If land-altering activities (e.g., home renovations, property redevelopment, landscaping, service installation) are planned for the subject property, a Provincial heritage permit is not required prior to commencement of those activities.

However, a Provincial heritage permit will be required if archaeological materials are exposed and/or impacted during land-altering activities. Unpermitted damage or alteration of a protected archaeological site is a contravention of the *Heritage Conservation Act* and requires that land-altering activities be halted until the contravention has been investigated and permit requirements have been established. This can result in significant project delays.

Therefore, the Archaeology Branch strongly recommends engaging an eligible consulting archaeologist prior to any land-altering activities. The archaeologist will review the proposed activities, verify archaeological records, and possibly conduct a walk-over and/or an archaeological impact assessment (AIA) of the project area to determine whether the proposed activities are likely to damage or alter any previously unidentified archaeological sites.

Please notify all individuals involved in land-altering activities (e.g., owners, developers, equipment operators) that if archaeological material is encountered during development, they **must stop all activities immediately** and contact the Archaeology Branch for direction at 250-953-3334.

If there are no plans for land altering activities on the property, no action is required at this time.

Rationale and Supplemental Information

- There is high potential for previously unidentified archaeological deposits to exist on the property.

- Archaeological sites are protected under the *Heritage Conservation Act* and must not be damaged or altered without a Provincial heritage permit issued by the Archaeology Branch. This protection applies even when archaeological sites are previously unidentified or disturbed. P157
- If a permit is required, be advised that the permit application and issuance process takes approximately 15 to 35 weeks; the permit application process includes referral to First Nations and subsequent engagement.
- The Archaeology Branch must consider numerous factors (e.g., proposed activities and potential impacts to the archaeological site[s]) when determining whether to issue a permit and under what terms and conditions.
- The Archaeology Branch has the authority to require a person to obtain an archaeological impact assessment, at the person's expense, in certain circumstances, as set out in the *Heritage Conservation Act*.
- Occupying an existing dwelling or building without any land alteration does not require a Provincial heritage permit.

How to Find an Eligible Consulting Archaeologist

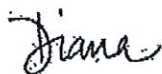
An eligible consulting archaeologist is one who can hold a Provincial heritage permit to conduct archaeological studies. To verify an archaeologist's eligibility, ask an archaeologist if he or she can hold a permit in your area, or contact the Archaeology Branch (250-953-3334) to verify an archaeologist's eligibility. Consulting archaeologists are listed on the BC Association of Professional Archaeologists website (www.bcapa.ca) and in local directories. Please note, the Archaeology Branch cannot provide specific recommendations for consultants or cost estimates for archaeological assessments. Please contact an eligible consulting archaeologist to obtain a quote.

Questions?

For questions about the archaeological permitting and assessment process, please contact the Archaeology Branch at 250-953-3334 or archaeology@gov.bc.ca.

For more general information, visit the Archaeology Branch website at www.gov.bc.ca/archaeology.

Kind regards,



APPENDIX 9

TO:	Kevin Pearson, Director of Development Services
DATE:	March 24, 2022
PREPARED BY:	Mustafa Zakreer, Engineering Assistant
APPLICANT:	I.E. Burmeister
SUBJECT:	OFFICIAL COMMUNITY PLAN APPLICATION NO. 4000-49
LEGAL:	Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392
CIVIC:	30 – 2 Street SE

Further to your referral dated March 22, 2022, we provide the following servicing information. **The following comments and servicing requirements are not conditions for Rezoning and OCP amendment; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:**

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. The applicant will be required to submit for City review and approval prior to development, a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

Official Community Application: 4000-49

March 24, 2022

Page 2

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9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
 10. For the off-site improvements at the time of building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 2 Street SE, on the subject property's western boundary, is designated as an Urban Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that 1.712m of additional road dedication is required (to be confirmed by a BCLS).
2. 2 Street SE is currently constructed to an Interim Local Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to, road widening and construction, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs.
3. The Lane on the subject properties eastern boundary requires a total road allowance of 7.3m (3.65m from centre line). Available records indicate that an additional 0.610m to the east will be required. (To be confirmed by a BCLS.) The owner/developer will be responsible for upgrading the Lane to the current Lane standard (RD-12). The owner/developer is responsible for all associated costs.
4. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.

Water:

1. The subject property fronts a 200mm diameter Zone 1 watermain on 2 Street SE. No upgrades will be required at this time.
2. The existing lot is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost.. Owner / Developer is responsible for all associated costs.

Official Community Application: 4000-49

March 24, 2022

Page 3

3. Records indicate that the existing property is serviced by a 19mm service from the 200mm diameter watermain on 2 Street SE. Due to the size and / or age of the existing service, upgrading to a new metered service (minimum 25mm) will be required. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
5. Fire protection requirements to be confirmed with the Building Department and Fire Department.
6. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the high density spacing requirements of 90 meters.

Sanitary:

1. The subject property fronts a 150 mm diameter sanitary sewer on 2 Street SE. Upgrading to a minimum 200mm diameter will be required. A 50% cash in lieu contribution to future works will be required to have it completed as a part of a large project in the future. In addition, the subject property front a 200 mm diameter sanitary sewer in the lane to the east of the property. No upgrade is required at this time.
2. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016)
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary sewer on 2 Street SE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Drainage:

1. An existing 300mm storm main is located 2 Street SE and the Lane to the east of the development site to the north and east of the property. Extending the 300mm storm main along the eastern frontage of the property is required.
2. Records indicate that the existing property is serviced by a 100mm service from the storm sewer on 2 Street SE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
3. The subject property is in an area with no current storm capacity concerns according to the Stormwater Master Plan Study (April 2020)
4. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.

Official Community Application: 4000-49

March 24, 2022

Page 4

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5. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
 6. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng., LEED ® AP
City Engineer

Your File #: ZON-1237 /
BL4511

eDAS File #: 2022-01543

Date: Apr/05/2022

APPENDIX 10

City of Salmon Arm
500 2nd Avenue NE
PO Box 40
Salmon Arm, BC V1E 4N2
Canada

Attention:

**Re: Proposed Bylaw 4511 for:
LOT 3, BLOCK 3, 14-20-10 W6M KDYD PLAN 392**

Preliminary Approval is granted for the rezoning of the above noted parcel from C-2 zone to a R-5 zone for one year pursuant to section 52(3)(a) of the *Transportation Act*. Please forward this the Salmon Arm District Office the bylaw after third reading for our final review and signature.

If you have any questions please feel free to call Elizabeth KEAM at (778) 824-0112.
Yours truly,



Samantha Lewis
Development Services Officer

Local District Address
Salmon Arm Area Office Bag 100 850C 16th Street NE Salmon Arm, BC V1E 4S4 Canada Phone: (250) 712-3660 Fax: (250) 833-3380

April 13, 2022

APPENDIX 11

City of Salmon Arm
Kevin Pearson
PO Box 40
Salmon Arm BC, V1E 4N2

Dear Kevin,

Re: OCP Amendment Application No OCP4000-49

The Salmon Arm Economic Development Society (SAEDS) Board of Directors has reviewed the information for the above-noted OCP Amendment Referral to amend the OCP designation of the property located at 30 2nd Street SE, Salmon Arm, from City Centre Commercial to High Density Residential.

The SAEDS Board recognizes the importance of high density housing to the City's growth; however; the board is of the opinion that, while a multi-unit dwelling or a mixed-use designation may warrant removal of the property from City Centre Commercial, construction of a duplex would not be sufficient to outweigh the future value of commercial growth.

Based on the information provided, the Board does not support the application as presented. We thank you for the opportunity to comment on this proposed OCP bylaw amendment.

Sincerely,



Lana Fitt
Economic Development Manager

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23.1 b

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

1) **Proposed Amendment to Official Community Plan Bylaw No. 4000 and to Zoning Bylaw No. 2303:**

Proposed re-designation of Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from TC (City Center Commercial) to HR (High Density Residential).

Proposed Rezoning of Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from C-2 (Town Centre Commercial Zone) to R-5 (High Density Residential).

Civic Address: 30 – 2 Street SE

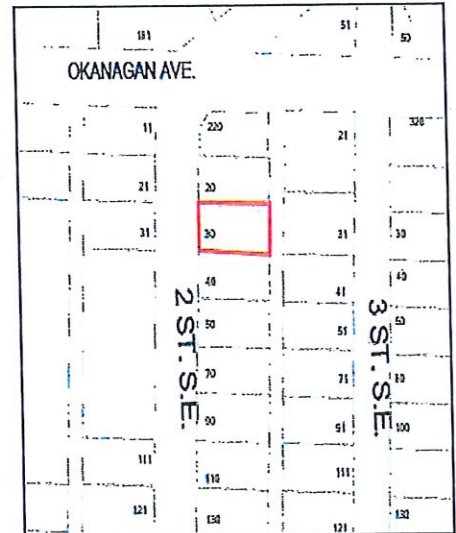
Location: South of TransCanada Highway of the East side of 2 Street SE

Present Use: Bare Land

Proposed Use: For construction of a duplex development

Owner/Applicant: I. Burmeister / Timberline Solutions

Reference: OCP4000-49/Bylaw No. 4510 and ZON-1237/ Bylaw No. 4511



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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23.2

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

2) **Proposed Amendment to Zoning Bylaw No 2303:**

Proposed Rezoning of Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP79114 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

Civic Address: 961 – 17 Street SE

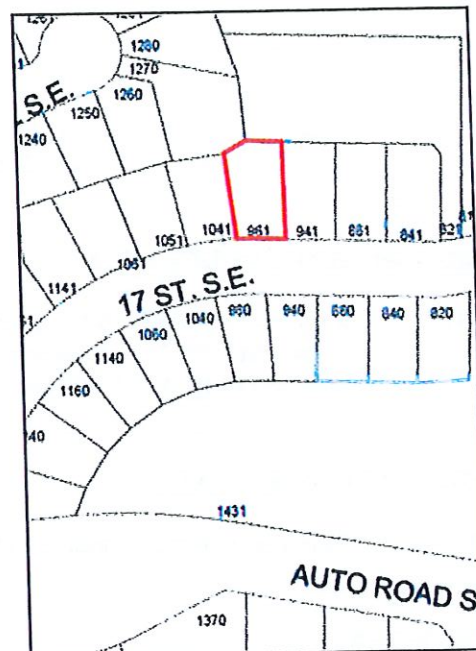
Location: Northeast of Auto Road SE on the North side of 17 Street SE

Present Use: Single Family Dwelling

Proposed Use: Single Family Dwelling with Suite

Owner / Agent: D. & K. McCann / Orchard Valley Homes Ltd

Reference: ZON-1241/ Bylaw No. 4528



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

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 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: May 24, 2022

Subject: Zoning Bylaw Amendment Application No. 1241

Legal: Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP79114
Civic Address: 961 17 Street SE
Owner/Applicant: D. & K. McCann

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP79114 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) to permit future development of a secondary suite.

BACKGROUND

The subject property is located on 17 Street SE (Appendix 1 & 2). The parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and is zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	single family dwelling and vacant lot	Zoned R8 and R1
South:	single family dwelling and vacant lot	Zoned R1
East:	single family dwelling	Zoned R1
West:	single family dwelling	Zoned R1

The subject property is 680.0 m² in area. A two-storey single family dwelling with a secondary suite is being proposed. The proposed basement suite is approximately 63.7 m² (686 ft²). The plans show that the entrance to the proposed suite will be on the northern side of the building. Drawings provided in support of the rezoning application are attached in Appendix 5. Parking is to be provided onsite within the proposed double garage and on the driveway.

To date, there are currently seven (7) other properties on 17 Street SE that have also been rezoned from R1 to R8, including the adjacent property directly to the north (821 17 Street SE). Site photos are attached in Appendix 6.

Policy 8.3.25 of the OCP supports secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTSBuilding Department

New construction. BCBC applies. No concerns.

Fire Department

No Fire Department concerns.

FortisBC

FortisBC has no issues with this proposal.

Engineering Department

No Engineering Concerns.

Public Consultation

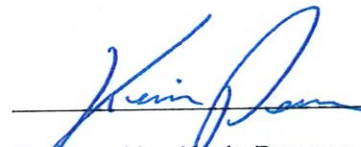
Pursuant to the *Local Government Act* and *City of Salmon Arm Zoning Bylaw* notices are mailed to landowners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the statutory public Hearing. The notices outline the proposal and advise those with an interest in the proposal to provide written submission prior to the Statutory Public Hearing and information regarding attending the Hearing. R8 rezoning for parcels < 0.4 ha do not require the post of a sign Notice of Development sign. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

Based on the parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements. Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).



Prepared by: Evan Chorlton
Planner I



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1

P170

4 AVE. S.E.

1551

1581

1621

1651

1681

4 AVE. S.E.

1550

1590

1630

1660

1690

1260

1370

1261

1271

1281

1280

1270

1260

7 AVE. S.E.

12 ST. S.E.

17 ST. S.E.

16 ST. S.E.

AUTO ROAD S.E.

9 AVE.



0 10 20 40 60 80 Meters

Subject Property

Parcels

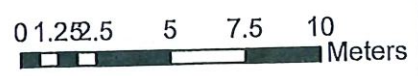
OrthoMap


1041

961

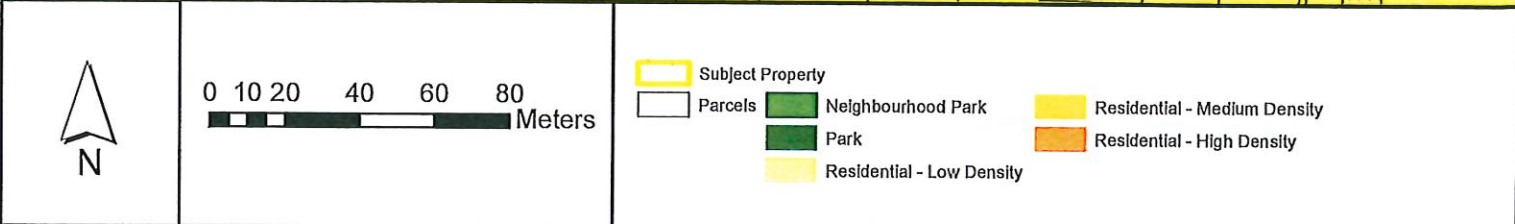
941

S.E.



 Subject Property

 Parcels



Zoning Map

APPENDIX 4

4 AVE. S.E.

4 AVE. S.E.

7 AVE. S.E.

17 ST. S.E.

12 ST. S.E.

16 ST. S.E.

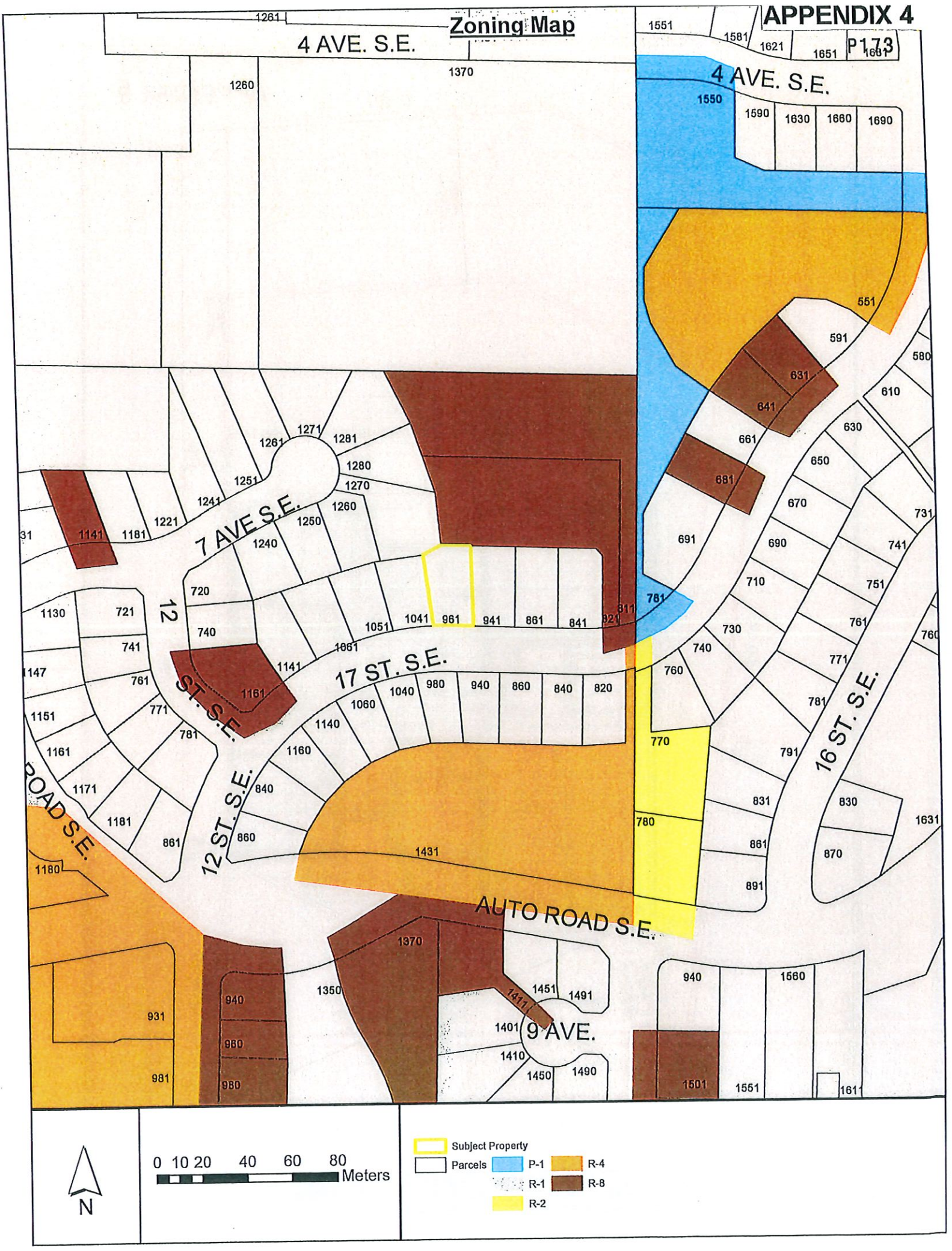
AUTO ROAD S.E.

9 AVE.

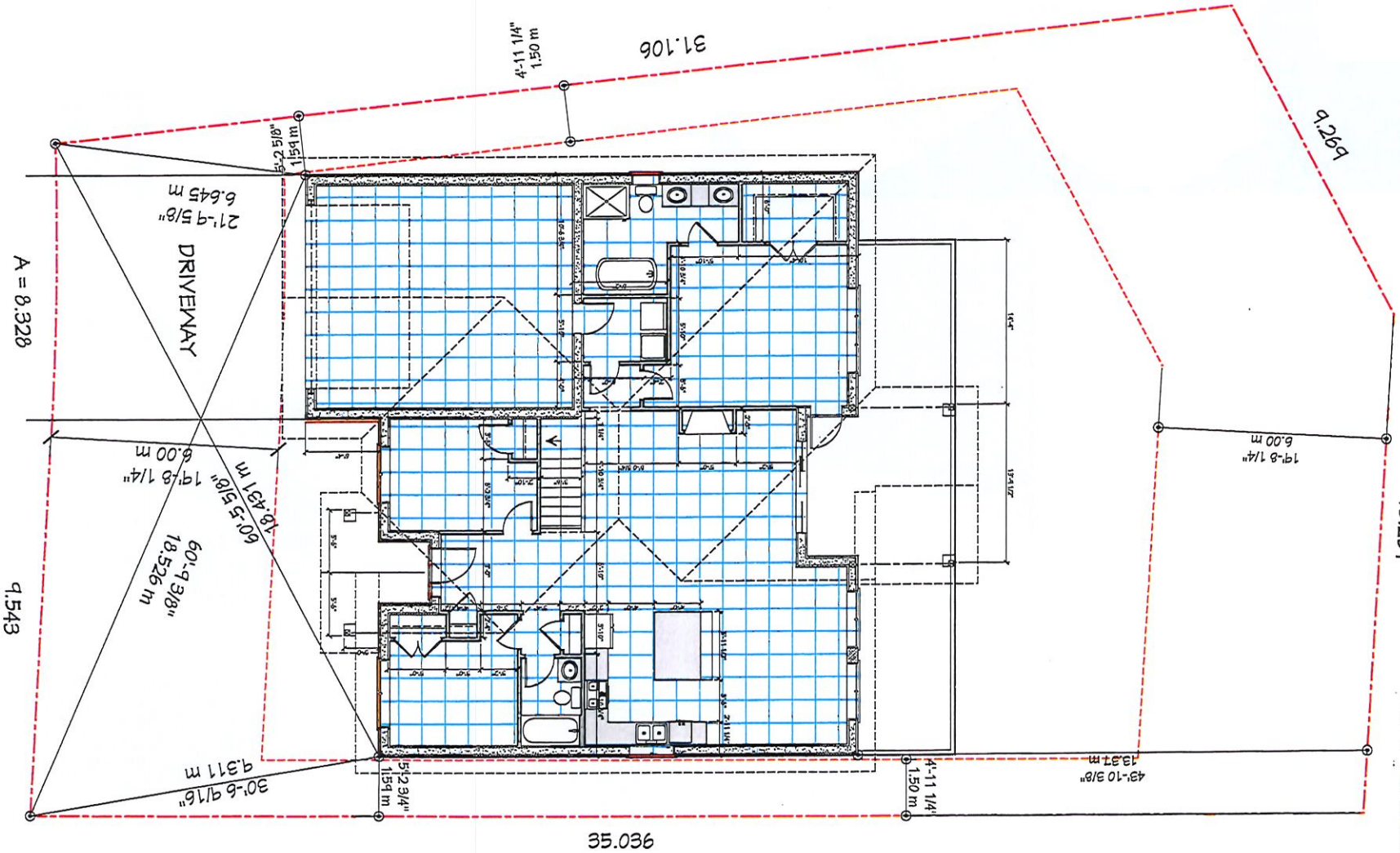


0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- P-1
- R-4
- R-1
- R-2
- R-8



APPENDIX 5



Project # A1491

DATE	14/06/2021
JOB #	-
SCALE	1/4" = 1'-0"
DRAWN BY	PM 05 PM15
CHECKED	025

324

DRAWING TITLE:

ent:
& Mrs.

уоп
уц|с



EXCITING HOME PLANS



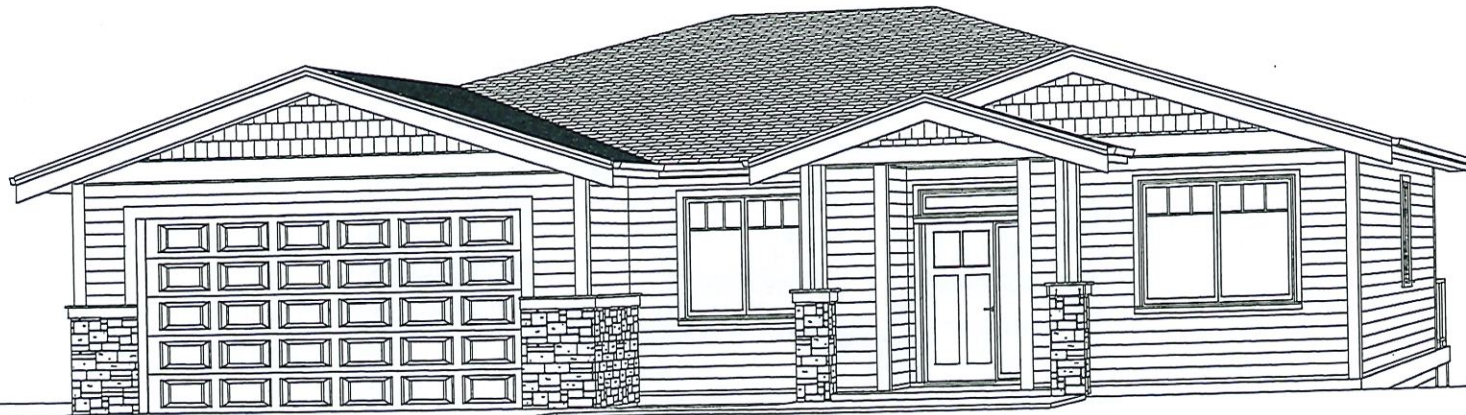
ORCHARD VALLEY HOMES

[illegible]

REV. #	DATE:
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TIMES REMAINING THE
EXCLUSIVE PROPERTY OF
EXCITINGMONEYPLANS.COM
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DESIGNER'S CONSENT
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DIMENSIONS ON THE PLAN, TO
COMMITMENT OF WORK,
WITHIN DIMENSIONS TAKING
APPROPRIATE, DO NOT SCALE
DRAWING.

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The Northridge III

Stock Plan #: E1350-11 (Revised)

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CLIENT AND/OR THEIR BUILDER AGENT TO CHECK ALL LOCAL BYLAW AND CODE REQUIREMENTS, SITE AND SOIL CONDITIONS AND ENSURE THEY ARE MET.
- ALL LOCAL BYLAW AND CODE REQUIREMENTS MUST BE MET, AND ANY SPECIFICATIONS NOTED IN THESE DRAWINGS MUST BE ALTERED BY THE CLIENT AND/OR HIS AGENT BUILDER TO MEET THOSE CODES IF AND WHEN NECESSARY.
- IF SOIL CONDITIONS WARRANT, CONCRETE FOUNDATION AND FOOTING SIZING AND SPECIFICATIONS MUST BE CALCULATED BY A LOCAL ENGINEER OR ENGINEERS REGISTERED IN THAT DISCIPLINE.
- CONCRETE FOOTING DEPTHS AND SIZES MUST MEET LOCAL CLIMATE, CODE AND LOCAL BYLAW REQUIREMENTS.
- CONCRETE TYPE MUST MEET SOIL CONDITIONS AND ALL LOCAL BYLAW AND CODE REQUIREMENTS PERTAINING TO FOUNDATION MATERIALS MUST BE MET.
- PROFESSIONALS AND ENGINEERS REQUIRED TO COMPLETE THESE TASKS MAY OR MAY NOT INCLUDE:
 - STRUCTURAL ENGINEER FOR FOUNDATION DESIGN AND SPECIFICATIONS.
 - GEOTECHNICAL ENGINEER FOR SOIL TESTING AND SPECIFICATIONS.
 - LOCAL ARCHITECT REGISTERED TO DO RESIDENTIAL CALCULATIONS.
- EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THESE CONSTRUCTION DRAWINGS ARE FREE OF ERRORS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE CONTRACTORS AGENTS TO CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS SIZES AND DEFINITIONS LISTED ON THESE DRAWINGS. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND APPLYING PROPER BUILDING PRACTICES.
- THE DESIGNER SHALL NOT BE HELD LIABLE FOR ANY ERRORS, OMISSIONS, OR DEFICIENCIES IN ANY FORM BY ANY PARTY WHATSOEVER.
- THERE ARE NO PRODUCT ENDORSEMENTS IMPLIED FOR ANY OF THE MATERIALS LISTED ON THESE DRAWINGS.
- PROPER INSTALLATION OF CONSTRUCTION ASSEMBLIES INCLUDING NAILING, GLUING, CAULKING, INSULATING, FLASHING, ROOFING, WEATHERPROOFING AND MANY OTHER SMALL ITEMS AND DETAILS ARE NOT NECESSARILY IDENTIFIED OR NOTED ON THE PLANS. THE DESIGNER HAS NO CONTROL OR RESPONSIBILITY OVER THESE ITEMS.

GENERAL SITE NOTES:

ALL PERSONS ON SITE MUST WEAR HARD HATS AND PROPER FOOTWEAR. BUILDER MUST TAKE CARE THAT ALL WALLS IN CONSTRUCTION ARE BRACED PROPERLY. BUILDER MUST TAKE CARE TO PLACE TEMPORARY RAILINGS AROUND OPENINGS IN FLOORS AND CEILINGS. BUILDER MUST TAKE CARE THAT SITE IS PROPERLY BLOCKED OFF AND MARKED "CONSTRUCTION SITE".

CONCRETE NOTES:

UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTH FOR UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN 32 MPa FOR GARAGE AND CARPORT FLOOR & ALL EXTERIOR FLATWORK, 20MPa WHERE REQUIRED BY TABLE 9.15.4.1 FOR FOUNDATION WALLS & 15MPa FOR ALL OTHER APPLICATIONS.

FOOTING NOTES:

20MPa CONC. STRIP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL. CAPABLE OF BEARING 3000 PSF LOAD. BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAW OR CODE. STEPPED FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE STEPPED MAX. 24" RISE AND MIN. 24" HORIZONTAL, UNLESS OTHERWISE SPECIFIED. 4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM IF FTGS. AT PERIMETER OF BLDG. MIN. 1/4" PARING (EXTERIOR) TO 12" BELOW GRADE.

NOTES ON DESIGN ELEMENTS EXCEEDING CODE REQUIREMENTS:
** - MATERIALS OR ASSEMBLY CONSTRUCTION MATERIALS SHOWN, AND/OR NOTED ** MAY OR MAY NOT BE REQUIRED BY LOCAL CODE BUT ARE CONSIDERED GOOD BUILDING PRACTICE. BUILDING CONTRACTOR IS RESPONSIBLE TO CONSULT BOTH THE LOCAL CODE REQUIREMENTS, AND THE HOME OWNER REGARDING PLACEMENT OF THESE MATERIALS OR ASSEMBLIES.

GENERAL CONSTRUCTION NOTES

BEAM AND STRUCTURAL DESIGN NOTES:

- (F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PAST FINISHED PLANE.
- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
- (SEMI-F) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

STRUCTURAL POST NOTES:

- (LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4, 6X6, 4X6).

LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE.

WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (S240 INDICATES 5'-0" x 4'-0") CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING. ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON MANUFACTURER. ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING. TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BUILDINGS PRIOR TO ORDERING. ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2. EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

ENGINEERED WOOD PRODUCTS NOTES:

ENGINEERED WOOD SUPPLIER/TRUSS MFR. TO PROVIDE ENGINEERED DRAWINGS, SEALED BY A P.E. LICENSED TO PRACTICE IN THIS HOMEPLAN'S BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (T&J) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING. CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS:
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 6" HEEL FOR INSULATION PURPOSES.
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

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IT IS THE BUILDERS RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL DIMENSIONS THAT MATCH THE DRAWING. NO NOT SCALE DRAWING.

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Lot 23 Plan
Subdivision

Client:
Mr. & Mrs.

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PAGE:

DATE: 19/06/2021

JOB #

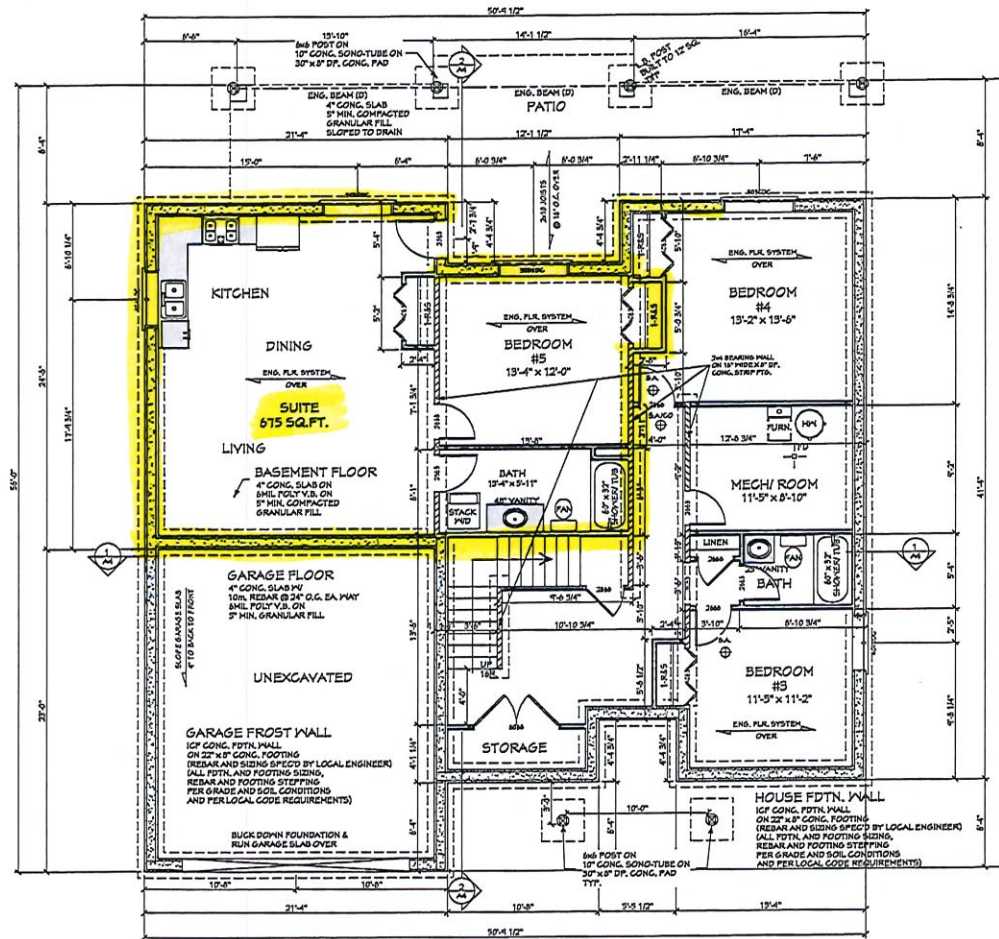
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DRAWN BY: PHL/03/2021

CHECKED BY: GHL

Project # A1491

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FOUNDATION/LOWER FLOOR PLAN

9' CEILING HEIGHT UNLESS NOTED OTHERWISE
FINISHED FLOOR AREA = 1682 SQ.FT.
SUITE AREA = 606 SQ.FT.
IN WALL FINISHED FLOOR AREA = 1498 SQ.FT.

NOTE:
ALL TOP OF WINDOW ROUGH OPENINGS
TO BE 96" ABOVE FLOOR SURFACE.

FOUNDATION NOTES

CONCRETE NOTES:

UNLESS OTHERWISE NOTED, THE COMPRESSIVE STRENGTH FOR UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN 32 MPa FOR GARAGE AND CARPORT FLOOR. ALL EXTERIOR FLOORWORK, 20MPa WHERE REQUIRED BY TABLE 9.15.4.1 FOR FOUNDATION WALLS & 15MPa FOR ALL OTHER APPLICATIONS.

FOOTING NOTES:

20MPa CONC. STEP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL, CAPABLE OF BEARING 3200 PSF LOADS.

BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAWS OR CODE.

STEPPED FOOTINGS TO BE PROVIDED WHERE REQUIRED BY GRADE TO BE STEPPED MAX. 24" RISE AND MIN. 24" HORIZONTAL, UNLESS OTHERWISE SPECIFIED.

4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM OF FTG. AT PERIMETER OF BLOC.

MIN. 1/4" PARING (EXTERIOR) TO 12" BELOW GRADE.

STRUCTURAL POST NOTES:

(1) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS, REQUIRES STUDS TO BE NAILLED TOGETHER TO FORM A STRUCTURAL POST (MAX. 4X4).

ENGINEERED WOOD PRODUCTS NOTES:

ENGINEERED WOOD SUPPLIERS/TRADE SHALL PROVIDE ENGINEERED DRAWINGS, SEALED BY A.P. ENG. LICENSED TO PRACTICE THIS HOMEPLANS BUILDING LOCATION, FOR THE BUILDING INSPECTOR TO REVIEW ON SITE.

FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (TJI) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING. CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURER SPECIFICATIONS AND DRAWINGS.

GENERAL NOTES

BEAM AND STRUCTURAL DESIGN NOTES:

- (1) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM IS TO NOT PROTRUDE PAST FINISHED PLANE.
(2) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
(3) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

INTERIOR BEARING WALLS:

2x4 STUD OR 2x4 STUD WALL CONSTRUCTION UNDER ENG. FLOOR SYSTEMS. ALL OPENINGS IN INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH STRUCTURAL UNITS PER FLOOR SUPPLIERS SPECIFICATIONS. UNDER DIMENSIONAL LUMBER FLOORS: SEE LOCAL CODE FOR RESIDENTIAL BEAM SPAN LOAD CALCULATIONS.

LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE.

WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (5040 INDICATES 5'-0" x 4'-0")
CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING.
ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON MANUFACTURER.
ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING.
TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BUILDINGS PRIOR TO ORDERING.
ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-M446.2.
EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

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Lot 23 Plan
Subdivision

Client:
Mr. & Mrs.

DRAWING TITLE:
FOUNDATION & LOWER FLOOR PLANS

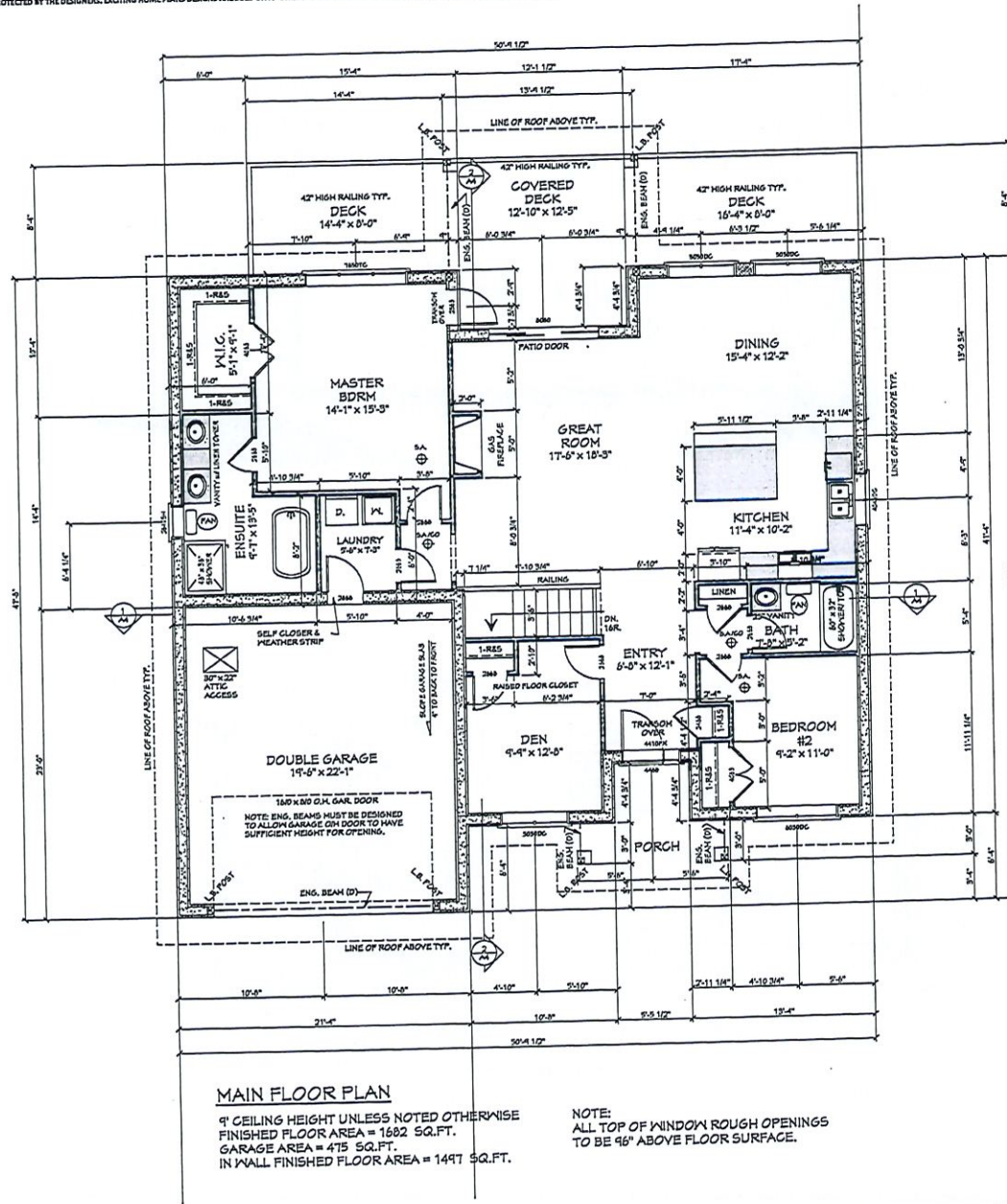
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Project # A1491

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CONCRETE NOTES:

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FOOTING NOTES:

20MPa CONC. STRIP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL CAPABLE OF BEARING 3000 PSF LOAD. BOTTOM OF FOOTINGS TO BE AT OR BELOW FROST LINE DESIGNATED BY LOCAL BYLAWS OR CODE. STEPPED FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE STEPPED FOOTINGS TO BE PROVIDED (WHERE REQUIRED BY GRADE) TO BE SPECIFIED. 4" PERFORATED PLASTIC FOUNDATION DRAIN PIPE (TIED INTO SUMP WHERE REQ'D) - COVERED WITH 6" CLEAR STONE & FILTER CLOTH, IN LINE WITH BTM IF FTGS. AT PERIMETER OF BLDG. MIN. 1/4" PARGING (EXTERIOR) TO 12" BELOW GRADE.

GENERAL CONSTRUCTION NOTES

BEAM AND STRUCTURAL DESIGN NOTES:

- (F) NOTE ON BEAMS DESIGNATES FLUSH, MEANING EITHER THE TOP OR BOTTOM OF THE BEAM TO NOT PROTRUDE PAST FINISHED PLANE.
- (D) NOTE ON BEAMS INDICATES A DROPPED, MEANING THE BEAM IS PLACED UNDER THE SUPPORTED STRUCTURE.
- (SEMIF) NOTE ON BEAMS INDICATES A PARTIALLY DROPPED BEAM TO ALLOW FOR IMPACTED OPENINGS, OR TO ALLOW HEATING DUCTS TO PASS OVER. SEE DETAIL.

STRUCTURAL POST NOTES:

- (LB) "LOAD BEARING POST" AT BEAM ENDS OR OTHER LOAD BEARING POINTS. REQUIRES STUDS TO BE NAILED TOGETHER TO FORM A STRUCTURAL POST (4X4, 6X6, 8X8).

INTERIOR BEARING WALLS:

2x4 STUD OR 2x6 STUD WALL CONSTRUCTION UNDER ENG. FLOOR SYSTEMS: ALL OPENINGS IN INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH STRUCTURAL UNITS PER FLOOR SUPPLIERS SPECIFICATIONS. UNDER DIMENSIONAL LUMBER FLOORS: SEE LOCAL CODE FOR RESIDENTIAL BEAM SPAN LOAD CALCULATIONS.

LUMBER NOTES:

ALL LUMBER TO BE GRADE STAMPED, LABELLED OR OTHERWISE IDENTIFIED, AS REQUIRED BY LOCAL BUILDING CODE

WINDOW & DOOR NOTES:

ALL WINDOW & DOOR MEASUREMENTS ARE IN FEET & INCHES. (5040 INDICATES 5'-0" x 4'-0") CHECK ALL TOP OF WINDOW ROUGH OPENING HEIGHTS PRIOR TO FRAMING. ACTUAL DIMENSIONS OF ROUGH OPENINGS VARY DEPENDING ON SUPPLIER. ALL WINDOW SIZES, TYPES, AND OPENERS TO BE CHECKED BY CONTRACTOR PRIOR TO ORDERING. TAKE CARE TO CHECK LOCAL BUILDING CODE FOR GLASS REGULATIONS SUCH AS TEMPERED GLASS, EGRESS LOCATIONS AND LIMITATIONS ON THE SIZE OF UNPROTECTED OPENINGS NEXT TO NEIGHBORING BLDGS. PRIOR TO ORDERING. ALL WINDOWS TO MEET ENERGY RATING OF 17ER FOR OPERATING WINDOWS & 27ER FOR FIXED WINDOWS PER CAN/CSA-A440-2. EXTERIOR DOORS TO BE METAL INSULATED OR SOLID CORE WOOD DOORS, W/ WEATHERSTRIPPING.

ENGINEERED WOOD PRODUCTS NOTES:

FLOOR JOIST SYSTEM NOTES:

ENGINEERED JOISTS (I/J) FLOOR SYSTEMS ARE ASSUMED ON THESE DRAWINGS. JOIST SPANS AND JOIST DEPTHS MAY VARY DEPENDING ON THE MANUFACTURER. IF DIMENSIONAL LUMBER JOISTS ARE USED, CALCULATIONS MUST MEET LOCAL CODES FOR LOAD BEARING, SIZE AND SPACING. CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

ROOF DESIGN & CONSTRUCTION NOTES:

NOTES TO ROOF MANUFACTURERS
- ROOF DESIGNER TO CONSIDER DIMENSIONAL LUMBER FOR BEAMS NOTED
- "ENG. BEAM" AND SUBSTITUTE WHERE STRUCTURALLY POSSIBLE BY CODE.
- TRUSS HEELS IN ALL APPLICATIONS MUST HAVE A MINIMUM 8" HEEL FOR INSULATION PURPOSES.
- CONTRACTOR MUST TAKE CARE THAT ALL BLOCKING, STRAPPING AND BRACING IS COMPLETED PER MANUFACTURERS SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR IS TO ENSURE G.I. FLASHINGS ARE PLACED IN ALL ROOF VALLEYS FOR PROPER RUNOFF.
- CONTRACTOR IS TO ENSURE THAT G.I. STEP FLASHINGS ARE PLACED WHEREVER WALLS AND CHIMNEYS MEET ROOF SURFACES, AND THAT STEP FLASHINGS ARE PLACED FOR PROPER RUNOFF.

NOTES ON DESIGN ELEMENTS EXCEEDING CODE REQUIREMENTS:
- MATERIALS OR ASSEMBLY CONSTRUCTION MATERIALS SHOWN, AND/OR NOTED - MAY OR MAY NOT BE REQUIRED BY LOCAL CODE, BUT ARE CONSIDERED GOOD BUILDING PRACTICE. BUILDING CONTRACTOR IS RESPONSIBLE TO CONSULT BOTH THE LOCAL CODE REQUIREMENTS, AND THE HOME OWNER REGARDING PLACEMENT OF THESE MATERIALS OR ASSEMBLIES.

Project # A1491

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Project # A1491

Lot 23 Plan
Subdivision

Client:
Mr. & Mrs.

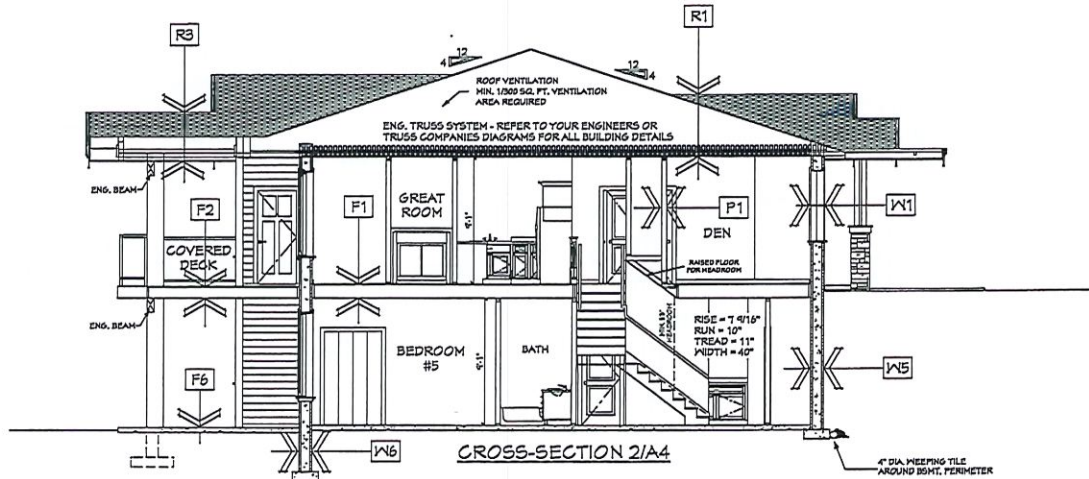
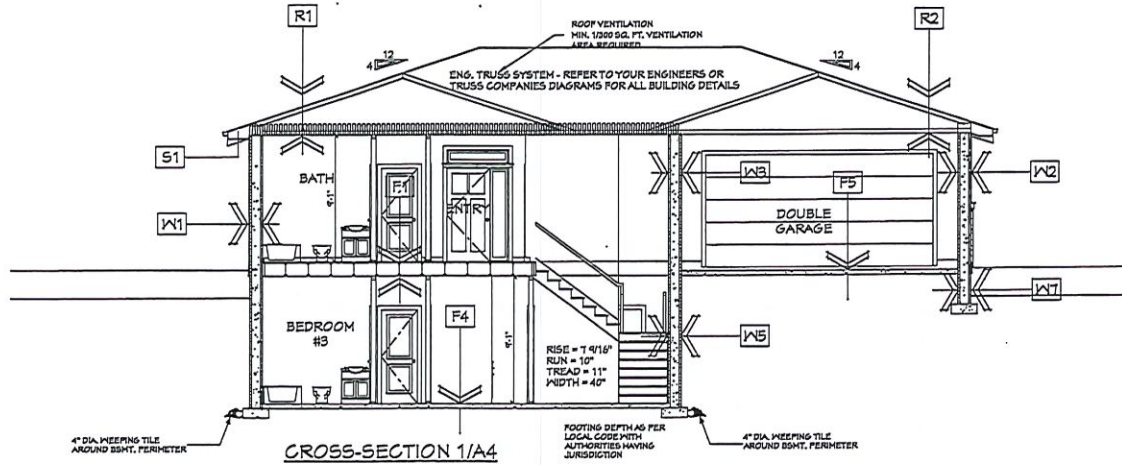
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CONSTRUCTION ASSEMBLIES:
IMPORTANT BUILDING INSULATION AND AIRTIGHTNESS NOTES:
THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION ASSEMBLIES MEETING THE LOCAL CODE RELATING TO INSULATION STANDARDS.
SEE SHEET D-1 FOR CANADIAN BLDG. CODE INSULATION SPECIFICATION OPTIONS FOR EXTERIOR WALL, FLOOR, ROOF AND FOUNDATION CONSTRUCTION ASSEMBLY DETAILS WHICH SUPERSEDE THE NOMINAL INSULATION VALUES AND ASSEMBLIES NOTED ON THIS PAGE.

- EXTERIOR WALL CONSTRUCTION**
- W1** EXTERIOR HOUSE WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- W2** EXTERIOR GARAGE WALLS
- HARDIE PLANK SIDING/BLDG. PAPER
- 3/8" O.S.B. SHEATHING
- 2x4 @ 24" STUDS @ 2" O.C.
- 1/2" GYPSUM BOARD (PAINTED)
- INSULATION OPTIONAL OR AS REQUIRED BY CODE
- W3** HOUSE/GARAGE EXTERIOR WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- W4** FOUNDATION WALLS - UNFINISHED AREAS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- W5** FOUNDATION WALLS - FINISHED AREAS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- W6** FOUNDATION WALLS - FROST WALLS
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- VARIOUS EXTERIOR FINISH ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- W7** FOUNDATION WALLS - GARAGE FROST WALLS
- 8" CONCRETE FOUNDATION WALL ON 16" 8" CONC. STRIP FOOTING (FOOTING DEPTH PER LOCAL FIRST PENETRATION AND CODE REQUIREMENTS)

- INTERIOR PARTITION CONSTRUCTION**
- P1** INTERIOR WALLS - (TP3)
- 1/2" GYPSUM BOARD (PAINTED)
- 2x4 @ 24" STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD (PAINTED)
- P2** INTERIOR WALLS - INSULATED
- 1/2" GYPSUM BOARD (PAINTED)
- 2x4 @ 24" STUDS @ 16" O.C.
- 1/2" SOUND INSULATION
- 1/2" GYPSUM BOARD (PAINTED)
- F1** JOISTED HOUSE FLOOR
- FINISHED FLOOR
- 2x4" T&G O.S.B. GLEUED NAILED & SCREWED
- ENG. JOIST SYSTEM (MATERIAL AND INSTALLATION PER MANUFACTURER)
- 1/2" CEILING BOARD
- PAINTED FINISH
- F2** JOISTED HOUSE FLOOR TO EXTERIOR AREA
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- F3** CONCRETE FLOORS - GARAGE
- 4" CONCRETE SLAB (CLOPED TO DRAIN)
- 10 mm REBAR @ 24" GRID
- 6 MIL. VAPOUR BARRIER
- 5" COMPACTED GRANULAR FILL
- F4** JOISTED DECK FLOOR TO GARAGE BELOW
- FINISHED FLOOR
- 2x4" T&G O.S.B. GLEUED NAILED & SCREWED
- ENG. JOIST SYSTEM (MATERIAL AND INSTALLATION PER MANUFACTURER)
- INSULATION OPTIONAL
- 5/8" TYPE "X" FIREGUARD CEILING BOARD
- PAINTED FINISH
- F5** JOISTED DECK FLOOR TO HEATED AREA BELOW
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- F6** CONCRETE FLOORS - PATIOS
- 4" CONCRETE SLAB (CLOPED TO DRAIN)
- 10 mm REBAR @ 24" GRID
- 6 MIL. VAPOUR BARRIER
- 5" COMPACTED GRANULAR FILL
- F7** HOUSE FLOOR TO GARAGE BELOW
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES

- ROOF AND CEILING CONSTRUCTION**
- R1** HOUSE ROOF AND CEILING
- SEE BUILDING ASSEMBLIES - SHEET D-1 FOR:
- BUILDING ASSEMBLY DETAILS
- INSULATION VALUES OF EACH ASSEMBLY MEETING 2018 BRITISH COLUMBIA BUILDING CODE RSI & R-VALUES
- R2** GARAGE ROOF & CEILING
- LAMINATED ASPHALT SHINGLES
- ROOFING FELT
- 7/16" ROOF SHEATHING 16" 24" CLIPS
- ENG. TRUSS TRUSSES @ 24" O.C. - MATERIALS AND ASSEMBLY PER MANUFACTURER
- 1/2" CEILING BOARD TYPE "X" FIREGUARD WHERE REQUIRED BY CODE

- SOFFIT SPECIFICATIONS**
- S1** - PREFINISHED VENTED ALUMINUM SOFFIT

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Lot 23 Plan Subdivision

Client: Mr. & Mrs.

DRAWING TITLE: CROSS-SECTIONS & DETAILS

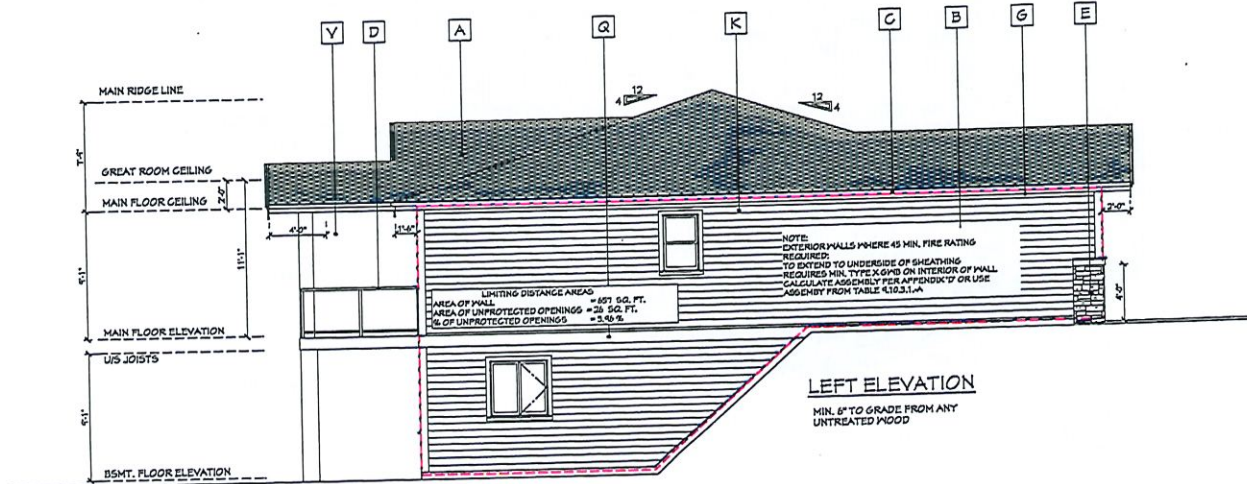
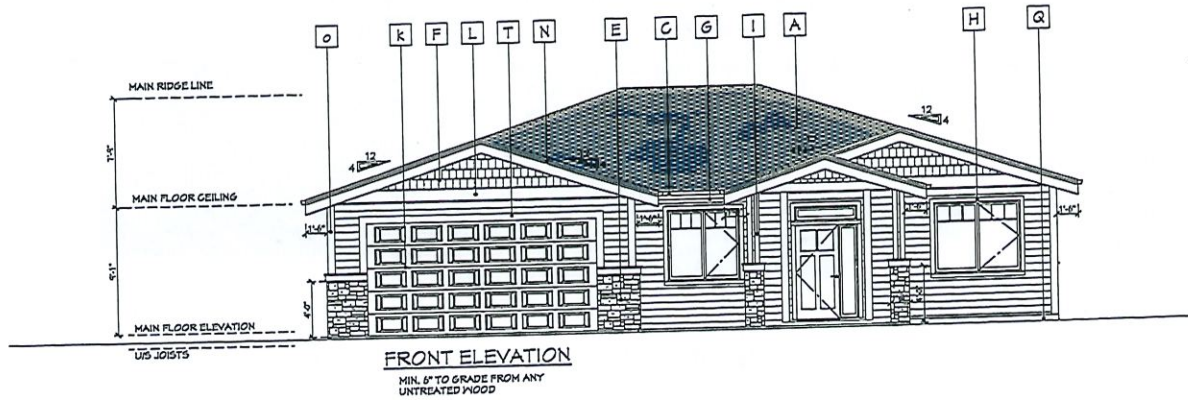
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MATERIAL & EXTERIOR FINISH LEGEND:

- A ROOF - LAMINATED ASPHALT SHINGLES
- B EXT. WALLS - STUCCO OR ACRYLIC STUCCO
- C PRE FIN. ALUM. GUTTER & DOWNSPOUTS
- D 42\"/>

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EXCITING HOME PLANS

Project # A1491

Lot 23 Plan
Subdivision

Client:
Mr. & Mrs.

DRAWING TITLE:
EXTERIOR ELEVATIONS

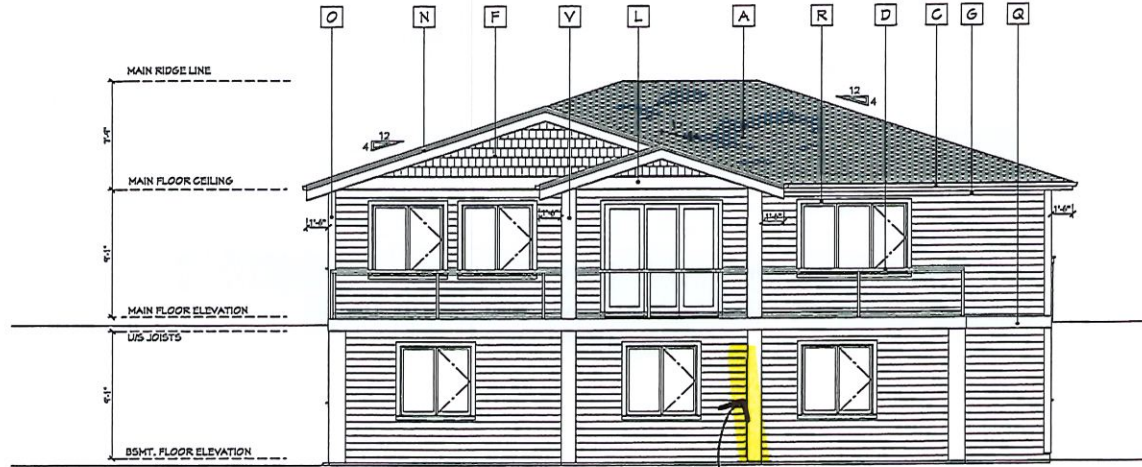
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Project # A1491

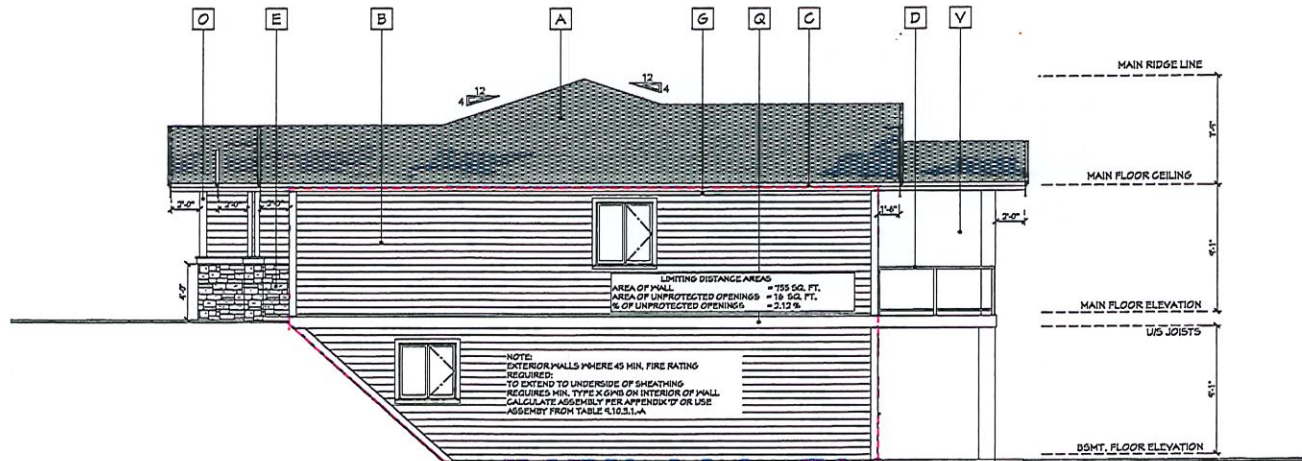
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REAR ELEVATION
MIN. 6" TO GRADE FROM ANY
UNTREATED WOOD

ENTRANCE
TO SUITE



RIGHT ELEVATION
MIN. 6" TO GRADE FROM ANY
UNTREATED WOOD

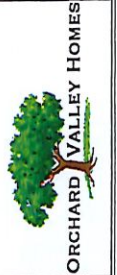
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- A** ROOF - LAMINATED ASPHALT SHINGLES
- B** EXT. WALLS - STUCCO OR ACRYLIC STUCCO
- C** PRE FIN. ALUM. GUTTER & DOWNSPOUTS
- D** 42" HIGH PREFIN. ALUM & GLASS DECK RAILING (AS PER LOCAL CODE REQUIREMENTS)
- E** STONE OR BRICK VENEER
- F** GABLE END DETAIL - ACRYLIC COVERED STYROFOAM
- G** PREFIN. ALUM. SOFFIT
- H** FRONT ELEV. WINDOW & DOOR TRIM 6" HORIZ. STYROFOAM TRIM 3" WRAP AT SIDES 4" VERT. STYROFOAM TRIM
- I** FRONT ELEVATION COLUMNS DECOR. ACRYLIC STUCCO BUILT OUT CAPITALS ON 18" SQ. FRAMED OUT COLUMN w/ ACRYLIC STUCCO SURROUND ON MASONRY VENEER OR ACRYLIC BASE
- J** DECORATIVE BRACKETS
- K** GARAGE DOOR
- L** 10" BUILT OUT HORIZ. GABLE BAND ACRYLIC STUCCO FINISH
- M** GABLE END DETAIL
- N** 4" on 10" STEPPED PREFIN. ALUM. WRAPPED GABLE FASCIA
- O** 6" BUILT OUT STUCCO CORNERS/QUOINS
- P** FRONT ELEVATION PICKET RAILING
- Q** 2" x 10" BUILT OUT STUCCO BELLY BAND
- R** WINDOW & DOOR TRIMS 4" ACRYLIC STUCCO COVERED STYROFOAM
- S** ARCHITECTURAL TOOTHING
- T** GARAGE DOOR TRIM 6" HORIZ. STYRO BUILDOUTS 4" VERT. STYRO BUILDOUTS
- U** PREFIN. ALUM. FACED EXTERIOR ITEMS
- V** REAR COLUMNS SPECIFICATION DECORATIVE ACRYLIC STUCCO BUILT OUT CAPITALS ON 18" SQ. FRAMED OUT COLUMNS w/ MASONRY OR ACRYLIC STUCCO BASE

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DESIGNER'S CONSENT

IT IS THE BUYER'S
RESPONSIBILITY TO VERIFY ALL
DIMENSIONS ON SITE PRIOR TO
CONSTRUCTION OF WORK.
WRITTEN UNANIMOUS TAKES
PRECEDENCE. DO NOT SCALE
DRAWING.

REV. #	DATE
1.	-
2.	-
3.	-
4.	-
5.	-
6.	-
7.	-
8.	-
9.	-
10.	-



Lot 23 Plan
Subdivision

Client:
Mr. & Mrs.

DRAWING TITLE:
EXTERIOR
ELEVATIONS

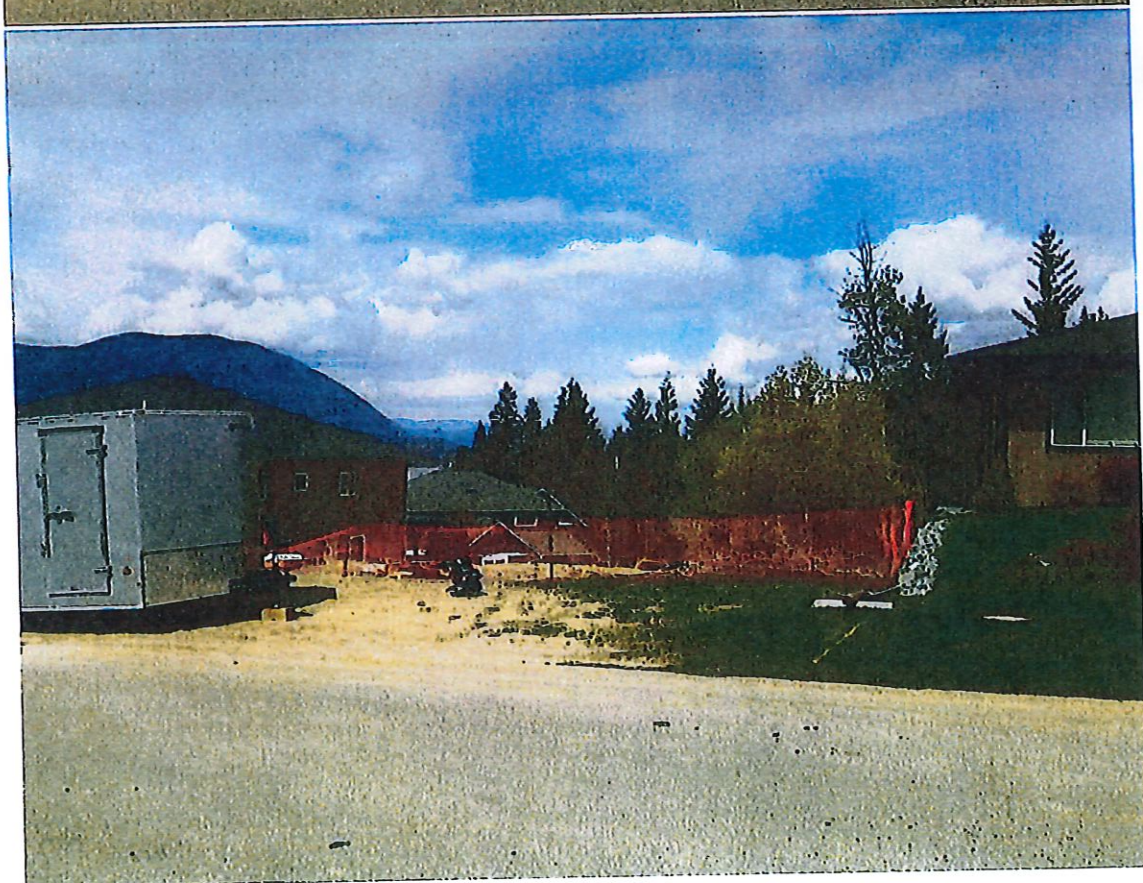
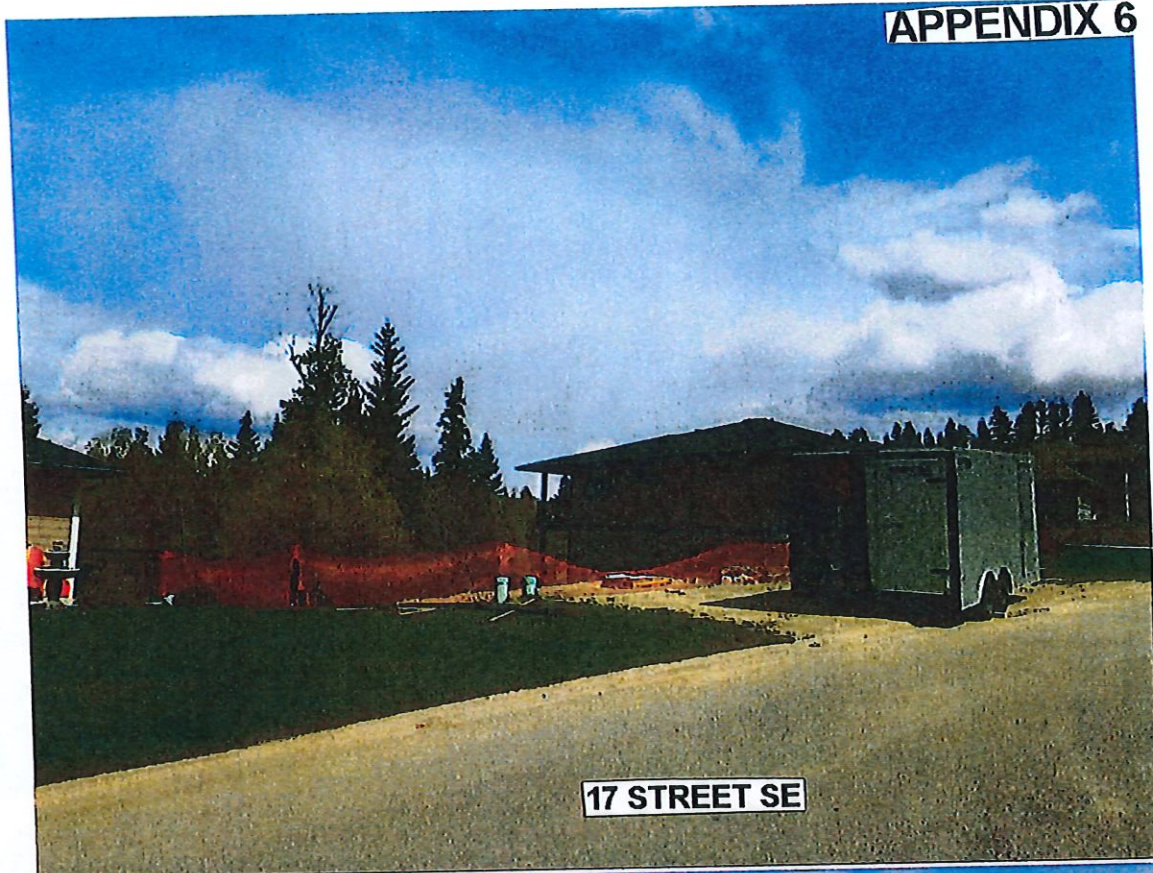
PAGE:
A7

DATE: 19/06/2021
JOB # -
SCALE: 1/4" = 1'-0"
DRAWN BY: JIM COLEMAN
CHECKED: GDS

Project # A1491

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APPENDIX 6





23.3

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

3) **Proposed Amendment to Zoning Bylaw No 2303:**

Proposed Rezoning of Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan 7950 Except Plan 8467 from A-2 (Rural Holding Zone) and R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

Civic Address: 800 Foothill Road SW

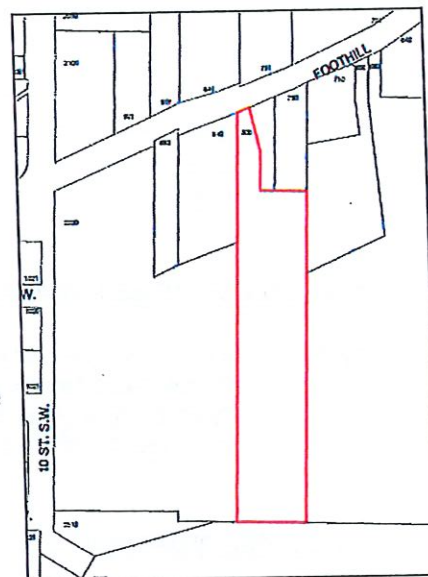
Location: East of 10 Street SW on the South side of Foothill Road SW

Present Use: Agriculture and Single Family Dwelling

Proposed Use: To rezone the entire property to allow Residential Suite Zone

Owner / Agent P. & S. Bagley / Franklin Engineering Ltd

Reference: ZON-1243/ Bylaw No. 4535



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF
SALMON ARM**

To: His Worship Mayor Harrison and Members of Council

Date: May 25, 2022

Subject: Zoning Bylaw Amendment Application No. 1243

Legal: Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan 7950 Except Plan 8467
Civic Address: 800 Foothill Road SW
Owner: P. & S. Bagley
Applicant: Franklin Engineering Ltd.

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan 7950 Except Plan 8467 from A2 (Rural Holding Zone) and R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

To rezone the entire subject property from A2 (Rural Holding Zone) and R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

BACKGROUND

The subject property is located on Foothill Road, east of 'The Ridge' Subdivision (Appendix 1 & 2). The parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and is split zoned A2 (Rural Holding) and R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North: single family dwellings and accessory buildings	Zoned R1
South: vacant lot	Zoned A2
East: single family dwellings and accessory buildings	Zoned A2 and R1
West: future subdivision, single family dwelling, and accessory building(s)	Zoned A2 and R1

The subject property is approximately 3.75 ac in area. A site plan provided in support of the rezoning application is attached as Appendix 5. Parking is to be provided onsite. Maps showing a stream and steep slopes on the property are also attached as Appendix 2.

To date, there have been no other properties on Foothill Road that have been rezoned to R8. However, there was one other split-zoned property directly to the west that was rezoned to R8 with the intent to subdivide further (ZON-1228; 2220 10 Street SW). Site photos are attached in Appendix 6.

Policy 8.3.25 of the OCP supports both detached and secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTSBuilding Department

No concerns with rezoning.

Shaw

No concerns with rezoning. The owner/developer is to contact Shaw to ensure design and installation is to their standards at the time of Building Permit.

Engineering Department

No Engineering concerns.

Public Consultation

Pursuant to the *Local Government Act* and *City of Salmon Arm Zoning Bylaw* notices are mailed to landowners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the Statutory Public Hearing. The notices outline the proposal and advise those with an interest in the proposal to provide written submission prior to the Statutory Public Hearing and information regarding attending the Hearing. R8 rezoning for parcels > 0.4 ha require the post of a sign Notice of Development sign. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

Based on the parcel area, the subject property has the potential to meet the conditions for the development of either a detached or a secondary suite, including sufficient space to meet parking requirements. Both detached and secondary suites are supported by OCP policy.

Since the subject property is designated Low Density Residential in the OCP, over 22 units/ha (including suites) is permitted. A realistic density would take into consideration factors such as riparian regulations, setbacks, and access routes.

The stream/watercourse on this property is identified as Leonard Creek and it is subject to the Riparian Area Protection Regulations (RAPR). Pursuant to the *Riparian Area Regulation Protection Act*, any riparian areas are subject to the Provincial Riparian Areas Protection Regulation. A report authored by a Qualified Environmental Professional (QEP) and approved by the Province will be required through subdivision and/or development, with the registration of a *Land Title Act* Section 219 Covenant expected to be required following the findings of the QEP report.

Staff support the rezoning of the subject property from A2 (Rural Holding Zone) and R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).


Prepared by: Evan Chorlton
Planner I
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

APPENDIX 1

1860

1880

1910

1940

1980

2010

2100

2220

10

✓

1

20 AVE.

22 AVE SW 1080

23 AVE. S.W.

24 AVE. S.W.

25 AVE. S.W.

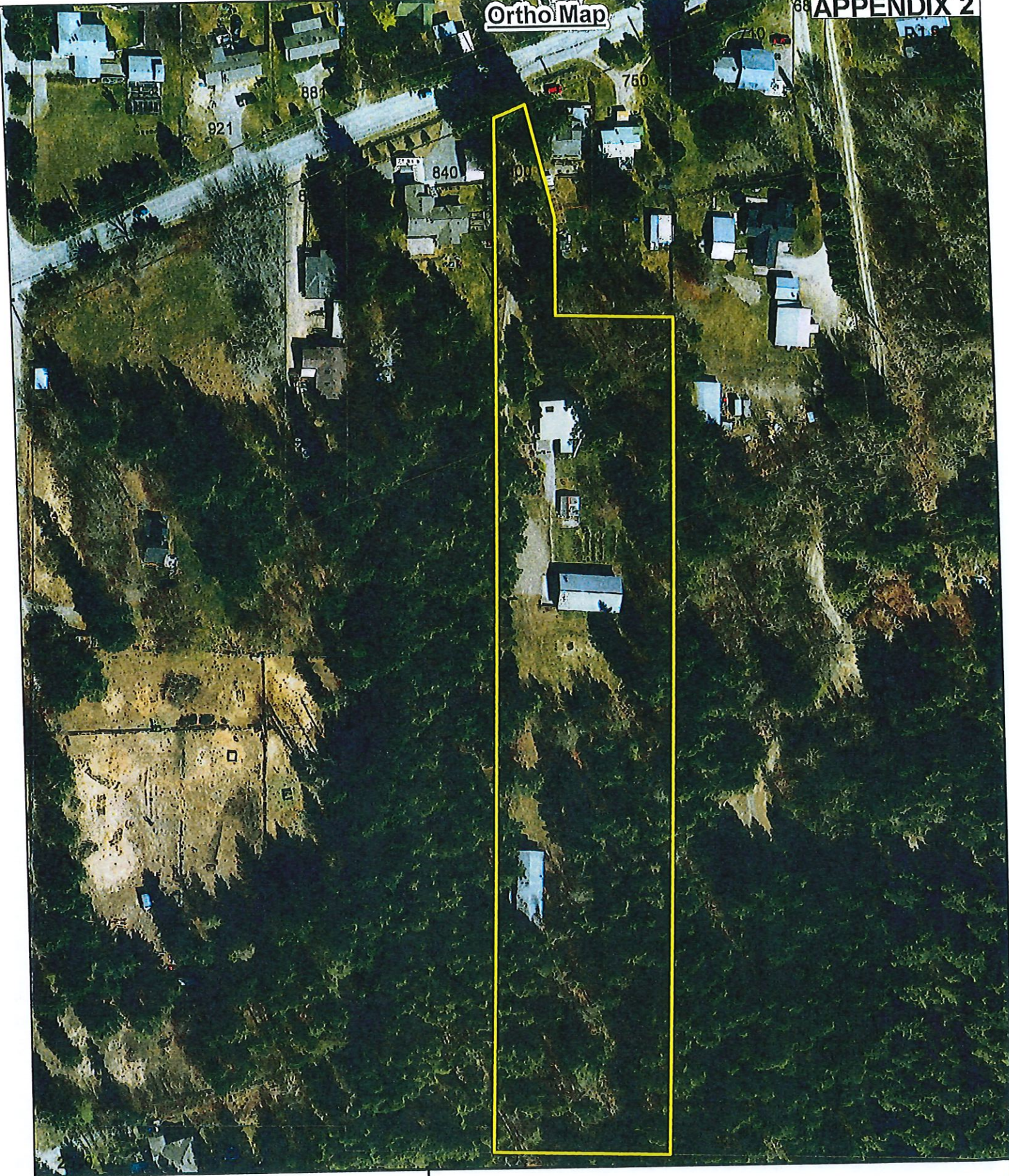
10 ST. S.W.

FOOTHILL 680



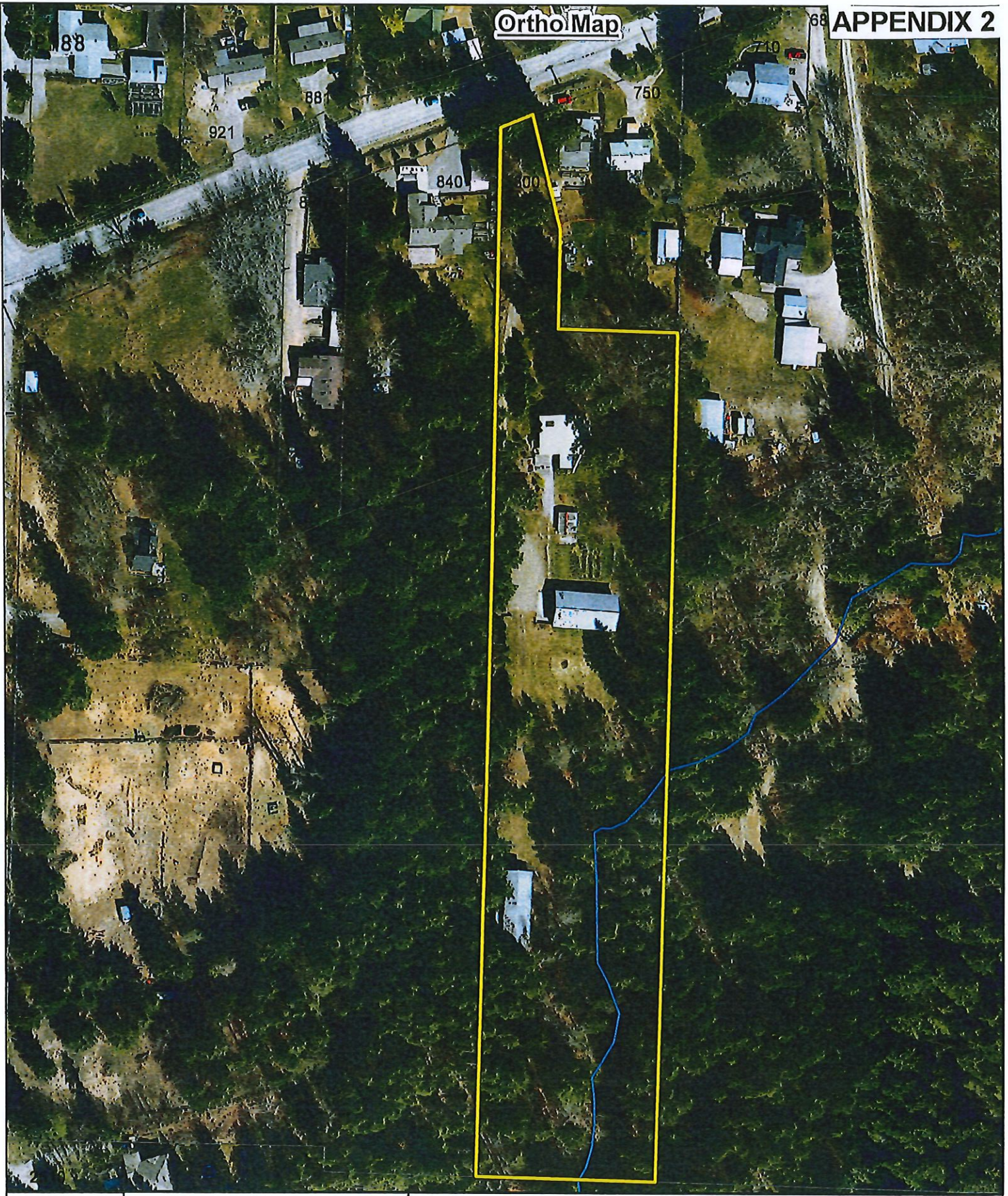
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 Subject Property
 Parcels






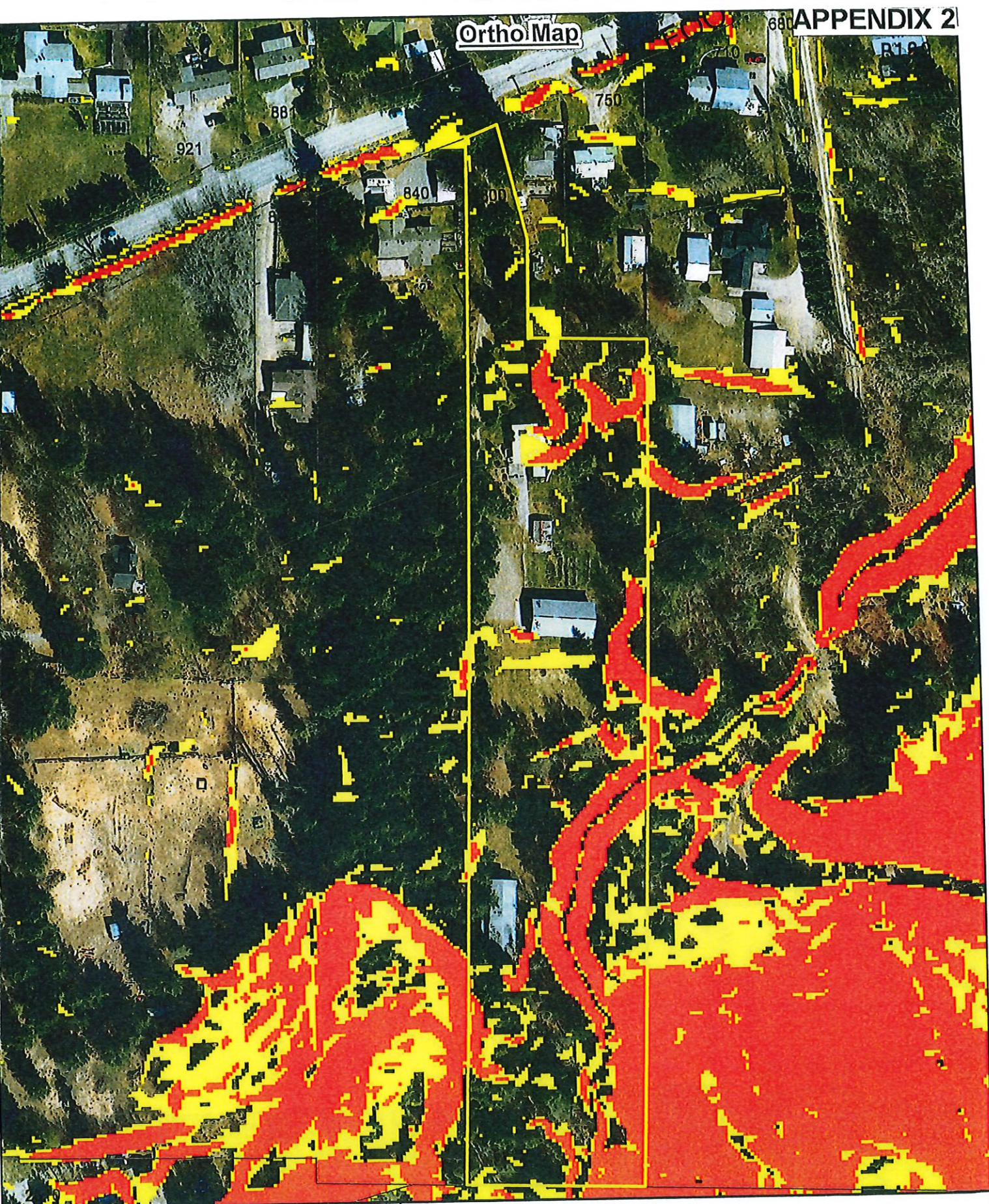
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 Subject Property
 Parcels



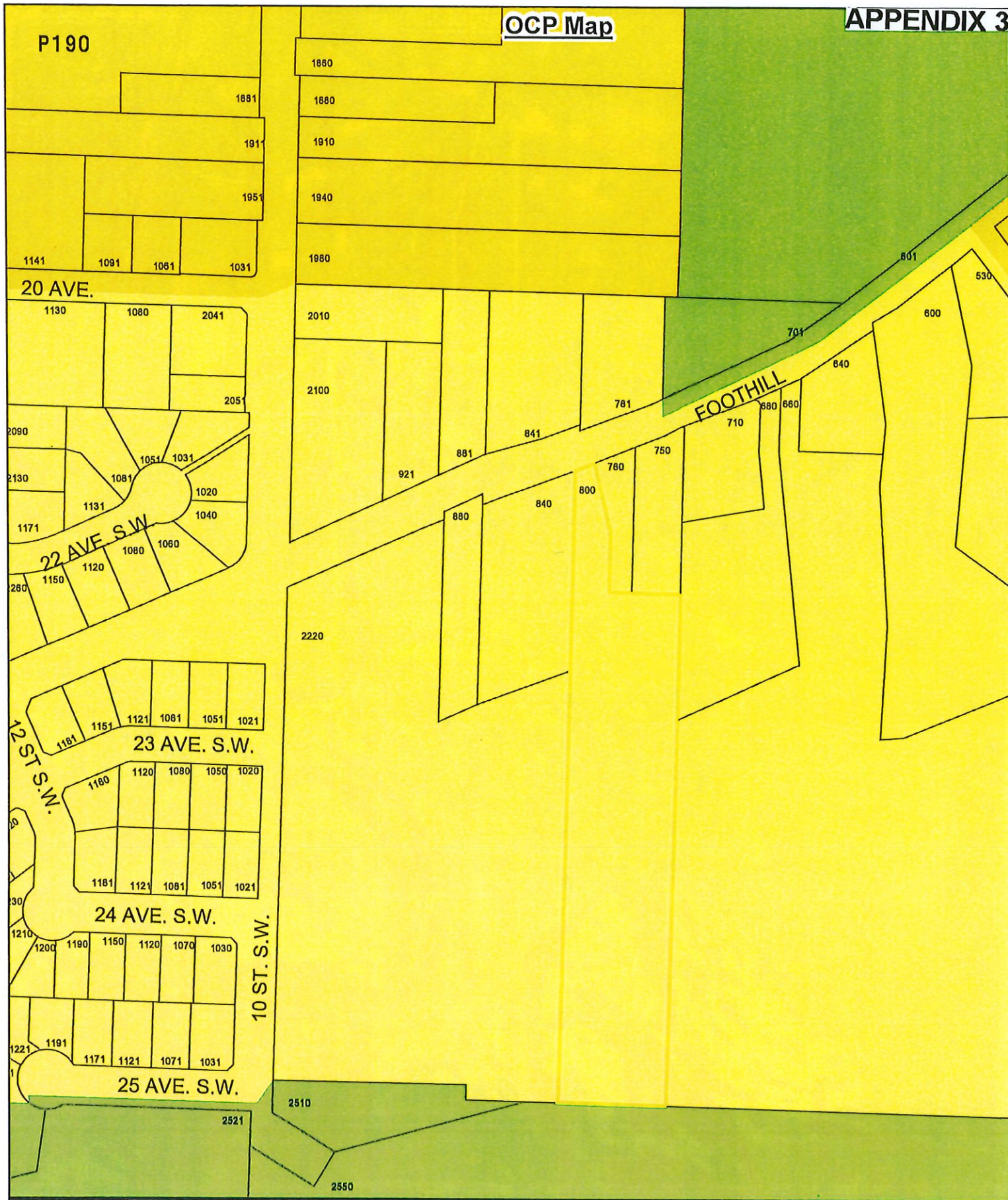
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Meters

-  Subject Property
-  Stream
-  Parcels



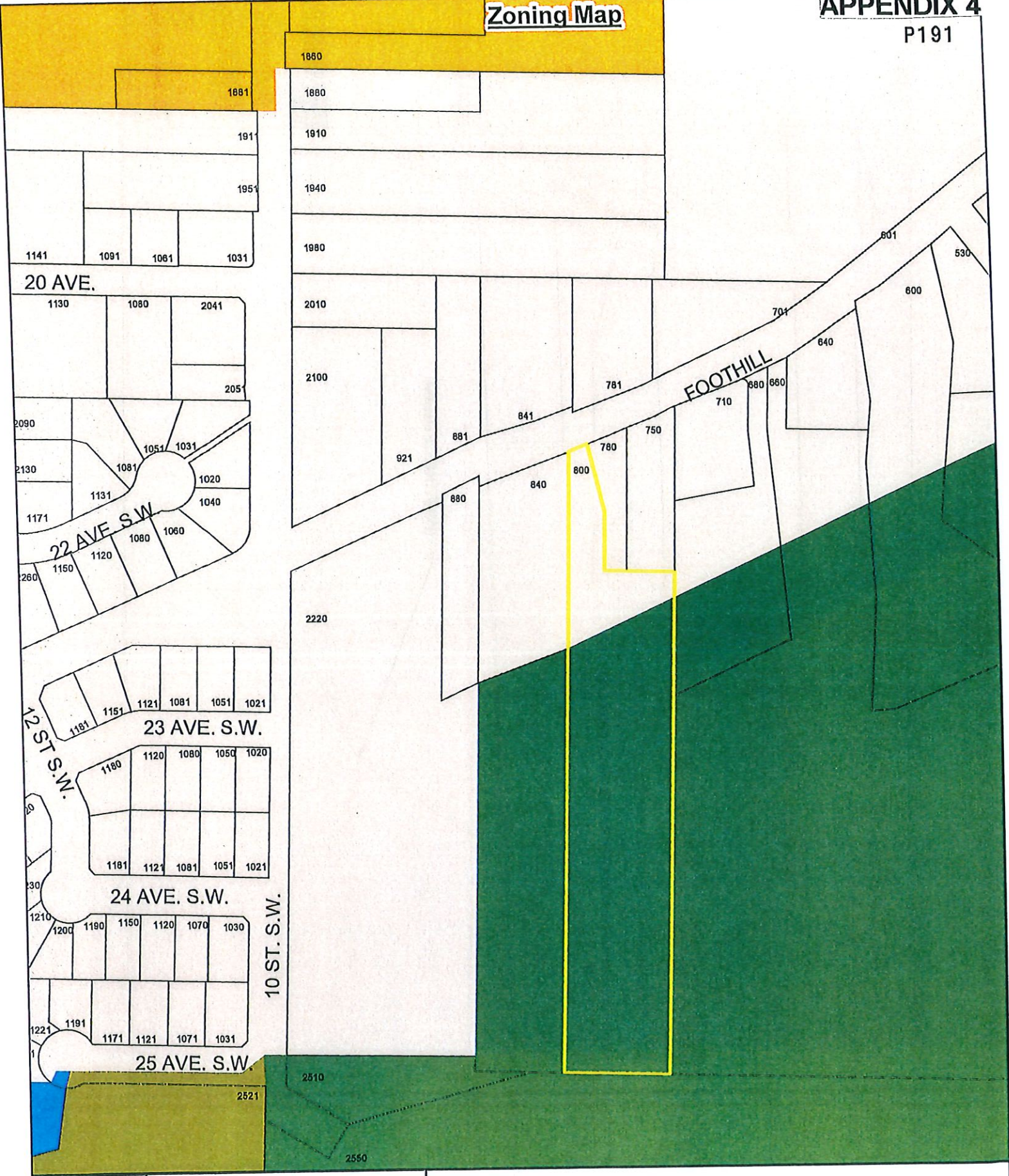
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- Subject Property
- 20-30% Slope
- 30%+ Slope
- Parcels

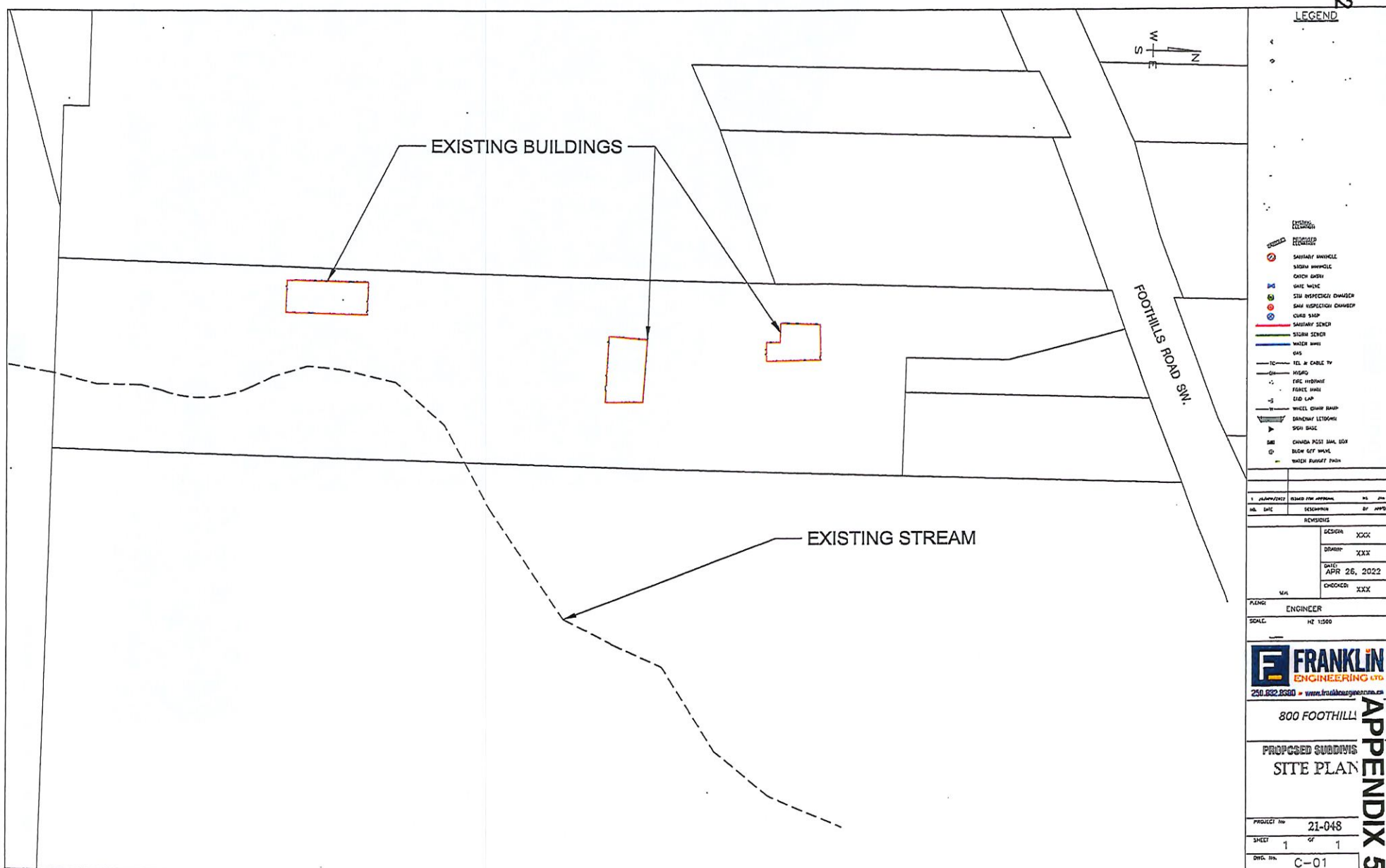


0 12.525 50 75 100 Meters

- Subject Property
- Parcels
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density



- Subject Property
- Parcels
- A-2
- A-3
- R-1
- R-4
- R-9









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23.4

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

4) **Proposed Amendment to Zoning Bylaw No 2303:**

Proposed Rezoning of Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17802 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

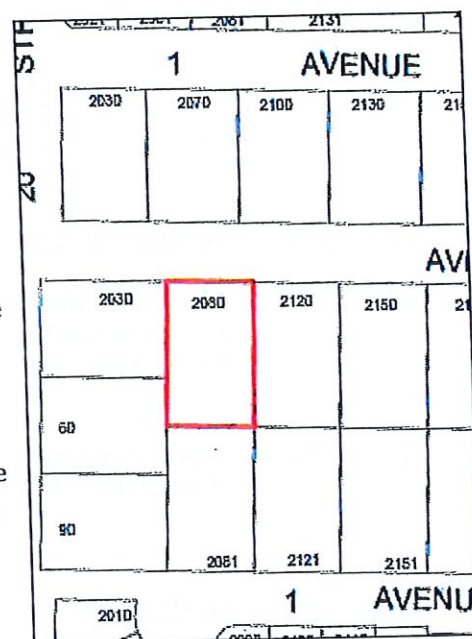
Civic Address: 2080 Okanagan Avenue SE

Location: East of 20 Street and Okanagan Avenue intersection on the South side of Okanagan Avenue SE

Present Use: Single Family Dwelling

Proposed Use: To permit the development of an addition to the existing single family dwelling which would include a secondary suite
 Owner / Agent: C. Caswell & I. Tremblay

Reference: ZON-1244/ Bylaw No. 4537



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: June 6, 2022

Subject: Zoning Bylaw Amendment Application No. 1244

Legal: Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17802
Civic Address: 2080 Okanagan Avenue SE
Owner/Applicant: C. Caswell & I. Tremblay

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17802 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) to permit the development of an addition to the existing single family dwelling, which would include a secondary suite.

BACKGROUND

The subject property is located on Okanagan Avenue SE (Appendix 1 & 2). The parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and is zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	single family dwellings	Zoned R1
South:	single family dwelling and accessory building	Zoned R1
East:	single family dwelling and accessory buildings	Zoned R1
West:	single family dwellings	Zoned R1

The subject property is 0.36 ac (1457m²) in area. A proposed addition with an approximate 854ft² secondary suite below is being proposed. A site plan provided in support of the rezoning application is attached in Appendix 5. Parking for the proposed suite is to be provided onsite, east of the existing driveway and north of the proposed addition.

To date, there are currently four (4) other properties on Okanagan Avenue that rezoned to R8. Site photos are attached in Appendix 6.

Policy 8.3.25 of the OCP supports secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTS

Building Department

No construction plans provided. British Columbia Building Code applies. No concerns at this time.

Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

Engineering Department

No Engineering concerns.

Public Consultation

Pursuant to the *Local Government Act* and *City of Salmon Arm Zoning Bylaw* notices are mailed to landowners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the Statutory Public Hearing. The notices outline the proposal and advise those with an interest in the proposal to provide written submission prior to the Statutory Public Hearing and information regarding attending the Hearing. R8 rezoning for parcels < 0.4 ha do not require the post of a sign Notice of Development sign. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

Based on the parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy.

Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).



Prepared by: Evan Chorlton
Planner I

Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1

20 STREET N.E.

22 ST.

1 AVENUE N.E.

AVENUE EAST

1 AVENUE S.E.

3 AVENUE S.E.

4 AVE. S.E.

23 ST. S.E.

P200

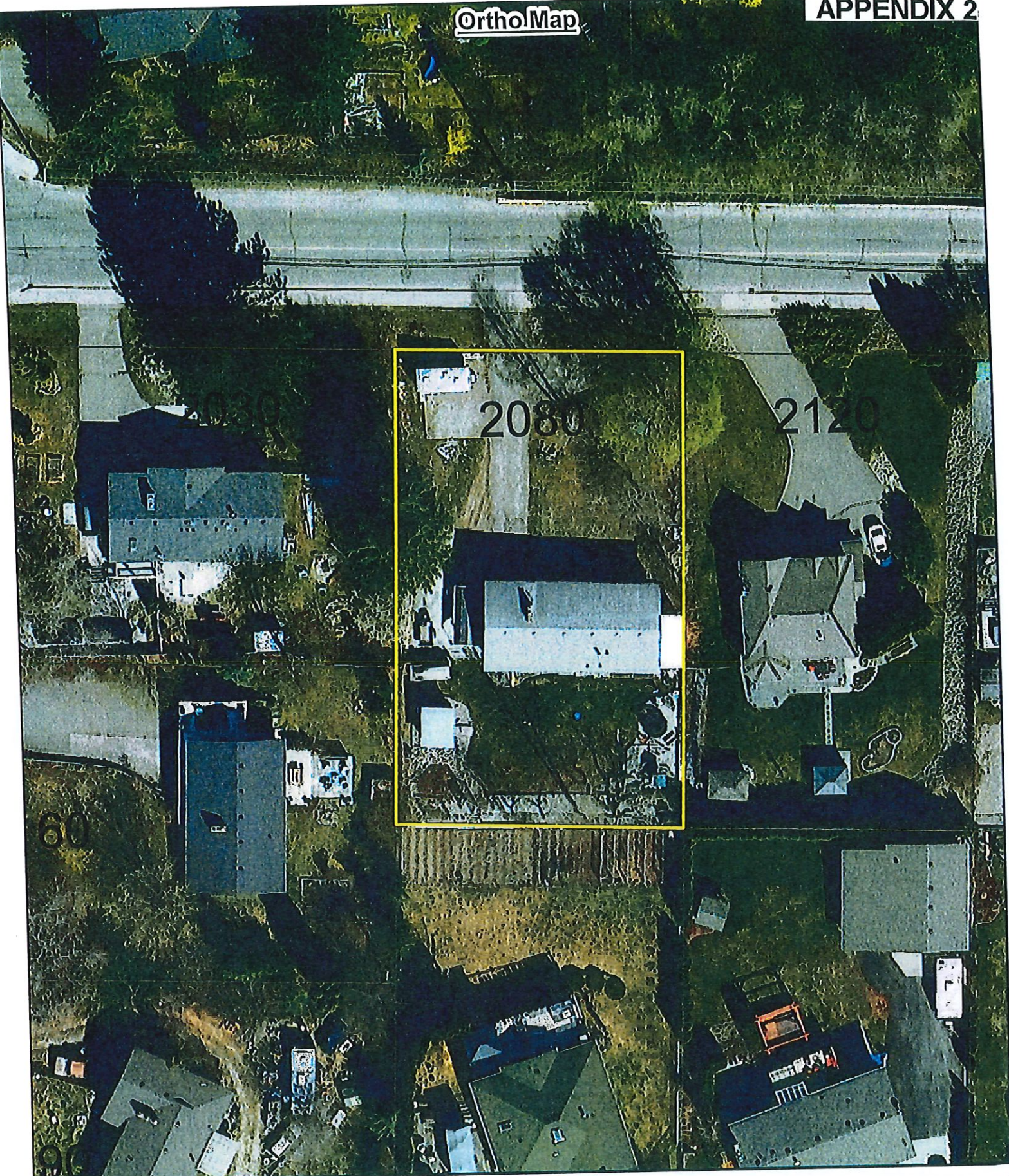
OKANAGAN

Subject Property

Parcels

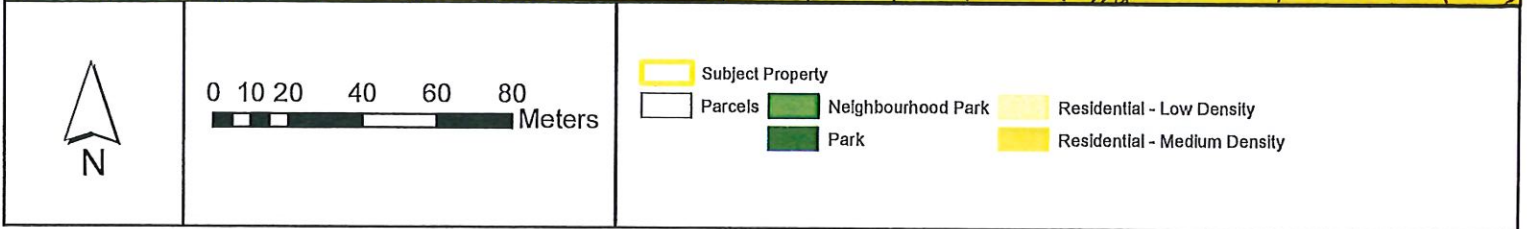


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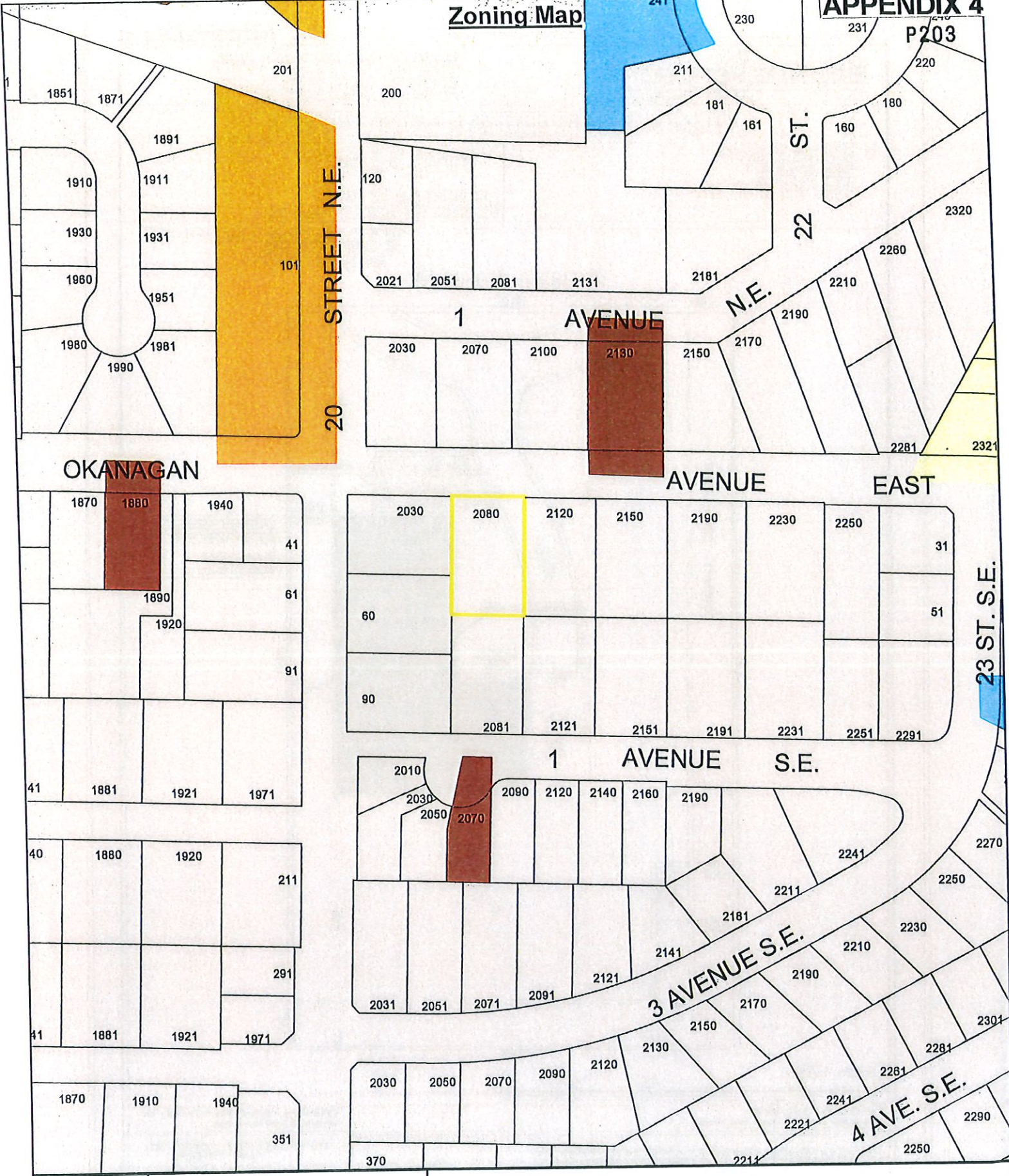
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Meters

 Subject Property
 Parcels



Zoning Map

P203



OKANAGAN

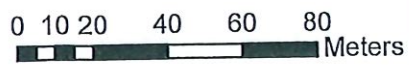
AVENUE

EAST

1 AVENUE S.E.

3 AVENUE S.E.

4 AVE. S.E.



- Subject Property
- Parcels
- CD-7
- P-1
- R-4
- R-8
- R-1

BROWNE JOHNSON
Land Surveyors

BRITISH COLUMBIA AND CANADA LANDS
Box 382, Salmon Arm, B.C. V1E 4N5
250-832-9701 | office@brownejohnson.com

BC LAND SURVEYOR'S BUILDING LOCATION CERTIFICATE

To: Woodcreek Construction
Victor Zimmerman
4950 46 Ave SE
Salmon Arm, BC V1E 2W1

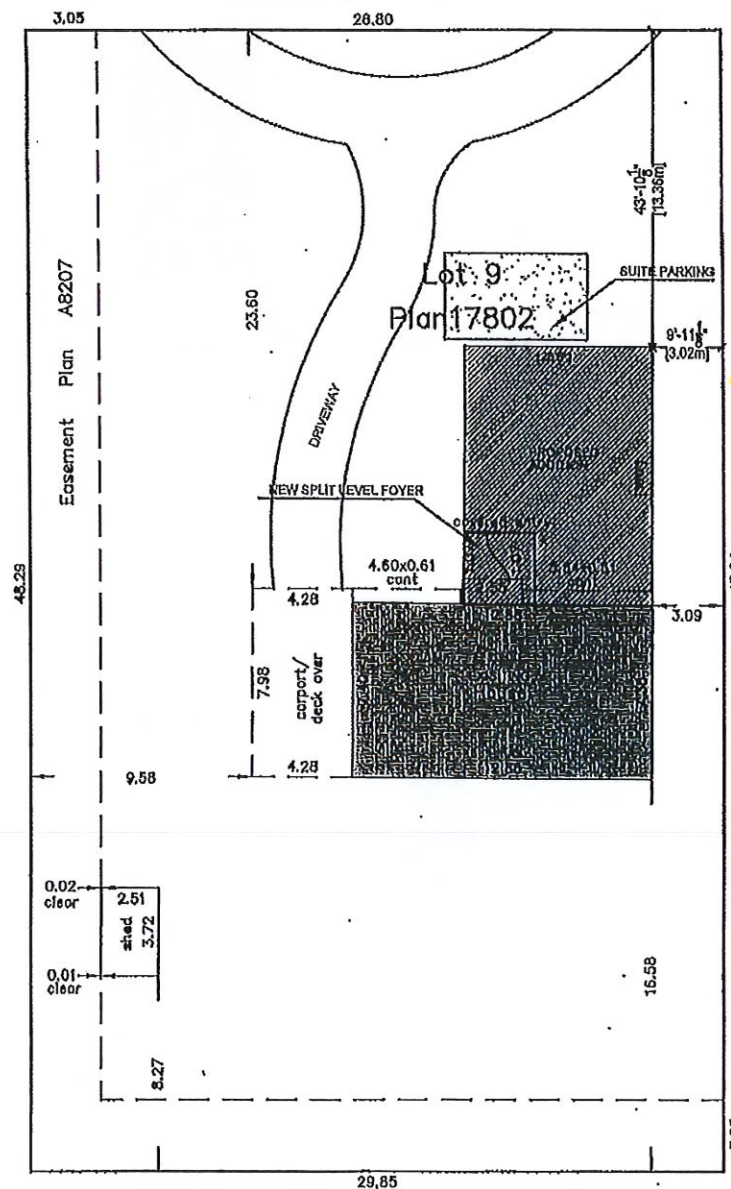
Re: Lot 9, Sec 13, Tp 20, Rge 10,
W6M, KDYD, Plan 17802

Parcel Identifier (PID): 008-348-961

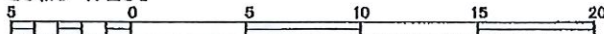
Civic Address: 2080 Okanagan Ave, Salmon Arm

List of documents registered on title which may affect
the location of improvements:
Statutory Right of Way: C4314

Okanagan Avenue NE



Scale 1:200



All distances are in metres.
Dimensions derived from Plan 17802

Offsets from property line to building are
measured from the stucco.

The signatory accepts no responsibility or liability for any damages that
may be suffered by a third party as a result of any decisions made, or
actions taken based on this document.

This plan was prepared for inspection purposes and is for the exclusive
use of our client. This document shows the relative location of the
surveyed structures and features with respect to the boundaries of the
parcel described above. This document shall not be used to define
property boundaries.

This building location certificate has been prepared in accordance with the
Professional Reference Manual and is certified correct this 7th day of
April, 2022.

Mark
Mason
88BCMC
Digitally signed
by Mark Mason
88BCMC
Date:
2022.04.14
12:08:47 -07'00'

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LAND SURVEYORS

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BROWNE JOHNSON LAND SURVEYORS.

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ORIGINAL or DIGITALLY SIGNED.

BCLS

Our File: 185-22

Fb: 185-22.raw

APPENDIX 6



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23.5

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

5) **Proposed Amendment to Zoning Bylaw No 2303:**

Proposed Rezoning of Lot A, Section 12, Township 20, Range 10, W6M, KDYD, Plan 17556 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

Civic Address: 1071 – 12 Avenue SE

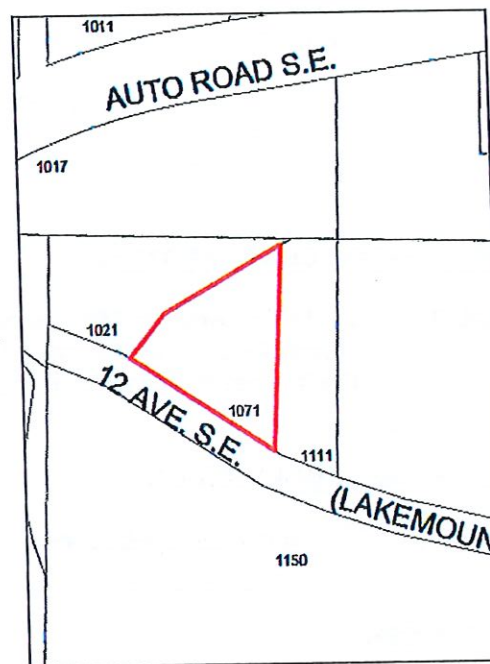
Location: Southeast of Auto Road SE on the North side of 12 Avenue SE

Present Use: Single Family Dwelling

Proposed Use: To permit the development of a detached suite

Owner / Agent: D. L. Barrett

Reference: ZON-1245/ Bylaw No. 4538



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
 June 15 and June 22

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF
SALMON ARM**

To: His Worship Mayor Harrison and Members of Council

Date: May 25, 2022

Subject: Zoning Bylaw Amendment Application No. 1245

Legal: Lot A, Section 12, Township 20, Range 10, W6M, KDYD, Plan 17556
Civic Address: 1071 12 Avenue SE
Owner/Applicant: D. Barrett

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot A, Section 12, Township 20, Range 10, W6M, KDYD, Plan 17556 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) to permit the development of a detached suite.

BACKGROUND

The subject property is located on 12 Avenue SE (Appendix 1 & 2). The parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and is zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	vacant lot (under development, see DP-429)	Zoned R4
South:	single family dwelling and accessory building	Zoned R1
East:	single family dwelling	Zoned R1
West:	single family dwelling and accessory building	Zoned R1

The subject property is 0.49 ac (1983m²) in area. A 24'x40' (960ft²) modular detached suite is being proposed. Documentation provided in support of the rezoning application is attached as Appendix 5. Parking is to be provided onsite on the existing driveway.

Although the proposed detached suite is a (A277) Manufactured Home as defined by the Zoning Bylaw, the suite appears to comply with both the British Columbia Building Code and size restrictions (maximum floor area, minimum width, etc.). As such, staff have no concerns with having this manufactured home act as a detached suite.

To date, there are currently five (5) other properties on 12 Avenue SE that have also been rezoned to R8. Site photos are attached in Appendix 6.

Policy 8.3.25 of the OCP supports detached suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTSShaw

Shaw supports this application with the condition that the owner/developer will provide Shaw with a conduit system that will allow Shaw to service the new home. Details will be addressed at the Building Permit stage. The owner/developer is to contact Shaw for more details.

Building Department

No concern at this time.

Fire Department

No Fire Department concerns.

Engineering Department

No Engineering referral.

Public Consultation

Pursuant to the *Local Government Act* and *City of Salmon Arm Zoning Bylaw* notices are mailed to landowners within a 30m radius of the application. Newspaper ads are placed in two editions of the local paper in advance of the Statutory Public Hearing. The notices outline the proposal and advise those with an interest in the proposal to provide written submission prior to the Statutory Public Hearing and information regarding attending the Hearing. R8 rezoning for parcels < 0.4 ha do not require the post of a sign Notice of Development sign. It is expected that the Hearing for this application will be held on June 27, 2022.

Planning Department

Based on the parcel area, the subject property has the potential to meet the conditions for the development of a detached suite, including sufficient space to meet the parking requirement. The detached suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements.

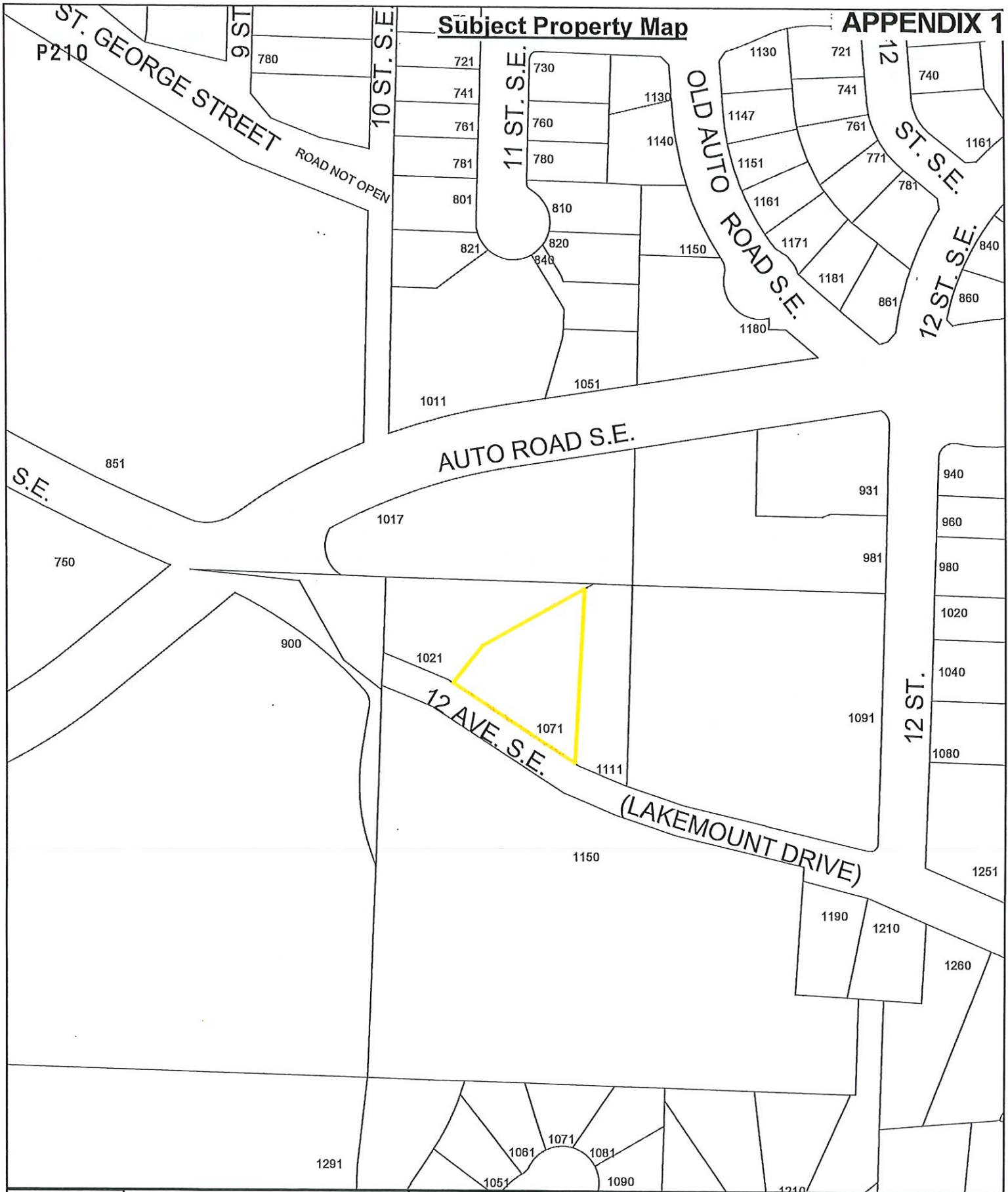
Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).


Prepared by: Evan Chorlton
Planner I


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1

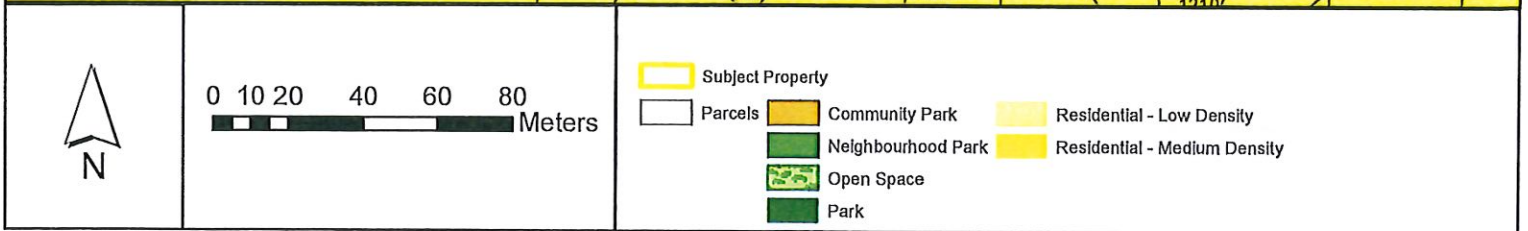




0 2.5 5 10 15 20 Meters

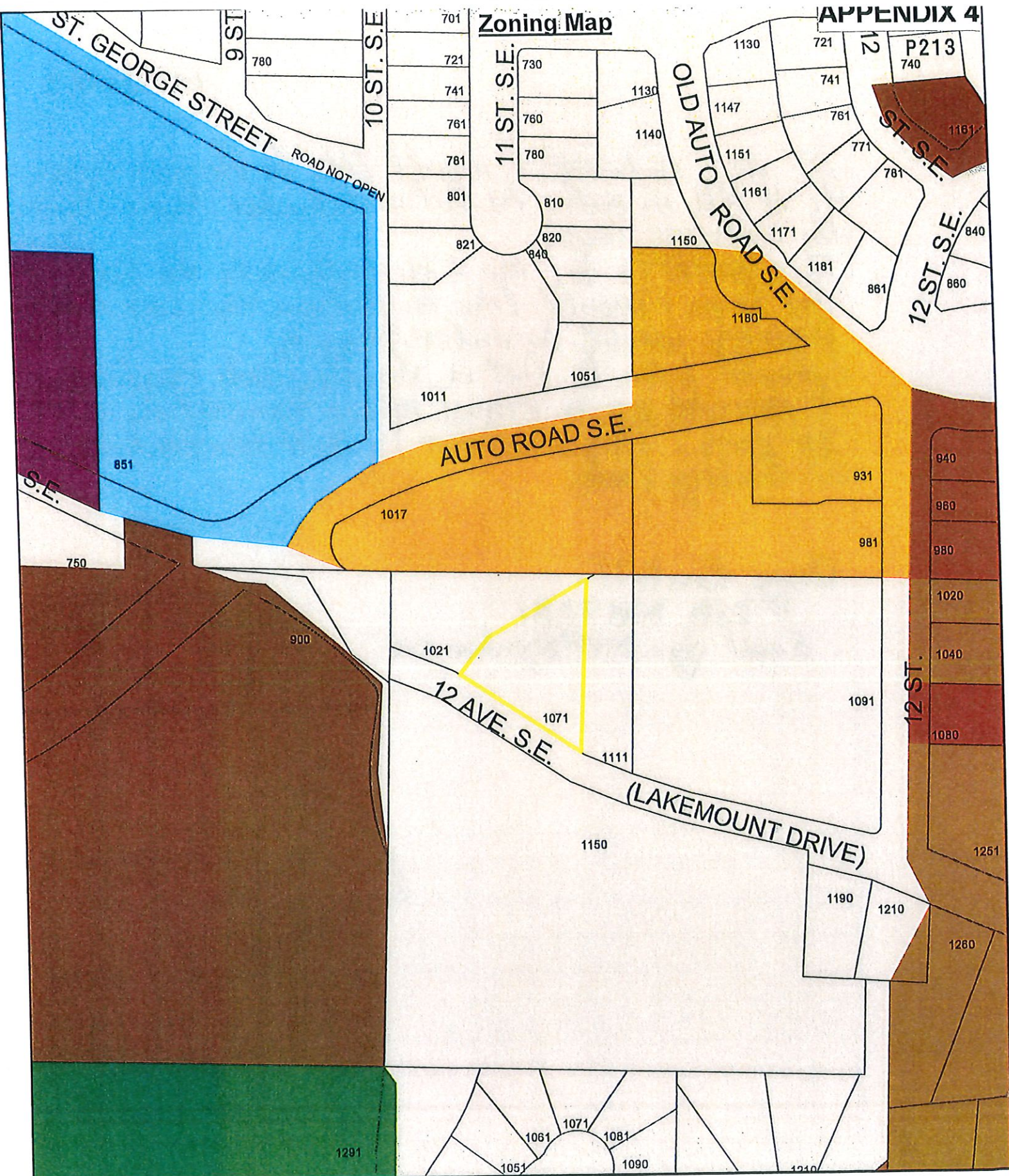
 Subject Property

 Parcels



Zoning Map

APPENDIX 4



0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- A-2
- C-9
- P-1
- R-1
- R-4
- R-6
- R-7
- R-8

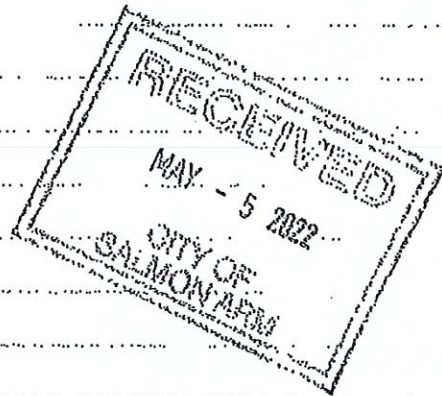
AT 1071 12 Aves E I would like to Rezone from R1 to R8 in order to put a detached home from the existing home.

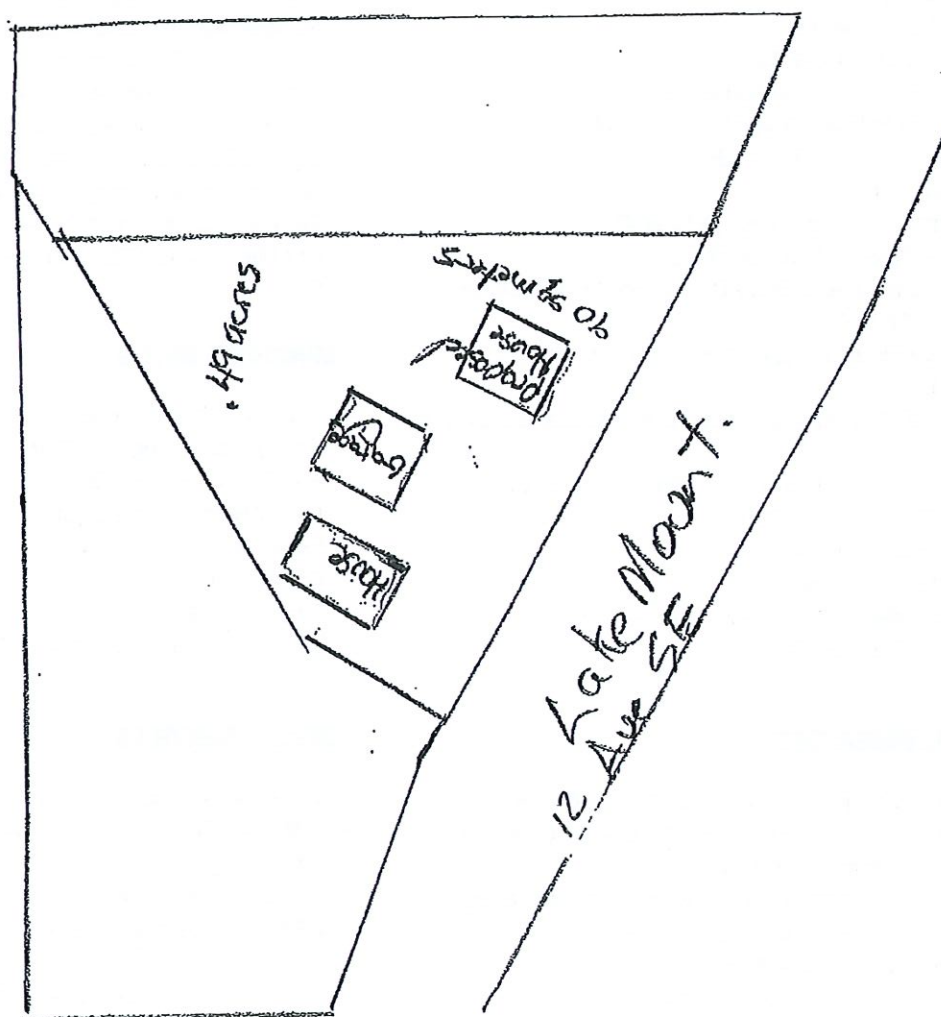
This home is for my Elderly Parents to live in. The home I would like to put on this .49 Acre property would be under 90 sq m. I would like to put a double wide modular, if possible on a crawl space Foundation approx. 24' x 40'. This modular is Built to CSA A-277 BC Building Code.

Doug Barrett

250 308 9281

Email dg-brtt@yahoo.ca







ON A FOUNDATION

Quality homes built with care.

Standout Features

Self Contained Residential Package

GENERAL CONSTRUCTION

- Built to CSA A-277 BC Building Code
- Maintenance Free Vinyl Lap Siding
- White wooden Fascia
- Architectural Shingles
- Residential 5/12 Roof Pitch
- 18" Fixed Perimeter Vented Eaves
- Primed and Painted Drywall (White Walls)
- Residential 2x4 Interior Walls
- 8' 2x6 Exterior Walls
- Engineered 14" Floor Truss @ 19.2" O.C.
- 5/8" T&G Plywood Floor Decking
- Decorative Insulated Entry Doors with Dead Bolt (26" Front & 32" Rear)
- Decorative Exterior Light at all Entrances (except porches)
- Residential Maintenance Free Double-Glazed Low E with Argon
- PVC Windows w/ Vinyl Sills, Screens & security Locks;
- Exterior GFI Electrical Outlet
- Exterior Frost Free Tap
- 94 psf Ground Snow Load
- Insulation Meets or Exceeds Regional Code
- Drain Line Stubbed Off

TASTEFUL INTERIORS

- Carpet in Living Room, Master Bedroom & Hall
- Quality Cushioned Linoleum Flooring in all other areas
- Residential- Style Closet Doors
- 2" Horizontal Blinds on all windows (excluding Bath)
- 8' Flat Span Textured Ceilings Throughout
- Designer Glass Light Fixtures
- Double Rod in Master Bedroom Closet
- White Windsor Moulding Package
- Decora Switches and Receptacles
- Clermont Interior Passage Doors
- Lever Door Handles Throughout

BRIGHT, BEAUTIFUL KITCHENS

- European Deluxe Cabinetry w/ Crown Moulding
- Kitchen Island (Plan Specific)
- Extended Over Head Fridge Cabinet
- Stepped Kitchen Cabinets (Plan Specific)
- Ceramic Tile Backsplash
- Window over Kitchen Sink (Plan Specific)
- Chrome one handle pull out Kitchen Faucet
- Deluxe 30" Electric Range
- Exterior Vented Range Hood with light
- 18 cu ft; 2 door, Frost Free Refrigerator
- Double Stainless Steel Kitchen Sink Bump-Out At Kitchen Sink

SPACIOUS BATHS

- Ceramic Tile Backsplash
- One-piece Fibreglass Tub/ Shower with Curved Shower Rod & Single Lever Faucet
- Power Bath Fan on Separate Switch
- Expansive Vanity Mirror with Bar Light
- GFI Receptacle
- Shower Curtain
- Wall Mounted Over John Cabinet

UTILITY SERVICES

- 100 Amp Electrical Service
- 95% High Efficiency Gas Furnace w/ Electronic Ignition, A/C Ready.
- 40 Gallon Electric Water Heater
- Wired, Plumbed and vented for Washer and Dryer
- Utility Room Shelf
- Exhaust Fan with Dehumidistat
- Continuous Whole House Fan
- Smoke Detector(s)
- 3 Communication Outlets (kitchen, living room and MBR)
- Radon Pipe Capped (zone specific)

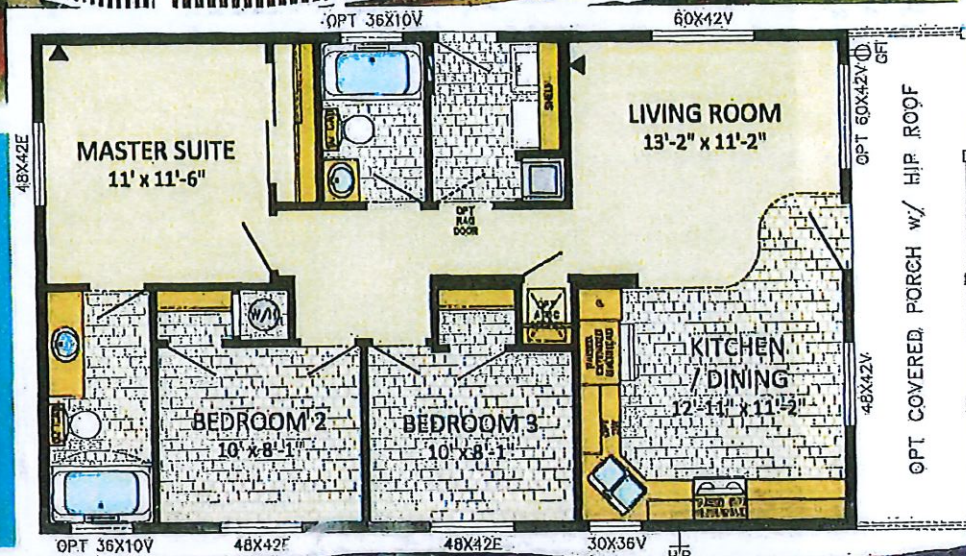
*10 YEAR WARRANTY



24' x 40' | 960 sqft

IMAGE SHOWN WITH OPTIONS:

- LOUISBOURG FRONT DOOR
- OPTIONAL COVERED PORCH W/ HIP ROOF
- FIBER CEMENT SIDING
- 8' BOX BAY W/ FAUX STONE

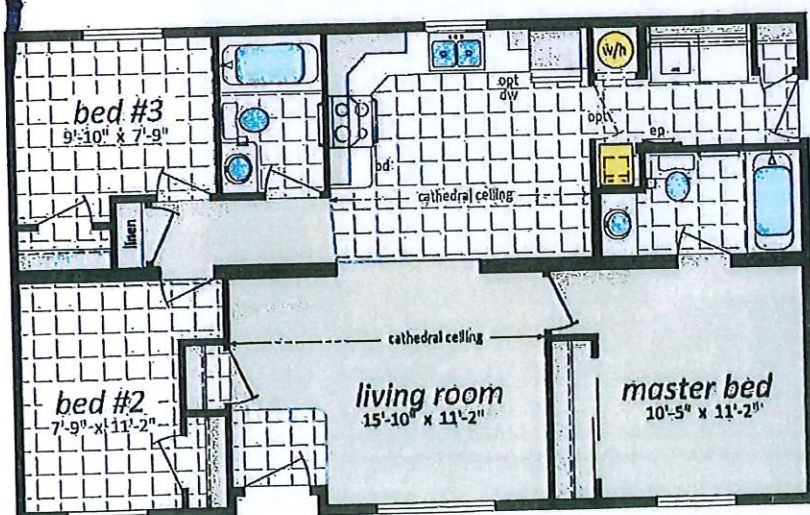


The Genesis II Series

the oregon

GDII-4400

24' x 40' • 960 sq. ft.



The sounds

eaglehomes.ca

Salmon Arm | Kamloops | Cranbrook | Castlegar

APPENDIX 6



23.6

CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, June 27 at 7:00 p.m.

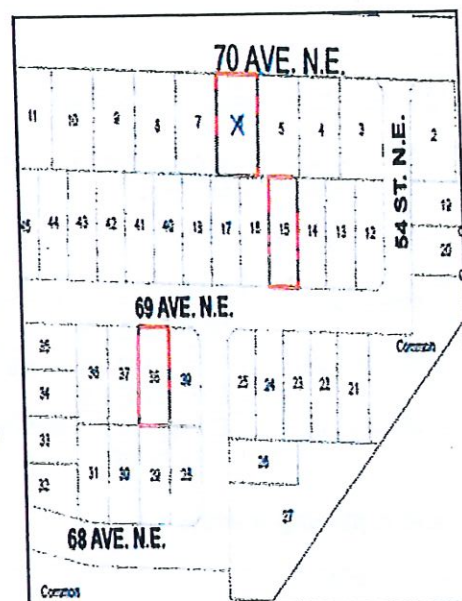
6) Proposed termination of Land Use Contract LUC P1971 from Strata Lots 6, 15 and 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299:

LUC P1971 between the City and Inter-X Enterprises Ltd. Permitted the development of the 102 lot mobile home park strata known as Canoe Creek Estates. Affecting only Strata Lots 6, 15 and 38 of KAS299, Bylaw No. 4532 is amending Bylaw No. 4485 (Early Termination of Land Use Contract P1971 for Canoe Creek Estates) to correct typographical errors in the PID and Legal Description sections of Bylaw No. 4485 for the subject properties.

Civic Addresses: 5351 69 Avenue NE (PID 002-496-712), 5280 69 Avenue NE (PID 002-497-093) & 5330 70 Avenue NE (002-496-623)

Location: Canoe Creek States

Reference: LUC P1971/Bylaw 4532



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from June 15 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person and virtually. In person attendance will be on a first come first serve basis. If you wish to attend electronically email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services
June 15 and June 22

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison and Members of Council

Date: June 9, 2022

Subject: Land Use Contract Termination – P1971 (Canoe Creek Estates)

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Bylaw No. 4468 by deleting:

PID	Legal Description	Civic Address
005-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-497-096	Strata Lot 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 69 Avenue NE
002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan K299	5330 70 Avenue NE

and replacing it with:

PID	Legal Description	Civic Address
002-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-497-093	Strata Lot 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 69 Avenue NE
002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5330 70 Avenue NE

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PURPOSE

The review amendments to the Early Termination of Land Use Contract (LUC) P1971 (Canoe Creek Estates) to correct typos made in the PID and legal description sections of Bylaw No. 4468. The process for the Early Termination of Land Use Contracts is governed by the *Local Government Act* and is specific in requiring that the Parcel Identifiers (PID) and legal descriptions are contained within the bylaw.

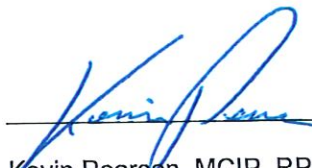
CONSULTATION

The LUC Early Termination process for Canoe Creek Estates started in October 2020. The LUC Termination Bylaw, Zoning Amendment Bylaw (R1 to R6) and amendments to the Mobile Home Park Bylaw were adopted by Council on April 11, 2022. Following the adoption of the Bylaws typographical errors were found and staff are seeking to amend the bylaws in order to correct the errors.

Pursuant to Section 466(5) of the *Local Government Act*, notices will be mailed to the above noted property owners advising of the Statutory Public Hearing for the LUC Early Termination amending bylaw due to the typo. It is expected that the Statutory Public Hearing will be held on June 27, 2022. The accompanying Zoning Amendment Bylaw No. 4533 would be considered for third reading at the same meeting.



Melinda Smyrl, MCIP, RPP
Planner



Kevin Pearson, MCIP, RPP
Director of Development Services

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Item 24.1a

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Official Community Plan Amendment Bylaw No. 4510 be read a third time.

[Burmeister, I.E./Timberline Solutions; 30 2 Street SE; TC to HR]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4510

**A bylaw to amend "City of Salmon Arm Official Community Plan
Bylaw No. 4000"**

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means on June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "City of Salmon Arm Official Community Plan Bylaw No. 4000" is hereby amended as follows:

1. Re-designate Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from TC (City Center Commercial) to HR (High Density Residential), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Official Community Plan Amendment Bylaw No. 4510".

READ A FIRST TIME THIS 24th DAY OF MAY 2022

READ A SECOND TIME THIS 13th DAY OF June 2022

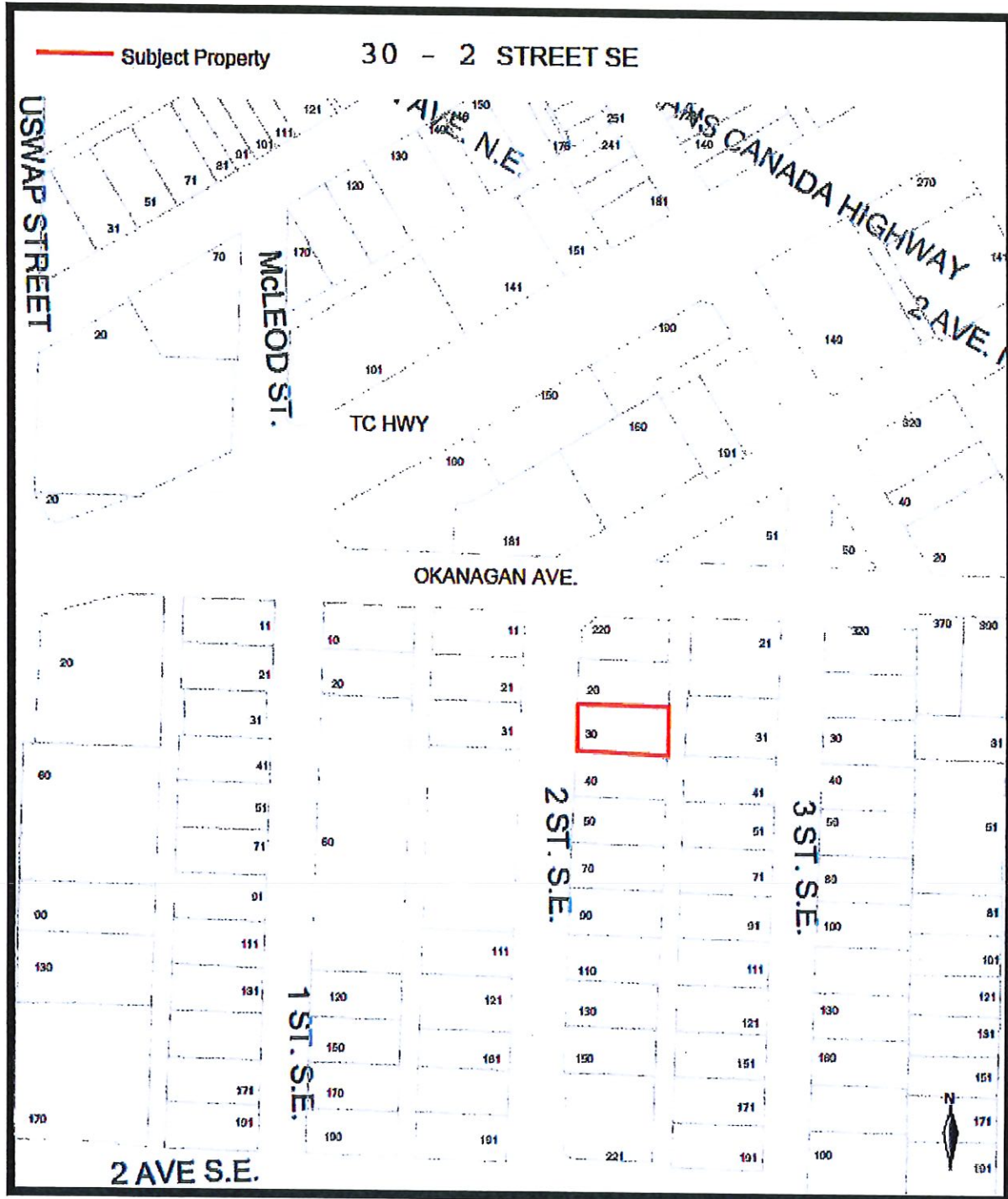
READ A THIRD TIME THIS DAY OF 2007

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



Item 24.1b

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4511 be read a third time.

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

[Burmeister, I.E./Timberline Solutions; 30 2 Street SE; C2-R5]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4511

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Block 3, Section 14, Township 20, Range 10, W6M, KDYD, Plan 392 from C-2 (Town Centre commercial Zone) to R-5 (High Density Residential), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4511"

READ A FIRST TIME THIS 24th DAY OF May 2022

READ A SECOND TIME THIS 13th DAY OF June 2022

READ A THIRD TIME THIS DAY OF 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF , 2022

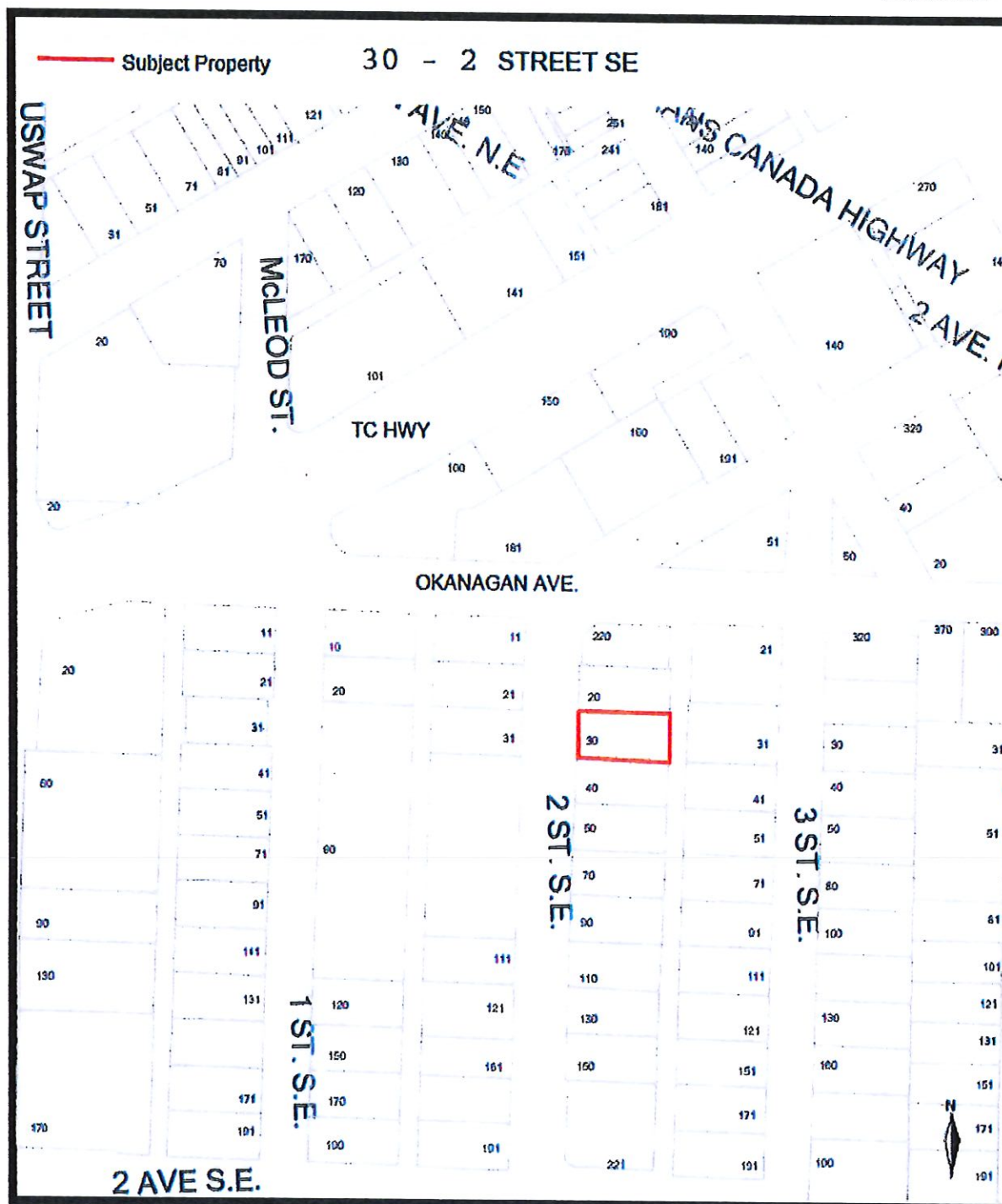
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



Item 24.2

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4528 be read a third and final time.

[McCann, D. & K. / Orchard Valley Homes; 961 17 Street SE; R-1 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4528

A bylaw to amend "City of Salmon Arm Zoning Amendment Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Plan KAP79114 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4528"

READ A FIRST TIME THIS 13 DAY OF June 2022

READ A SECOND TIME THIS 13 DAY OF June 2022

READ A THIRD TIME THIS DAY OF 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER



Item 24.3

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4535 be read a third and final time.

[Bagley, P. & S. / Franklin Engineering Ltd; 800 Foothill Road SW; A-2 and R-1 to R8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4535

A bylaw to amend "City of Salmon Arm Zoning Amendment Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan 7950 Except Plan 8467 from A-2 (Rural Holding Zone) and R-1 (Single Family Residential Zone) to R8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as “City of Salmon Arm Zoning Amendment Bylaw No. 4535”

READ A FIRST TIME THIS	13	DAY OF	June	2022
READ A SECOND TIME THIS	13	DAY OF	June	2022
READ A THIRD TIME THIS		DAY OF		2022
ADOPTED BY COUNCIL THIS		DAY OF		2022

MAYOR

CORPORATE OFFICER



Item 24.4

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4537 be read a third time.

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

[Caswell, C. & Tremblay, I.; 2080 Okanagan Avenue SE; R1 to R8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4537

A bylaw to amend "City of Salmon Arm Zoning Amendment Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17802 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4537"

READ A FIRST TIME THIS 13 DAY OF June 2022

READ A SECOND TIME THIS 13 DAY OF June 2022

READ A THIRD TIME THIS DAY OF 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF , 2022

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER



Item 24.5

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4538 be read a third and final time.

[Barrett, D.; 1071 12 Avenue SE; R1 to R8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4538

A bylaw to amend "City of Salmon Arm Zoning Amendment Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on June 27, 2022 at the hour of 7:00 p.m. was published in the June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot A, Section 12, Township 20, Range 10, W6M, KDYD, Plan 17556 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4538"

READ A FIRST TIME THIS 13 DAY OF June 2022

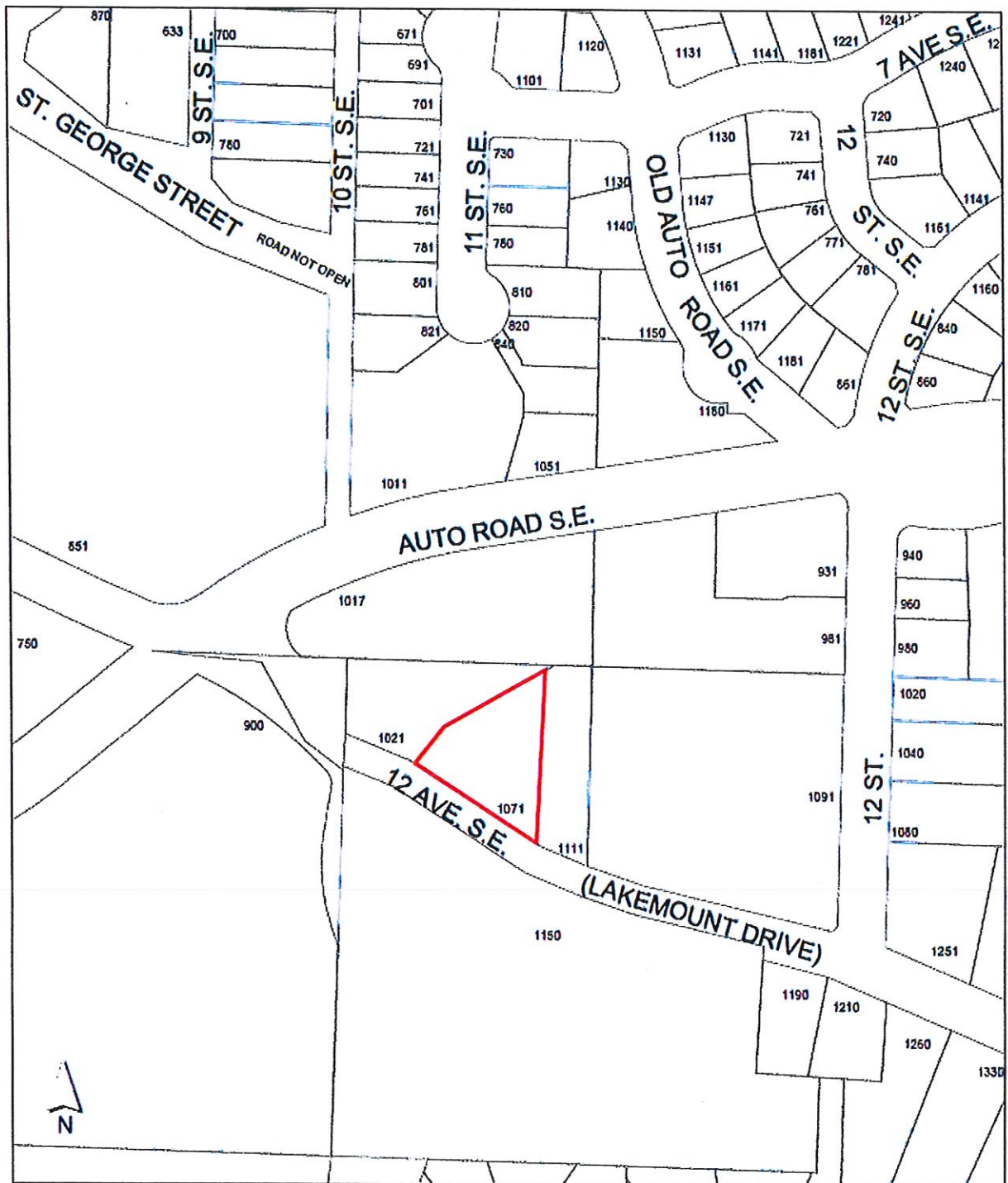
READ A SECOND TIME THIS 13 DAY OF June 2022

READ A THIRD TIME THIS DAY OF 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER



Item 24.6

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4533 be read a third time;

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

[Canoe Creek Estates]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison and Members of Council

Date: June 9, 2022

Subject: Zoning Amendment Bylaw No. 4533

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Bylaw No. 4486 by deleting:

PID	Legal Description	Civic Address
002-496-569	Strata Lot 1, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5440 70 Avenue NE
002-496-577	Strata Lot 2, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5420 70 Avenue NE
002-496-593	Strata Lot 3, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5390 70 Avenue NE
002-496-607	Strata Lot 4, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5370 70 Avenue NE
002-496-615	Strata Lot 5, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5350 70 Avenue NE
002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan K299	5330 70 Avenue NE
002-496-631	Strata Lot 7, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5310 70 Avenue NE
001-510-941	Strata Lot 8, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 70 Avenue NE
002-496-640	Strata Lot 9, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5260 70 Avenue NE
002-496-658	Strata Lot 10, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5240 70 Avenue NE
001-525-883	Strata Lot 11, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5220 70 Avenue NE
002-496-674	Strata Lot 12, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5391 69 Avenue NE
002-465-124	Strata Lot 13, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5381 69 Avenue NE
002-496-691	Strata Lot 14, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5371 69 Avenue NE
005-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-496-739	Strata Lot 16, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5331 69 Avenue NE
002-496-755	Strata Lot 17, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5311 69 Avenue NE
002-496-763	Strata Lot 18, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5299 69 Avenue NE
002-496-771	Strata Lot 19, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6950 54 Street NE
002-496-801	Strata Lot 20, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6920 54 Street NE

002-496-828	Strata Lot 21, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5380 69 Avenue NE
002-496-852	Strata Lot 22, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5370 69 Avenue NE
002-496-879	Strata Lot 23, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5350 69 Avenue NE
002-496-887	Strata Lot 24, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5340 69 Avenue NE
002-496-909	Strata Lot 25, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5320 69 Avenue NE
002-496-917	Strata Lot 26, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6850 53 Street NE
002-496-925	Strata Lot 27, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6820 53 Street NE
002-496-941	Strata Lot 28, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5291 68 Avenue NE
002-496-950	Strata Lot 29, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5281 68 Avenue NE
002-496-968	Strata Lot 30, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5261 68 Avenue NE
002-496-976	Strata Lot 31, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5251 68 Avenue NE
002-496-984	Strata Lot 32, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6820 52 Street NE
002-497-034	Strata Lot 33, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6840 52 Street NE
002-497-042	Strata Lot 34, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6860 52 Street NE
002-497-051	Strata Lot 35, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6880 52 Street NE
002-497-077	Strata Lot 36, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5250 69 Avenue NE
002-497-085	Strata Lot 37, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5260 69 Avenue NE
002-497-096	Strata Lot 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 69 Avenue NE
002-497-115	Strata Lot 39, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5290 69 Avenue NE
002-497-123	Strata Lot 40, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5281 69 Avenue NE
002-497-131	Strata Lot 41, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5271 69 Avenue NE
002-497-140	Strata Lot 42, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5261 69 Avenue NE
002-497-174	Strata Lot 43, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5251 69 Avenue NE
002-497-182	Strata Lot 44, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5231 69 Avenue NE
002-497-191	Strata Lot 45, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5221 69 Avenue NE
002-497-212	Strata Lot 46, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6881 52 Street NE
002-497-239	Strata Lot 47, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6861 52 Street NE
002-497-247	Strata Lot 48, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6841 52 Street NE
002-497-255	Strata Lot 49, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6821 52 Street NE

002-497-263	Strata Lot 50, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5150 69 Avenue NE
002-497-280	Strata Lot 51, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5140 69 Avenue NE
002-497-298	Strata Lot 52, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5120 69 Avenue NE
002-497-328	Strata Lot 53, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5130 69 Avenue NE
002-497-361	Strata Lot 54, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5141 69 Avenue NE
002-497-379	Strata Lot 55, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5151 69 Avenue NE
002-497-395	Strata Lot 56, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5161 69 Avenue NE
002-497-468	Strata Lot 59, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5180 70 Avenue NE
002-497-492	Strata Lot 60, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5160 70 Avenue NE
002-497-654	Strata Lot 61, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5140 70 Avenue NE
002-497-662	Strata Lot 62, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5120 70 Avenue NE
005-045-070	Strata Lot 63, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5191 69 Avenue NE
017-513-502	Strata Lot 64, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5061 68 Avenue NE
017-513-511	Strata Lot 65, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5081 68 Avenue NE
017-513-529	Strata Lot 66, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5091 68 Avenue NE
017-513-537	Strata Lot 67, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6790 51 Street NE
017-513-545	Strata Lot 68, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6770 51 Street NE
017-513-553	Strata Lot 69, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6750 51 Street NE
017-513-561	Strata Lot 70, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5201 67 Avenue NE
017-513-570	Strata Lot 71, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5221 67 Avenue NE
017-513-588	Strata Lot 72, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5231 67 Avenue NE
017-513-596	Strata Lot 73, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5241 67 Avenue NE
017-513-600	Strata Lot 74, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5251 67 Avenue NE
017-513-618	Strata Lot 75, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5261 67 Avenue NE
017-513-626	Strata Lot 76, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5271 67 Avenue NE
017-513-634	Strata Lot 77, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 67 Avenue NE
017-513-642	Strata Lot 78, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5260 67 Avenue NE
017-513-651	Strata Lot 79, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5250 67 Avenue NE
017-513-669	Strata Lot 80, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5240 67 Avenue NE

017-513-677	Strata Lot 81, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5230 67 Avenue NE
017-513-685	Strata Lot 82, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6690 51 Street NE
017-513-693	Strata Lot 83, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6670 51 Street NE
017-513-707	Strata Lot 84, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6660 51 Street NE
017-513-715	Strata Lot 85, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6650 51 Street NE
017-513-723	Strata Lot 86, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6640 51 Street NE
017-513-731	Strata Lot 87, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6630 51 Street NE
017-513-740	Strata Lot 88, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6620 51 Street NE
017-513-758	Strata Lot 89, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6610 51 Street NE
017-513-766	Strata Lot 90, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6611 51 Street NE
017-513-774	Strata Lot 91, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6621 51 Street NE
017-513-782	Strata Lot 92, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6631 51 Street NE
017-513-791	Strata Lot 93, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6641 51 Street NE
017-513-804	Strata Lot 94, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6651 51 Street NE
017-513-812	Strata Lot 95, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6661 51 Street NE
017-513-821	Strata Lot 96, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6671 51 Street NE
017-513-839	Strata Lot 97, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6691 51 Street NE
017-513-847	Strata Lot 98, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6721 51 Street NE
017-513-855	Strata Lot 99, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6731 51 Street NE
017-513-863	Strata Lot 100, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6751 51 Street NE
017-513-871	Strata Lot 101, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6771 51 Street NE
017-513-880	Strata Lot 102, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6791 51 Street NE
017-513-898	Strata Lot 103, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5021 68 Avenue NE

and replacing it with:

“District of Salmon Arm Zoning Bylaw No. 2303” is hereby amended as follows:

Rezone Strata Lots 1 to 103, Section 32, Township 20, Range 9, W6M, KDYD, Plan K299 from R1 – Single Family Residential to R6 – Mobile Home Park Residential, as shown on ‘Schedule A’ attached here and forming part of this bylaw.”

AND THAT: Final reading of the zoning amendment bylaw be withheld subject to Ministry of Transportation approval.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PURPOSE

To review Zoning Amendment Bylaw No. 4533 which would have the effect of removing typographical errors made in the PID and Legal Description sections of Bylaw No. 4486 with specific reference to 5351 69 Avenue NE, 5280 70 Avenue NE and 5330 70 Avenue NE.

BACKGROUND

Zoning Amendment Bylaw No. 4486 was adopted in April 2022, in conjunction with LUC Early Termination Bylaw No. 4485 and is now being amended to align with the format of other Zoning Amendment Bylaws. A Public Hearing for Zoning Amendment Bylaw No. 4486, rezoning Canoe Creek Estates from R1 (Single Family Residential) to R6 (Mobile Home Park Residential) was held on January 24, 2022.

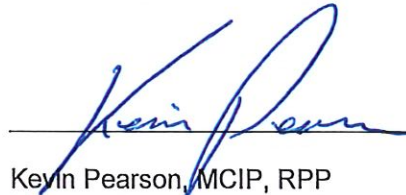
CONSULTATION

Pursuant to Section 466(6) of the *Local Government Act* notices are not mailed to property owners or adjacent properties because more than 10 parcels owned by 10 or more people are the subject to the bylaw amendment.

A newspaper ad would be placed in two consecutive editions of the newspaper in advance of the third reading of the bylaw. In a scenario which Council chooses to waive the Statutory Public Hearing third reading of the bylaw would be considered at the June 27, 2022 Council meeting. Should Council proceed with the Public Hearing, the Public Hearing would be held on June 27, 2022. Adoption of the bylaw would be withheld until approved by the Ministry of Transportation.



Melinda Smyrl, MCIP, RPP
Planner



Kevin Pearson, MCIP, RPP
Director of Development Services

CITY OF SALMON ARM
NOTICE TO WAIVE PUBLIC HEARING

Notice is hereby given that at the Regular meeting of June 13, 2022 the Council of the City of Salmon Arm Council adopted a motion waiving the requirement to hold a Public Hearing for Zoning Amendment Bylaw No. 4533, pursuant to Section 464 (2) of the *Local Government Act*.

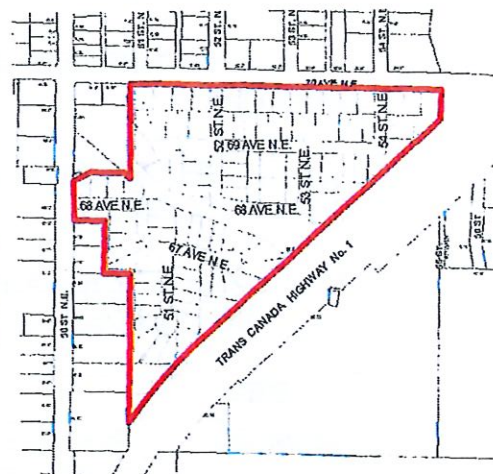
City of Salmon Arm Council will consider third reading of the bylaw at the Regular Council meeting of June 27, 2022 in the Council Chambers at City Hall, 500 2 Avenue NE, Salmon Arm, British Columbia.

a) **Proposed Amendment to Zoning Bylaw No 2303:**

Rezone Lots Strata Lots 1-103, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299 from R-1 Single Family Residential Zone to R-6 Mobile Home Park Residential Zone.

Civic Addresses: 5440, 5420, 5390, 5370, 5350, 5330, 5310, 5280, 5260, 5240, 5220, 5180, 5160, 5140, 5120, 70 Avenue NE, 5391, 5381, 5371, 5351, 5331, 5311, 5299, 5380, 5370, 5350, 5340, 5320, 5260, 5280, 5290, 5281, 5271, 5261, 5251, 5250, 5231, 5221, 5150, 5140, 5120, 5131, 5141, 5151, 5161, 5191 69 Avenue NE, 6950, 6920 54 Street NE, 6850, 6820 53 Street NE, 5021, 5291, 5281, 5261, 5251, 5061, 5081, 5091 68 Avenue NE, 5201, 5221, 5231, 5241, 5251, 5261, 5271, 5280, 5260, 5250, 5240, 5230 67 Avenue NE, 6820, 6840, 6860, 6880, 6881, 6861, 6841, 6821 52 Street NE, 6790, 6770, 6750, 6690, 6670, 6660, 6650, 6640, 6630, 6620, 6610, 6611, 6621, 6631, 6641, 6651, 6661, 6671, 6691, 6721, 6731, 6751, 6771, 6791 51 Street NE

Location: Canoe Creek Estates
Present Use: 101 Unit Mobile Home Park
Proposed Use: No Change



Reference: Bylaw No. 4486/ Bylaw No. 4533

The staff reports for the proposals are available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> June 15, 2022 to June 27, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior June 27, 2022.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services

CITY OF SALMON ARM

BYLAW NO. 4533

A bylaw to amend "City of Salmon Arm Zoning Amendment Bylaw No. 4486"

WHEREAS notice of a Waived Public Hearing was published in June 15 and 22, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "City of Salmon Arm Zoning Amendment Bylaw No. 4486" is hereby amended by deleting the following:

PID	Legal Description	Civic Address
002-496-569	Strata Lot 1, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5440 70 Avenue NE
002-496-577	Strata Lot 2, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5420 70 Avenue NE
002-496-593	Strata Lot 3, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5390 70 Avenue NE
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002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan K299	5330 70 Avenue NE
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City of Salmon Arm
Zoning Amendment Bylaw No. 4533

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005-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-496-739	Strata Lot 16, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5331 69 Avenue NE
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002-497-255	Strata Lot 49, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6821 52 Street NE
002-497-263	Strata Lot 50, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5150 69 Avenue NE
002-497-280	Strata Lot 51, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5140 69 Avenue NE
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002-497-662	Strata Lot 62, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5120 70 Avenue NE

005-045-070	Strata Lot 63, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5191 69 Avenue NE
017-513-502	Strata Lot 64, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5061 68 Avenue NE
017-513-511	Strata Lot 65, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5081 68 Avenue NE
017-513-529	Strata Lot 66, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5091 68 Avenue NE
017-513-537	Strata Lot 67, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6790 51 Street NE
017-513-545	Strata Lot 68, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6770 51 Street NE
017-513-553	Strata Lot 69, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6750 51 Street NE
017-513-561	Strata Lot 70, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5201 67 Avenue NE
017-513-570	Strata Lot 71, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5221 67 Avenue NE
017-513-588	Strata Lot 72, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5231 67 Avenue NE
017-513-596	Strata Lot 73, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5241 67 Avenue NE
017-513-600	Strata Lot 74, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5251 67 Avenue NE
017-513-618	Strata Lot 75, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5261 67 Avenue NE
017-513-626	Strata Lot 76, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5271 67 Avenue NE
017-513-634	Strata Lot 77, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 67 Avenue NE
017-513-642	Strata Lot 78, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5260 67 Avenue NE
017-513-651	Strata Lot 79, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5250 67 Avenue NE
017-513-669	Strata Lot 80, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5240 67 Avenue NE
017-513-677	Strata Lot 81, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5230 67 Avenue NE
017-513-685	Strata Lot 82, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6690 51 Street NE
017-513-693	Strata Lot 83, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6670 51 Street NE
017-513-707	Strata Lot 84, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6660 51 Street NE
017-513-715	Strata Lot 85, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6650 51 Street NE
017-513-723	Strata Lot 86, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6640 51 Street NE

017-513-731	Strata Lot 87, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6630 51 Street NE
017-513-740	Strata Lot 88, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6620 51 Street NE
017-513-758	Strata Lot 89, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6610 51 Street NE
017-513-766	Strata Lot 90, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6611 51 Street NE
017-513-774	Strata Lot 91, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6621 51 Street NE
017-513-782	Strata Lot 92, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6631 51 Street NE
017-513-791	Strata Lot 93, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6641 51 Street NE
017-513-804	Strata Lot 94, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6651 51 Street NE
017-513-812	Strata Lot 95, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6661 51 Street NE
017-513-821	Strata Lot 96, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6671 51 Street NE
017-513-839	Strata Lot 97, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6691 51 Street NE
017-513-847	Strata Lot 98, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6721 51 Street NE
017-513-855	Strata Lot 99, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6731 51 Street NE
017-513-863	Strata Lot 100, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6751 51 Street NE
017-513-871	Strata Lot 101, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6771 51 Street NE
017-513-880	Strata Lot 102, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	6791 51 Street NE
017-513-898	Strata Lot 103, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5021 68 Avenue NE

And replacing it with the following:

Rezone Strata Lots 1 to 103, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299 from R1 – Single Family Residential to R6 – Mobile Home Park Residential as shown on 'Schedule A' attached here and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4533"

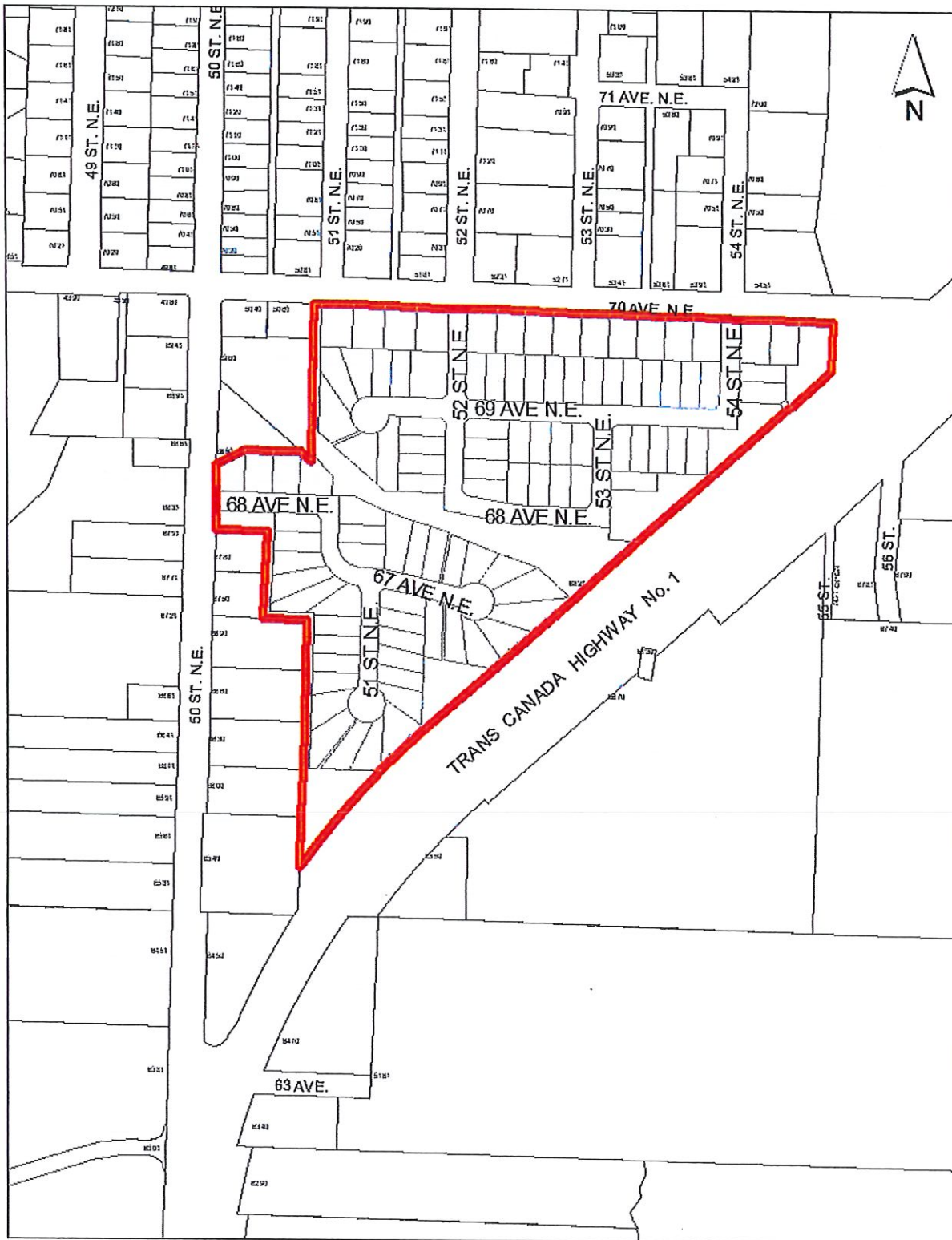
READ A FIRST TIME THIS	13	DAY OF	June	2022
READ A SECOND TIME THIS	13	DAY OF	June	2022
READ A THIRD TIME THIS		DAY OF		2022
ADOPTED BY COUNCIL THIS		DAY OF		2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF 2022

For Minister of Transportation & Infrastructure

MAYOR

CORPORATE OFFICER



Item 24.7

CITY OF SALMON ARM

Date: June 27, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Land Use Contract Termination Bylaw No. 4532 be read a third time.

[LUC P1971; Canoe Creek Estates]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

BYLAW NO. 4532**A bylaw to amend "City of Salmon Arm Land Use Contract Termination Bylaw No.4485"**

WHEREAS pursuant to section 548 of the *Local Government Act* the City of Salmon Arm may address early termination of a land use contract that is entered into and registered in a land title office subject to the terms and conditions therein set out;

AND WHEREAS mandatory notice required under section 466(5) of the *Local Government Act* for a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on June 27, 2022 at the hour of 7:00 p.m. and was published in the and the June 15 and 22, 2022 issues of the Salmon Arm Observer and delivered at least 10 days prior of all parcels, any part of which is subject to the land use contract that the bylaw will terminate or is within a distance specified by bylaw from that part of the area that is subject to that land use contract;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. That "City of Salmon Arm Land Use Contract Termination Bylaw No. 4485", Schedule 'A' be amended by deleting the following:

PID	Legal Description	Civic Address
002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan K299	5330 70 Avenue NE
005-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-497-096	Strata Lot 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 69 Avenue NE

And replacing it with:

PID	Legal Description	Civic Address
002-496-623	Strata Lot 6, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5330 70 Avenue NE
002-496-712	Strata Lot 15, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5351 69 Avenue NE
002-497-093	Strata Lot 38, Section 32, Township 20, Range 9, W6M, KDYD, Plan KAS299	5280 69 Avenue NE

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force effective upon adoption.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Land Use Contract Termination Amendment Bylaw No. 4532".

READ A FIRST TIME THIS	13	DAY OF	June	2022
READ A SECOND TIME THIS	13	DAY OF	June	2022
READ A THIRD TIME THIS		DAY OF		2022
ADOPTED BY COUNCIL THIS		DAY OF		2022

MAYOR

CORPORATE OFFICER

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Item 26

CITY OF SALMON ARMDate: June 27, 2022

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the Regular Council Meeting of June 27, 2022, be adjourned.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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