



AGENDA
City of Salmon Arm
Development and Planning Services
Committee

Monday, March 7, 2022
8:00 a.m.
Council Chambers, City Hall
500 – 2 Avenue NE
Salmon Arm, BC

Page #	Item #	Description
	1.	CALL TO ORDER
	2.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	3.	REVIEW OF AGENDA
	4.	DISCLOSURE OF INTEREST
	5.	REPORTS
1 – 18	1.	Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; Setback requirements]
19 – 44	2.	Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character]
45 - 58	3.	Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]
	6.	FOR INFORMATION
	7.	CORRESPONDENCE
	8.	ADJOURNMENT

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To: His Worship Mayor Harrison and Members of Council

Date: February 28, 2022

Subject: Development Variance Permit Application No. VP-548 (Setback)

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577
 Civic Address: 6360 37 Street NE
 Owner/Applicant: A. Walus

STAFF RECOMMENDATION

THAT: Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0 m to 4.5 m to facilitate construction of an accessory building (detached garage).

PROPOSAL

The subject parcel is located at 6360 37 Street NE (Appendices 1 and 2). The proposal is to construct a detached garage southwest of the existing single family dwelling in place of the existing accessory building/structure (shed) (Appendix 5). Due to the steep slopes/terrain and the existing retaining wall on the property, the proposed location of the accessory building requires a front parcel line setback variance from 6.0 m to 4.5 m along the west property line.

BACKGROUND

The parcel is designated Low Density Residential (LR) in the City's Official Community Plan (OCP) and is zoned A3 (Small Holding) in the Zoning Bylaw (Appendices 3 and 4). The subject property is located in the Canoe area and has frontage onto 37 Street NE. This immediate area largely consists of residential uses. Nearby uses include the Park Hill Trail System and Canoe Beach.

Land uses directly adjacent to the subject property include the following:

North:	Single Family Dwelling and Accessory Building	Zoned A3
South:	Single Family Dwelling and Accessory Building	Zoned A3
East:	Golf Course	Zoned CD13/P1
West:	Single Family Dwelling and Accessory Building(s)	Zoned A3

The property is 1.055 ha in area/size and currently contains a single family dwelling and a shed. The property owner/applicant is proposing a new 23' x 16' (368 ft²) detached garage on the property. Aside from Section 36.11.1 of the Zoning Bylaw, the proposal meets all other A3 – Small Holding Zone regulations.

Site photos are attached, as Appendix 6.

COMMENTSFire Department

No concerns.

Engineering Department

If the retaining wall is greater than 4 feet, it will need to be reviewed by a Structural Engineer or a Geotechnical Engineer due to the load change.

Building Department

All applicable code requirements of the BCBC must be adhered to at the Building Permit Stage.

Planning Department

Development Variance Permits are considered on a case-by-case basis, and in doing so, a number of factors are taken into consideration. These factors include site-specific conditions, such as lot configuration, negative impact to the general form and character of the surrounding neighbourhood and negative impact(s) on adjacent properties.

Historically, there has only been one other Variance Permit issued on 37 Street NE (VP-152; 1997). This was to vary the maximum height of the principal building on the adjacent property to the south (6300 37 Street NE).

As described in the letter submitted by the owner/applicant (Appendix 7), the owner wishes to build a detached garage close to the existing single family dwelling. However, to build a garage to accommodate 2 vehicles, the owner will need to build closer to the front property line and will need to be a minimum of 4.7 m instead of the required 6.0 m from the front property line. This is because the property is restricted by the existing retaining wall and steep slopes further east on the property.

Staff feel that this variance request is reasonable considering the slope and terrain, and will not unreasonably or significantly affect the character of the parcel or streetscape, and have no concerns with this application.



Prepared by: Evan Chorlton
Planner I

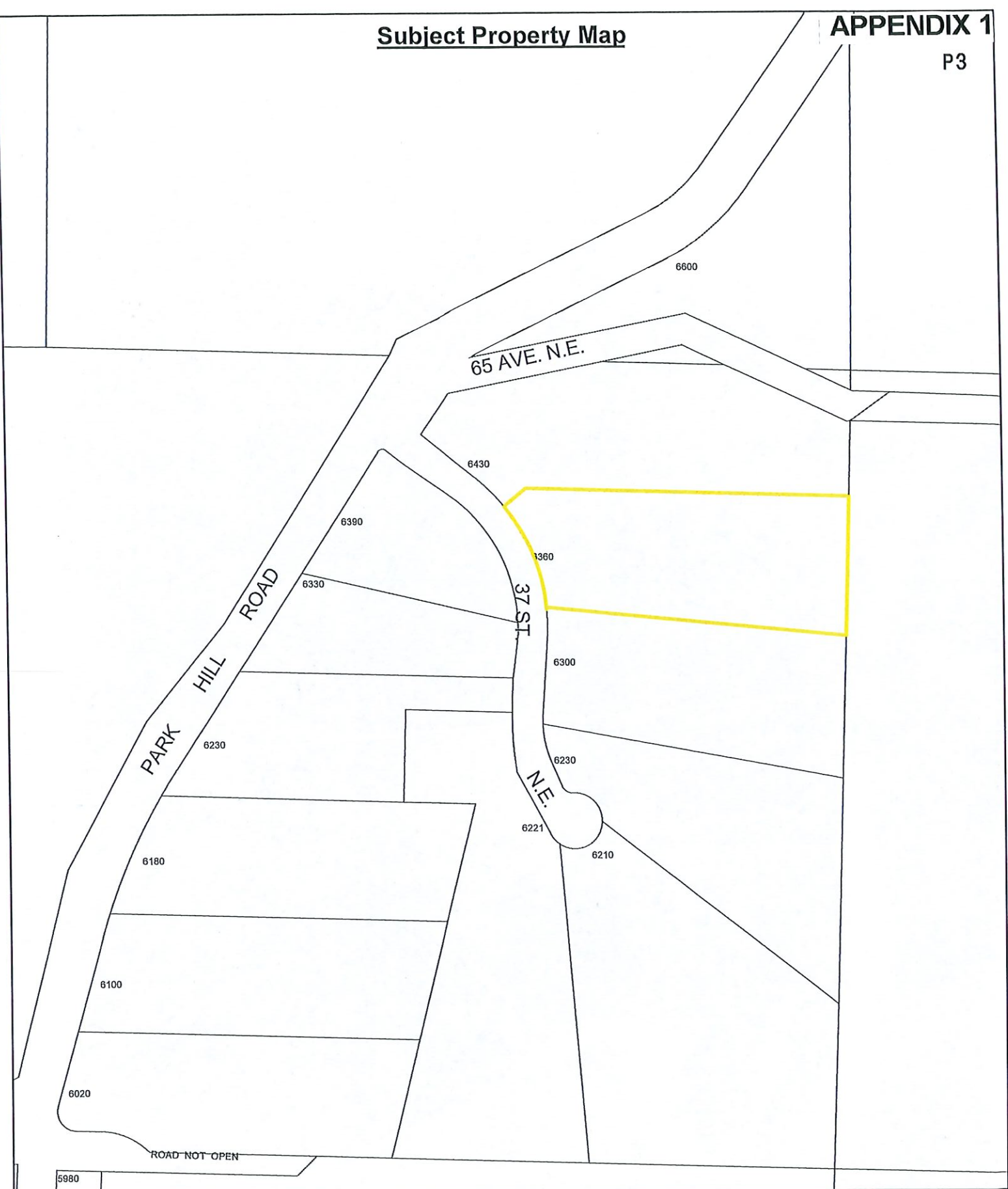


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1

P3

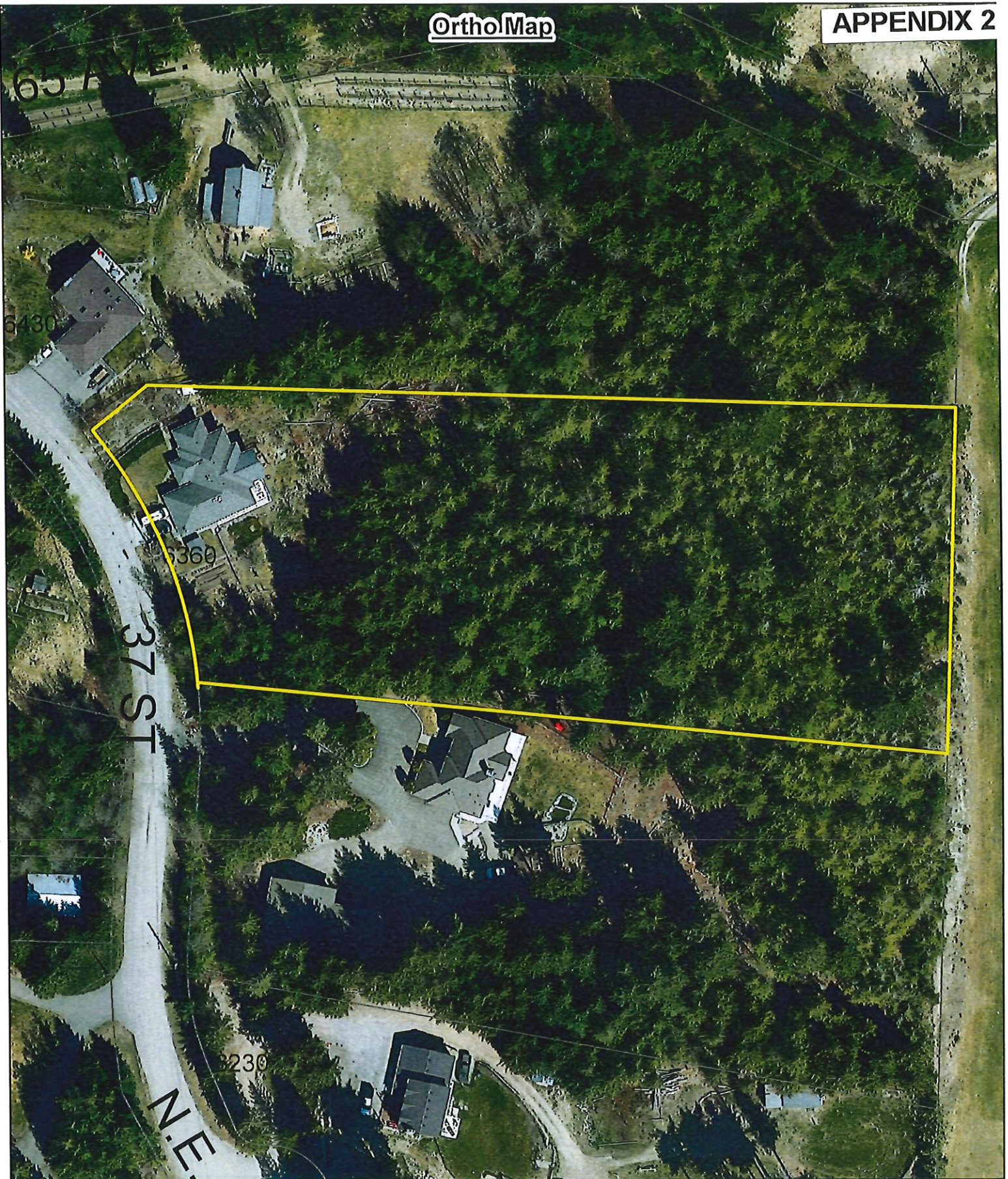


5980



0 12.525 50 75 100 Meters

 Subject Property
 Parcels



0 5 10 20 30 40 Meters

 Subject Property
 Parcels

65 AVE NE

6430

6360

6300

6230

37 ST

NE

8

P5

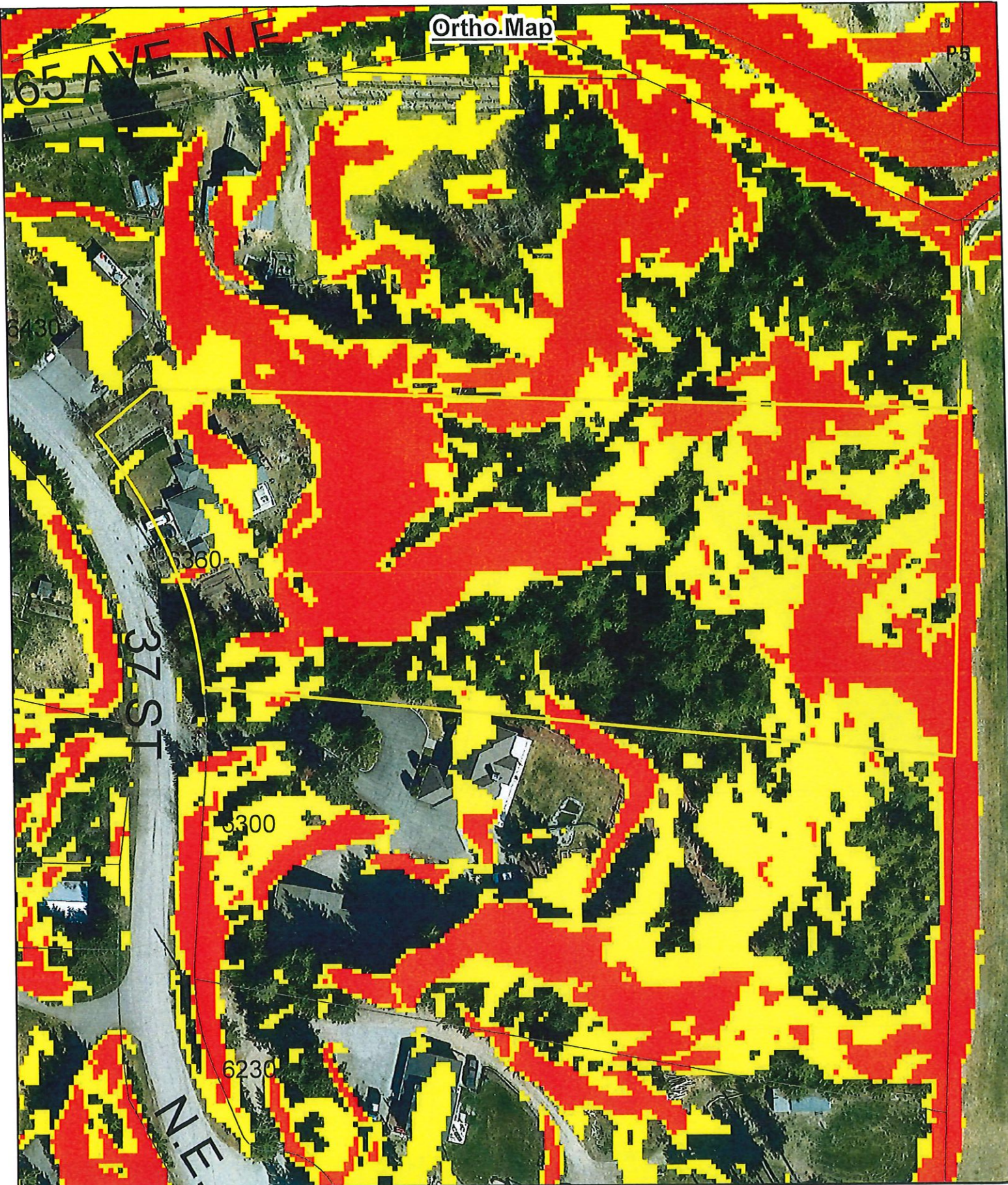


0 5 10 20 30 40 Meters

20 - 30% Slope

30% + Slope

Parcels

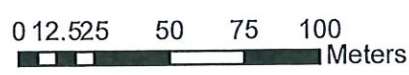


P6



0 12.525 50 75 100 Meters

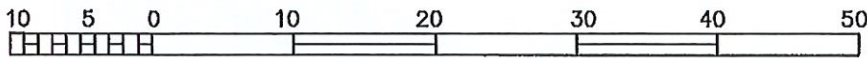
- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density



- Subject Property
- Parcels
- A-2
- A-3
- CD-13
- P-1
- R-1
- R-9

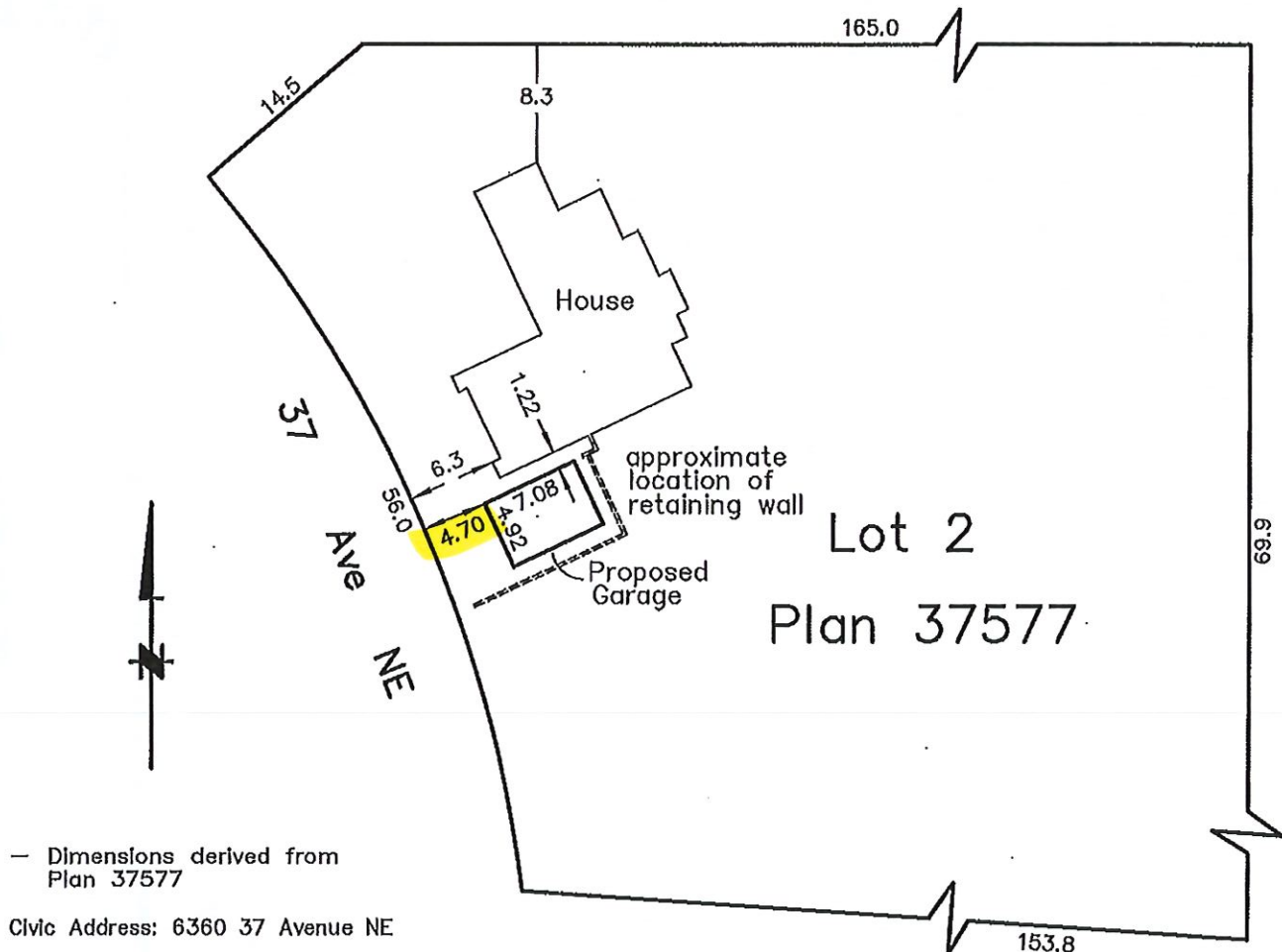
Plan Showing Proposed Garage on Lot 2, Sec 31, Tp 20, Rge 9, W6M, KDYD, Plan 37577

Scale 1:500



All distances are in metres.

The intended plot size of this plan is 215mm in width by 280mm in height (A size) when plotted at a scale of 1:500



— Dimensions derived from
Plan 37577

Civic Address: 6360 37 Avenue NE

Parcel Identifier(PID): 005-725-666

List of documents registered on title which
may affect the location of Improvements:
None

This plan was prepared for construction
planning purposes and is for the exclusive use
of our client. BROWNE JOHNSON LAND
SURVEYORS accepts no responsibility or liability
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January 31, 2022

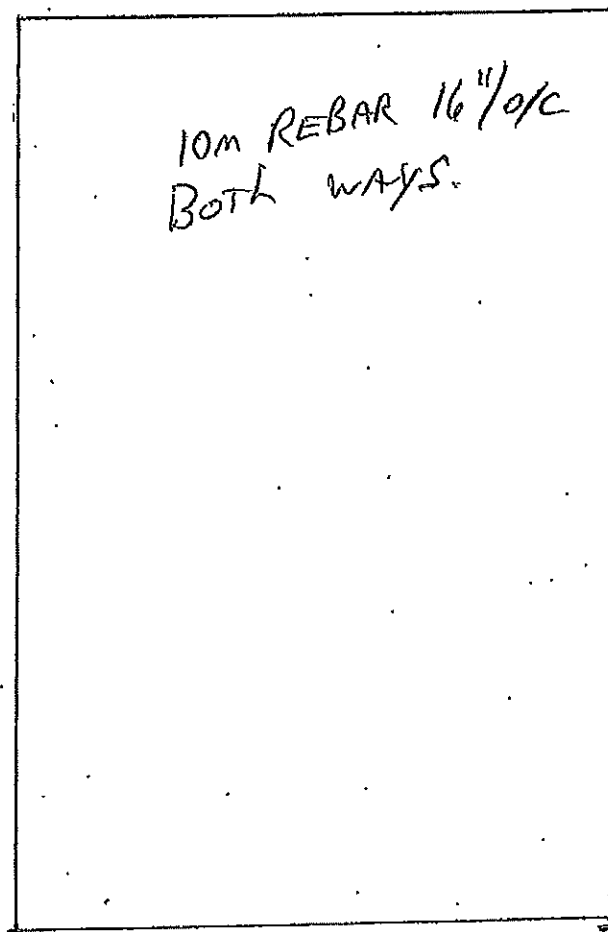
BROWNE JOHNSON LAND SURVEYORS
B.C. AND CANADA LANDS
SALMON ARM, B.C. 250-832-9701
File: 35-22

FOUNDATION
PLAN.

4.88 m / 16'

10m REBAR 16" o/c
BOTH WAYS.

7.01 m / 23'

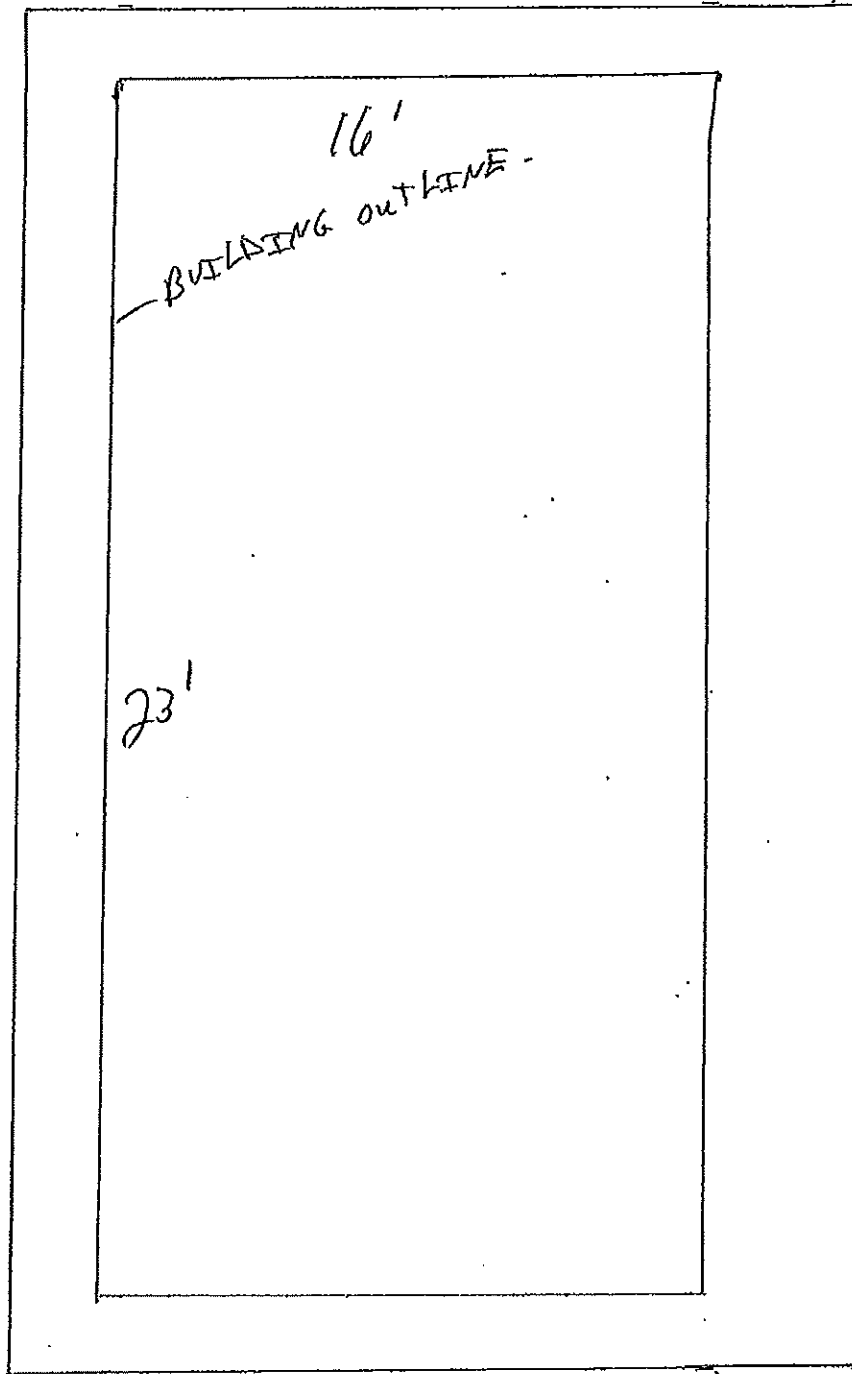


8" 12" 4" THICK SLAB.
THICKEN EDGE ALL SIDES.

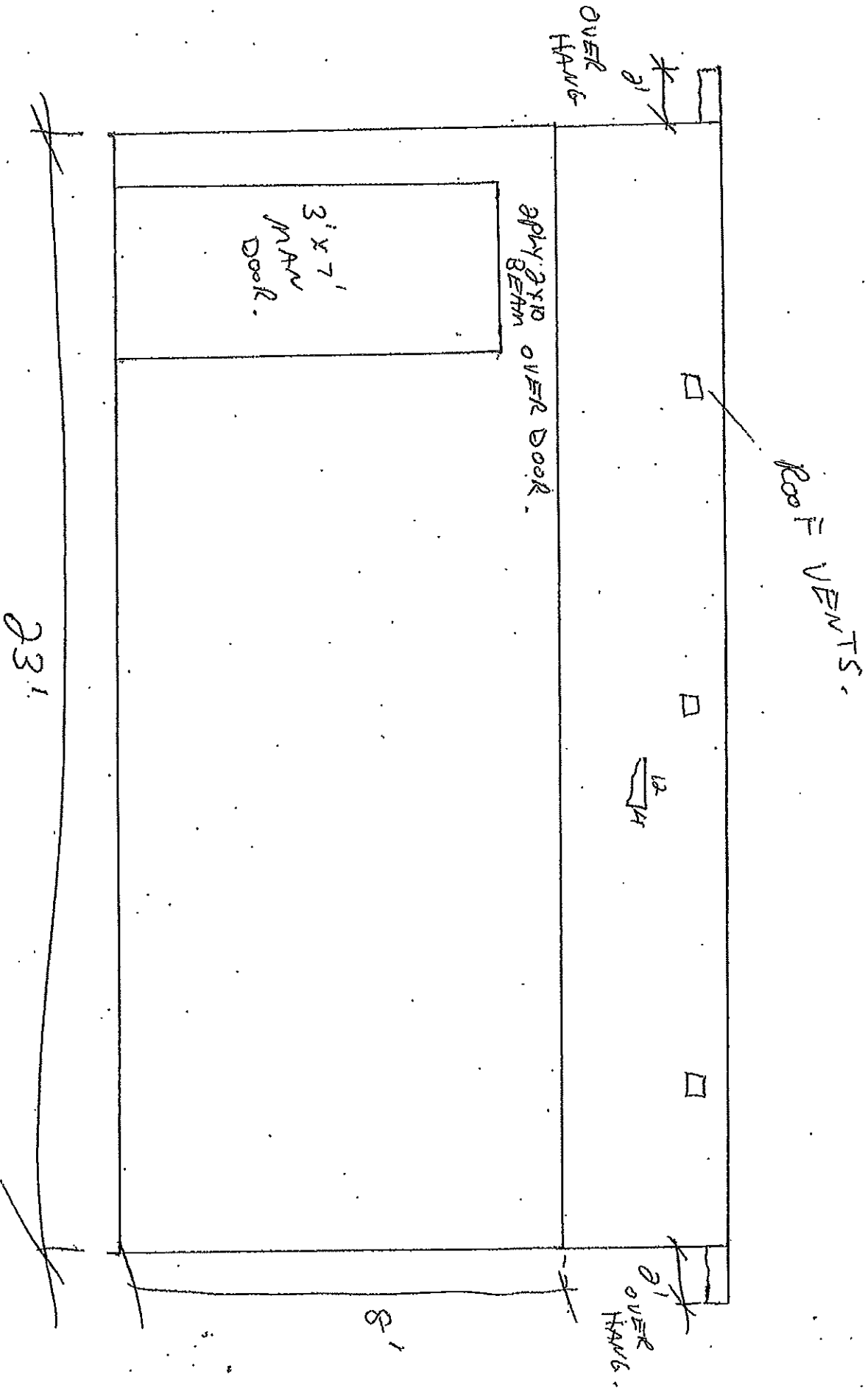
EAST

Roof plan.
ENG. TRUSSES
BY SUPPLIER.

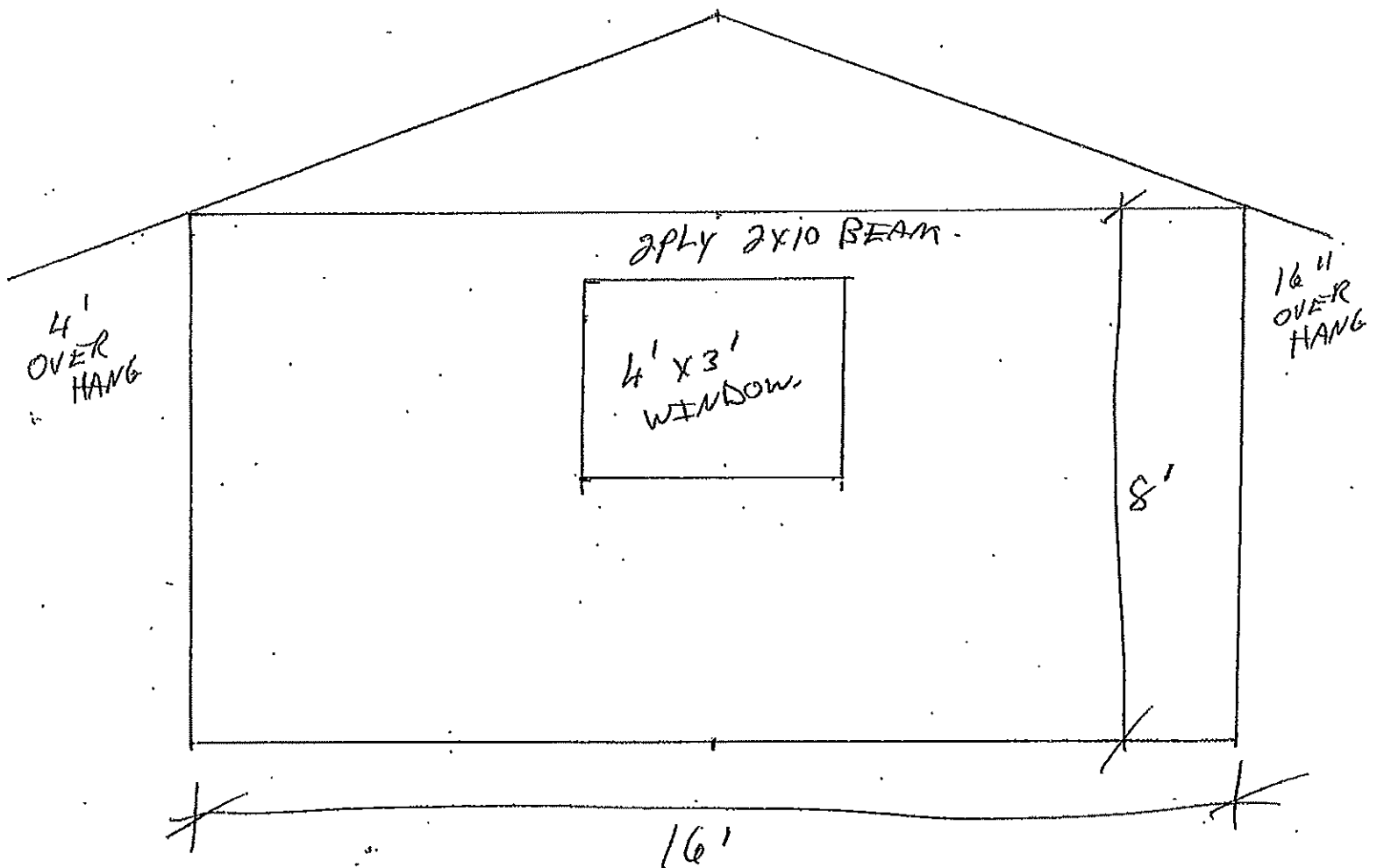
Roof
out LINE



North E.L.

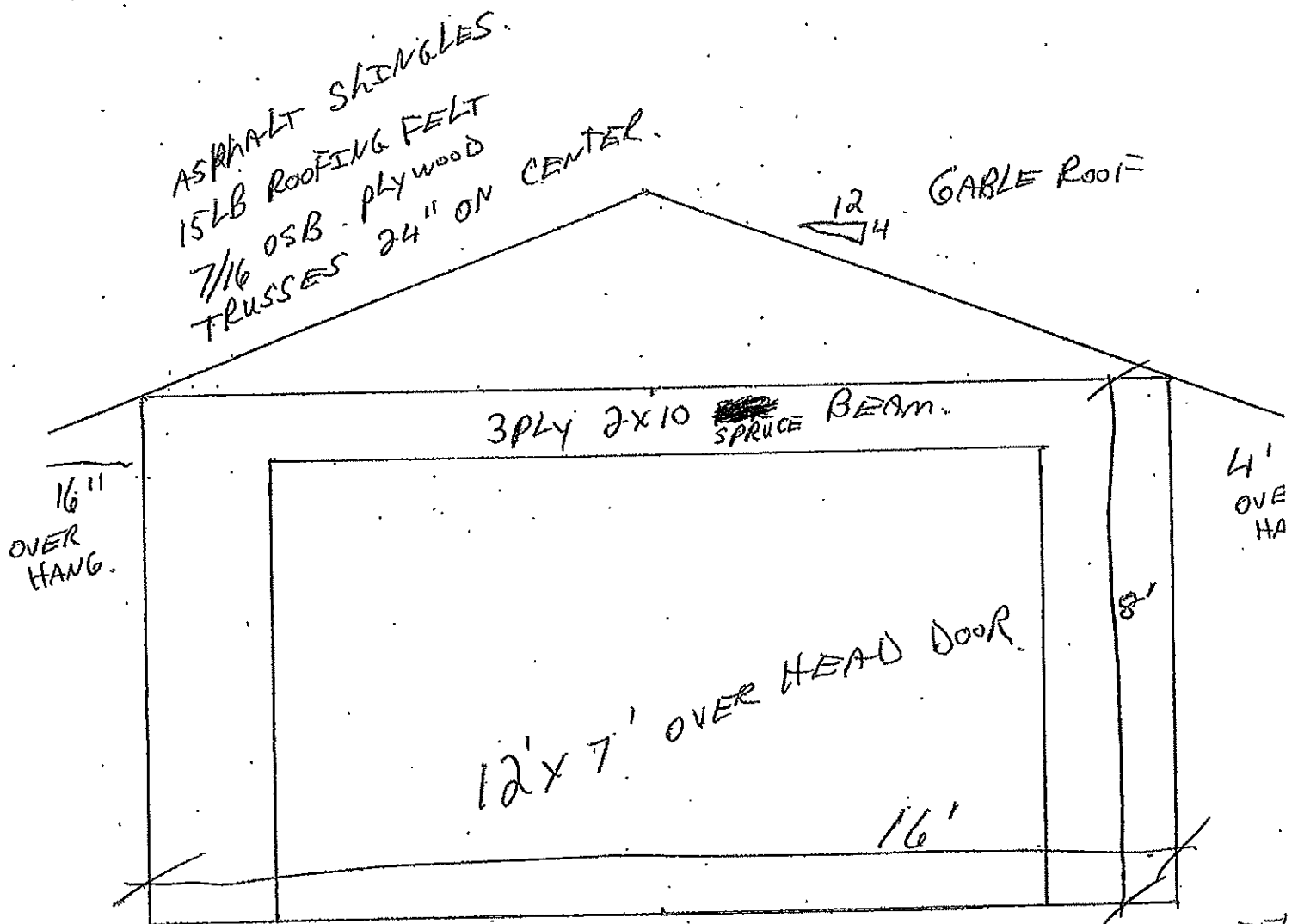


EAST EL.



WEST EL.

P13



WALL FRAMING 2x6 24" ON CENTER. WITH TREATED
7/16 OSB. PLYWOOD. BOTTOM PLATE
BUILDING WRAP: SILL GASKET
HARDIE BOARD SIDING.
WALL FRAMING TO BE ANCHORED DOWN WITH
1/2" x 5 1/2" QUICK BOLTS AT 4' ON CENTER.

2'
OVER
HANG

12
4

2'
OVER
HANG

8'

231

South E-W

APPENDIX 6





February 01 2022

APPENDIX 7

To: Salmon Arm City Hall

From: Alojzy (Alex) Walus
6360 37 Street NE
Salmon Arm

Dear Board of Variance members,

I am planning to build a detached garage close to my house located at 6360 37 Street NE in Salmon Arm (see attached plan). The existing garage inside my house is too small to fit my two vehicles. The dimensions of the planned garage are 7.01 by 4.88 m, which is just large enough to fit my pick-up truck. However, to build a garage of this size, I would need to build it closer to the front property line. The front of the planned garage needs to be 4.7 m instead of required 6.0 m from the property line. I cannot move back away from the property line because I am restricted by the existing retaining wall which is used to support the existing bank/steep slope at the rear of my property. I feel that this request is minor and that complying with the required 6.0 metre setback would cause me undue hardship due to the steeper terrain on my property and the supporting retaining wall which limits the flat/stable ground upon which I can build my desired garage.

Thank you for your consideration of my request.

Best Regards,

Alojzy (Alex) Walus

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To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 437 (Form and Character)
 Civic Address: 700 30 Street NE
 Owner/Applicant: TSL Developments Ltd. (Jordan Baer)

STAFF RECOMENDATION

THAT: Development Permit No. 437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 (700 – 30 Street NE) in accordance with the Development Permit drawings attached as APPENDIX 7;

AND THAT: Development Permit No. 437 vary Zoning Bylaw No. 2303 as follows:

- 1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as APPENDIX 7;**

AND FURTHER THAT: Issuance of Development Permit No. 437 be withheld subject to receipt of an Estimate and Irrevocable Letter of Credit (in the amount of 125% of the Estimate) for landscaping.

PROPOSAL

To review the Development Permit package attached as Appendix 7. The applicant is proposing a 4 building, 20 unit residential development. A letter from the applicant details the development proposal and is included at Appendix 5. Large drawings to scale are available for viewing in the Planning Department.

BACKGROUND

The subject property fronts 30 Street NE in the South Broadview area. The subject property is approximately 258.5 m² (1 ac) and is currently the site of a single family dwelling and small accessory building.

In September 2021 the subject property was rezoned from R1 (Single Family Residential) to R4 (Medium Density Residential Zone) in order to accommodate the development as shown in Appendix 7. The subject property is designated Residential Medium Density and is within the Urban Containment Boundary in the Official Community Plan (OCP) (see Appendices 1 to 4).

Adjacent Land Uses/Development:

North:	Single Family Residences	Zoned R1
South:	School and Church	Zoned P3
East:	School and Church	Zoned P3
West:	Single Family Residences	Zoned R1

The proposal includes four (4) buildings with five (5) units within each building for a total of twenty (20) units. The first storey units are approximately 125m² (1249ft²) and 138m² (1460ft²), the second storey units are approximately 115m² (1249ft²) and 135m² (1461ft²). The third storey units are approximately 226m² (2442ft²). The upper floor units of each building are accessible via elevators. Given the number of units,

thirty (30) parking spaces are required. Off-street parking is provided in a combination of single covered and uncovered parking spaces and six (6) tandem parking spaces adjacent to Building 3 and 4. The site plan shows a jogged internal strata road and as stated in the applicant letter this has been aligned in order to provide a safe intersection with 7 Avenue NE.

The building materials are proposed to be a combination of corrugated metal, stucco, glass and metal flashing. The metal flashing of each building is to be a different distinct colour providing colour variation between the buildings.

Designed by a Landscape Architect the proposed landscape plan shows eight (8) perimeter trees, lawn areas and a variety of shrubs. As noted in the applicant's letter, the landscape plan includes selection of Fire Smart trees and shrubs. The subject property will be enclosed by a 1.5m (5.0ft) white vinyl fence. It should be noted that the site also shows a garbage and recycling enclosure for the residents and designated snow removal areas. The applicant will address the location of a community mailbox with Canada Post and has considered appropriate locations that will be finalized at a later stage of development.

As noted in the recommendation, the proposal includes a variance request to reduce the required rear parcel in setback from 5.0m to 3.0m to accommodate Buildings 2 and 3. There are no other site plan related variances that are being requested.

COMMENTS

Building Department

No concerns.

Fire Department

No concerns.

Engineering Department

Comments provided by the Engineering Department are enclosed as Appendix 6. All off-site improvements will be addressed at the time of Building Permit. It should be noted that before the Public Hearing for the rezoning of the subject property from R1 (Single Family Residential) to R4 (Medium Density Residential) the owner/developer was required to complete a Traffic Impact Assessment (TIA) to determine the impact of the future traffic generated by the development onto 30 Street NE. After the TIA was complete the owner/developer contributed \$24,000.00 for the projected traffic generated by the development. The contribution is directed toward future improvements for the 7 Avenue NE and 30 Street NE intersection.

On-site requirements such as site grading and Stormwater control would be addressed at the time of Building Permit application.

Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 437 as presented."

In their discussion the panel noted their appreciation for the variety in building form and are favourable to the design presented.

Planning Department

Section 8.4 of the OCP outlines the development guidelines for residential areas. The design guidelines encourage varied building design with articulated rooflines, varied building materials and colour variation between multiple buildings. With regard to site planning, the design guidelines further encourage building massing that ensures the safe pedestrian and vehicular circulation within and around the proposed development.

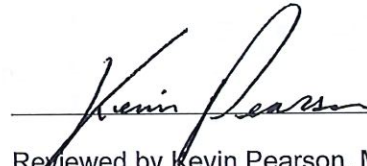
The location of the proposed multi-family development is in close proximity to schools, commercial services, recreational services and public transit – all objectives encouraged in the OCP. The proposed site and building design demonstrate the mix of residential housing type, density and varied multi-family development within the Urban Containment Boundary, also objectives encouraged in the OCP. Overall, the proposed development is consistent with the design guidelines of the OCP and staff support the development as proposed.

When considering the variance request to reduce the rear parcel line setback from 5.0m to 3.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s), site specific conditions and lot configuration.

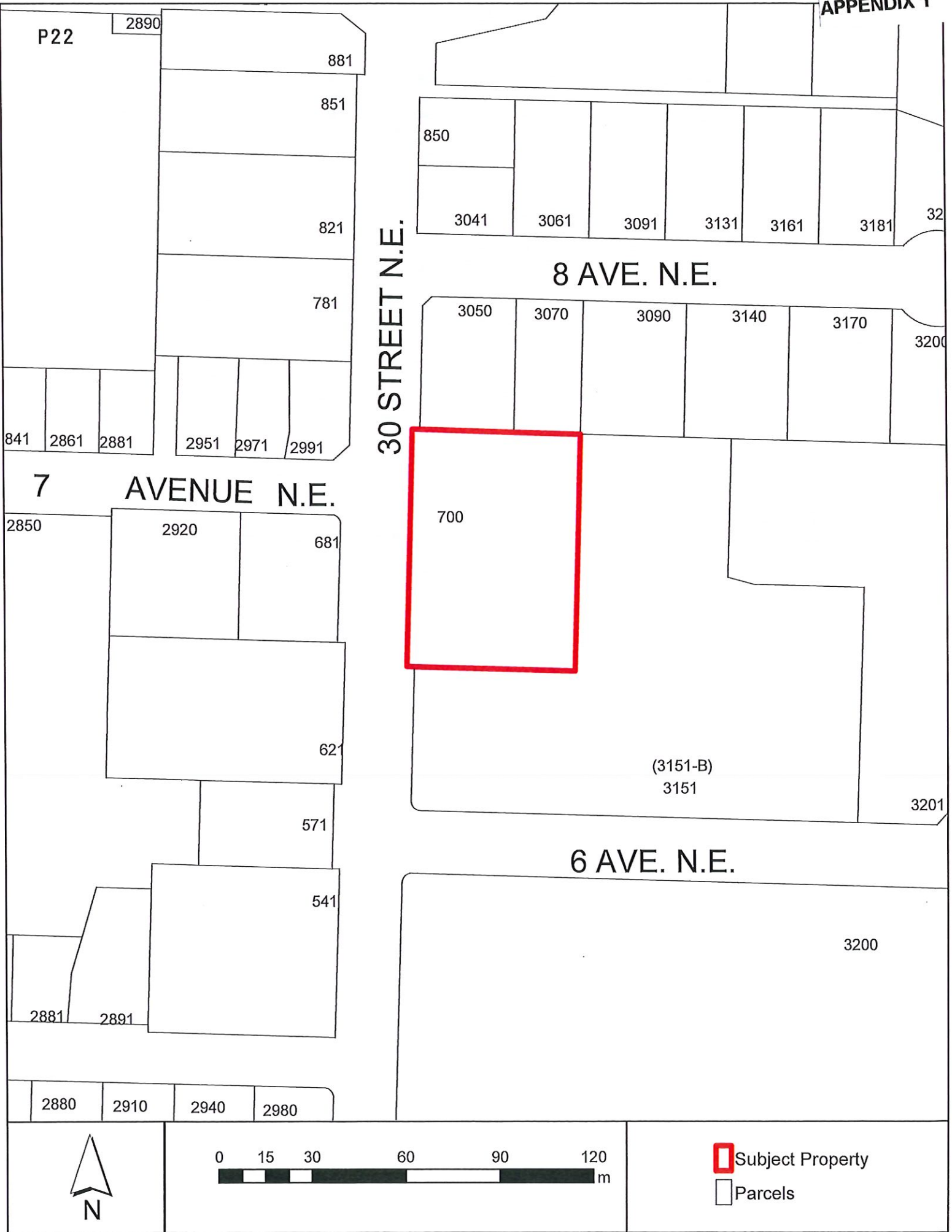
With regard to the proposed variance, the current use of the adjacent parcel to the east is designated in the OCP and zoned consistent with its current use as a church. Staff feel that the minor variance into the rear parcel line setback would not negatively impact existing or future use of the adjacent parcel. The proposed variance would allow for the buildings of the development to be of similar area and design. Should Council not support the variance the developer would have to consider options such as reducing the area of Buildings 2 and 3 or reducing internal driveway aisles or reducing the number of parking stalls to accommodate the buildings. Staff feel that the requested variance is minor and allows for a livable development and support the variance request.

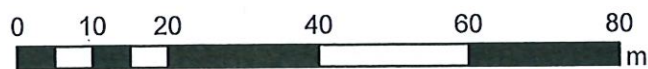


Prepared by Melinda Smyrl, MCIP, RPP
Planner



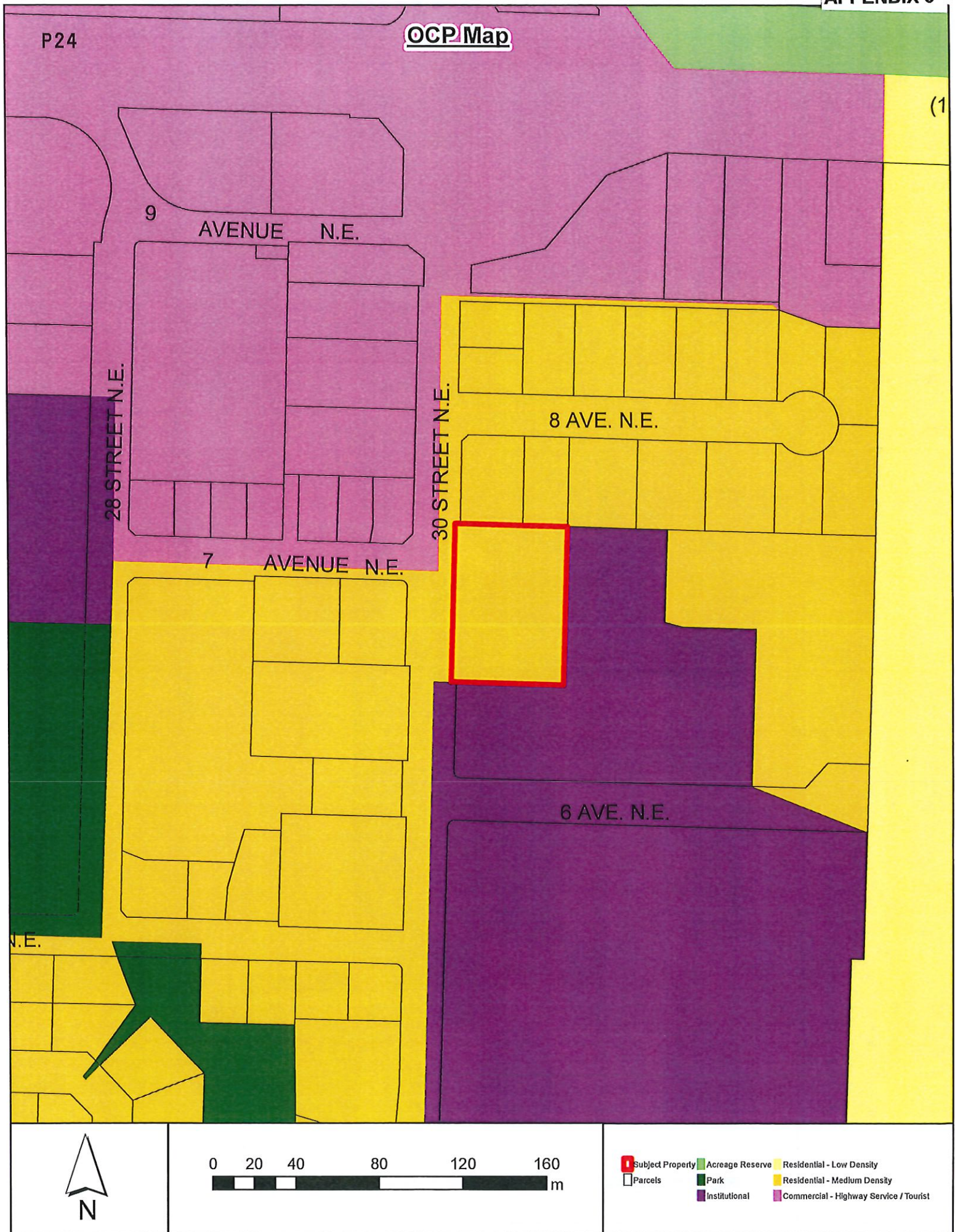
Reviewed by Kevin Pearson, MCIP, RPP
Director of Development Services





Ortho Photo Date: 2021

- Subject Property
- Parcels



Zoning Map

P25

(1)

9 AVENUE N.E.

28 STREET N.E.

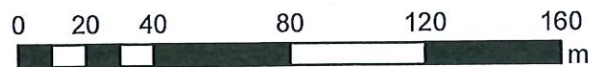
30 STREET N.E.

8 AVE. N.E.

7 AVENUE N.E.

6 AVE. N.E.

N.E.



- | | | | | |
|------------------|-----|-----|-----|-----|
| Subject Property | A-2 | C-5 | P-3 | R-4 |
| Parcels | C-3 | C-6 | R-1 | R-6 |
| | C-4 | P-1 | R-2 | R-8 |



MARC A. LAMERTON, Principal
Architect AIBC
B.A., MArch., LEED AP

January 03, 2022

To: *City of Salmon Arm
Development Services Department
Box 40, 500 – 2nd Avenue N.E.
Salmon Arm, BC, V1E 4N2*

Re: *Development Permit Application - Design Rationale for Proposed Residential Development
- Located at 700 – 30th Street NE, Salmon Arm, BC*

GENERAL PROJECT DESCRIPTION

The proposed development at the above noted address involves the construction of 20 dwelling units, contained within four multi-unit (5-Plex) buildings. The site is designated as 'Residential – Medium Density' in Salmon Arm's *Official Community Plan*, and is in the proximity of the uptown commercial area, schools, churches, the recreation center, arena, and Okanagan College.

The subject property is 0.4049 hectares (1.0 acre) in size and has been recently re-zoned to a R-4 (Medium Density Residential) Zone. The existing topography of the site is relatively flat, with a minor amount of cutting & filling required to create level building platforms for each of the structures.

DEVELOPMENT CHARACTERISTICS

As noted on the architectural Site Plan (drawing sheet A1.0) the project is proposing a single vehicle access point from 30th Street NE. At the request of Engineering Staff, the Developer has agreed to align this access point with 7th Avenue NE (on the west side of 30th) for increased traffic safety. Although this does not work as well from an internal vehicle circulation point-of-view, the design team was able to rotate the building footprints and allow for the revised access to travel into the center of the site, towards the parking & building entrances.

Because of this rotation (and the 2.4m road dedication along the west property line), there are two small triangular pieces on the east portions of Building 2 and Building 3 (see Site Plan, Note 6) that are subject to a Development Variance Request. For these portions of the building, the Developer is requesting a reduction in the Rear Yard Setback from the required 5.0m to 3.0m. The total area of the building portions beyond the 5.0m setback is 24sm, which represents only 3.1% of each of the two buildings that is requiring a Variance.

All of the required off-street parking (30 stalls) is provided on site through a combination of covered and uncovered surface parking, including the construction of a small, stand-alone carport structure (see drawing A6.1). The design of the Site Plan is intended to focus the parking on the center of the site – near the building entrances – while preserving the property perimeter for open areas, landscaping (see Landscape Plan), and winter snow storage.



MARC A. LAMERTON, Principal
 Architect AIBC
 B.A., M.Arch., LEED AP

The project proposes a density of 49.4 units per hectare, which is permitted in the R-4 zone with the provision of a special amenity (as per Section 9.11 – Table 2) of the Zoning Bylaw. The Developer is committed to providing 6 suites that will include accommodation for accessibility needs. These features will incorporate elements such as: designated parking, building elevators, accessible door sizes within units, extra width in bedroom spaces for wheelchair access, universal fixtures and roll-in showers in washrooms. The detailed design of the accessible suites will be provided in the Building Permit drawings for each building, and will reference such standards as 'CSA B651-04 Accessible Design for the Built Environment', 'ADA Standards for Accessible Design', 'BC Accessibility Handbook 2020', and the related sections of the 2018 BC Building Code.

BUILDING DESIGN

The general approach for the building design is envisioned to reflect the City of Salmon Arm design guidelines for residential Development Permit zones, keeping in mind the existing context of dwellings to the north and the mixture of institutional (primarily schools & churches) and residential uses along 30th Street NE. The buildings feature a flat-roof strategy (intended to keep overall building height down), with clean, contemporary forms. The building exteriors include a mixture of cladding materials – largely stucco finish (in a light, warm grey), with areas of metal cladding (charcoal grey), and cement fiberboard siding. The colour of the cement fiberboard siding will vary between each building, providing further interest and some distinction between the structures. (See drawing sheets A5.1 and A5.2 for building renderings).

Landscaping is proposed as per the OCP guidelines, with emphasis on providing an appealing street frontage and planting around the project entrance and the site perimeter. Solid, white fencing – 5' high – is proposed around the property's north, east, and south sides. The principals for 'Fire Smart' landscaping are kept in mind by careful plant & tree selection and minimizing planting within 1.5m of structures. The Developer has also included some provisions for landscape areas that will be suitable for snow storage during the winter months.

CONCLUSION

The project team is very excited about moving on to the next phase of this development and we look forward to working with City Staff, Council, and members of the public to offer additional housing options in our community.

Should you have any questions regarding the proposed development, please do not hesitate to contact me.

Yours very truly,

A handwritten signature in black ink, appearing to read "Marc Lamerton", written over a horizontal line.

Marc Lamerton, Architect AIBC
 B.A., M.Arch., LEED AP



*Memorandum from the
Engineering and Public
Works Department*

TO:	Kevin Pearson, Director of Development Services
DATE:	January 7, 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	TSL Developments Ltd
SUBJECT:	DEVELOPMENT PERMIT AMENDMENT APPLICATION No. DP- 437
LEGAL:	Lot 2, Section 18, Township 20, Range 8, W6M, KDYD, Plan 26408, Except Plan 28836
CIVIC:	700 – 30 St NE

Further to your referral dated January 7, 2022, we provide the following servicing information.

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of development, the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the

SUBDIVISION APPLICATION FILE: DP-437

January 07, 2022

Page 2

requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.

10. For the off-site improvements at the time of development the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of development approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 30 Street NE, on the subject properties western boundary, is designated as an Urban Arterial Road standard, with an ultimate 25.0m road dedication (12.5m on either side of road centerline). Although the City only requires an interim total of 20.0m of road dedication (10.0m on either side of road centerline) at this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. Available records indicate that no additional road dedication is required (to be confirmed by BCLS), however the City will require a statutory right of way for an additional 2.5m beyond the current road dedication for the construction of a multi-use path, to be constructed at the applicant/developers cost.
2. 30 Street NE is currently constructed to an Interim Urban Arterial Road standard. Upgrading to the current Urban Interim Arterial Road standard is required, in accordance with Specification Drawing No. RD-4 (revised). Upgrading may include, but is not limited to curb & gutter, offset multi-use path, underground Telus and Shaw and street lighting. Owner / Developer is responsible for all associated costs.
3. As 30 Street NE is designated as an Arterial Road, accesses shall be designed by keeping to a minimum number and located in the safest location. Only one driveway access will be permitted, the existing driveway shall be removed. Owner / Developer responsible for all associated costs.
4. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
5. Consideration within the property shall be given to snow storage. No snow will be permitted to be pushed onto or across 30 Street NE.

SUBDIVISION APPLICATION FILE: DP-437

January 07, 2022

Page 3

Water:

1. The subject property fronts a 200mm diameter Zone 4 watermain on 30 Street NE. No upgrades will be required at this time.
2. The proposed development is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 19mm service from the 200mm diameter watermain on 30 Street NE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. Bare Land Strata developments with ground oriented access have the option of a bulk water meter installed at property line at time of subdivision with invoicing to the Strata Corporation or individual strata lot metering with invoicing to each strata lot (currently on an annual flat rate). To qualify for the second option each unit requires a separate outside water service shut-off connected to the onsite private water main. Contact Engineering Department for more information. All meters will be provided at time of building permit by the City, at the owner/developers cost.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012)..
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property is serviced by a 150mm diameter sanitary sewer that terminates at a manhole in the south west corner of the property. Since this is the head of the run, subject to item 2, no further upgrades will be required at this time. However, a 6m wide right of way for the existing sewer and manhole is required
2. The development is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary manhole in the south west corner of the property. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

SUBDIVISION APPLICATION FILE: DP-437

January 07, 2022

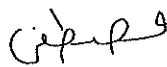
Page 4

Drainage:

1. The subject property is serviced by a 200mm diameter storm sewer that terminates at a manhole in the south west corner of the property. No upgrades will be required at this time, however, a 6m wide right of way for the existing sewer and manhole is required
2. Records indicate that the existing property is not serviced by a storm service. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

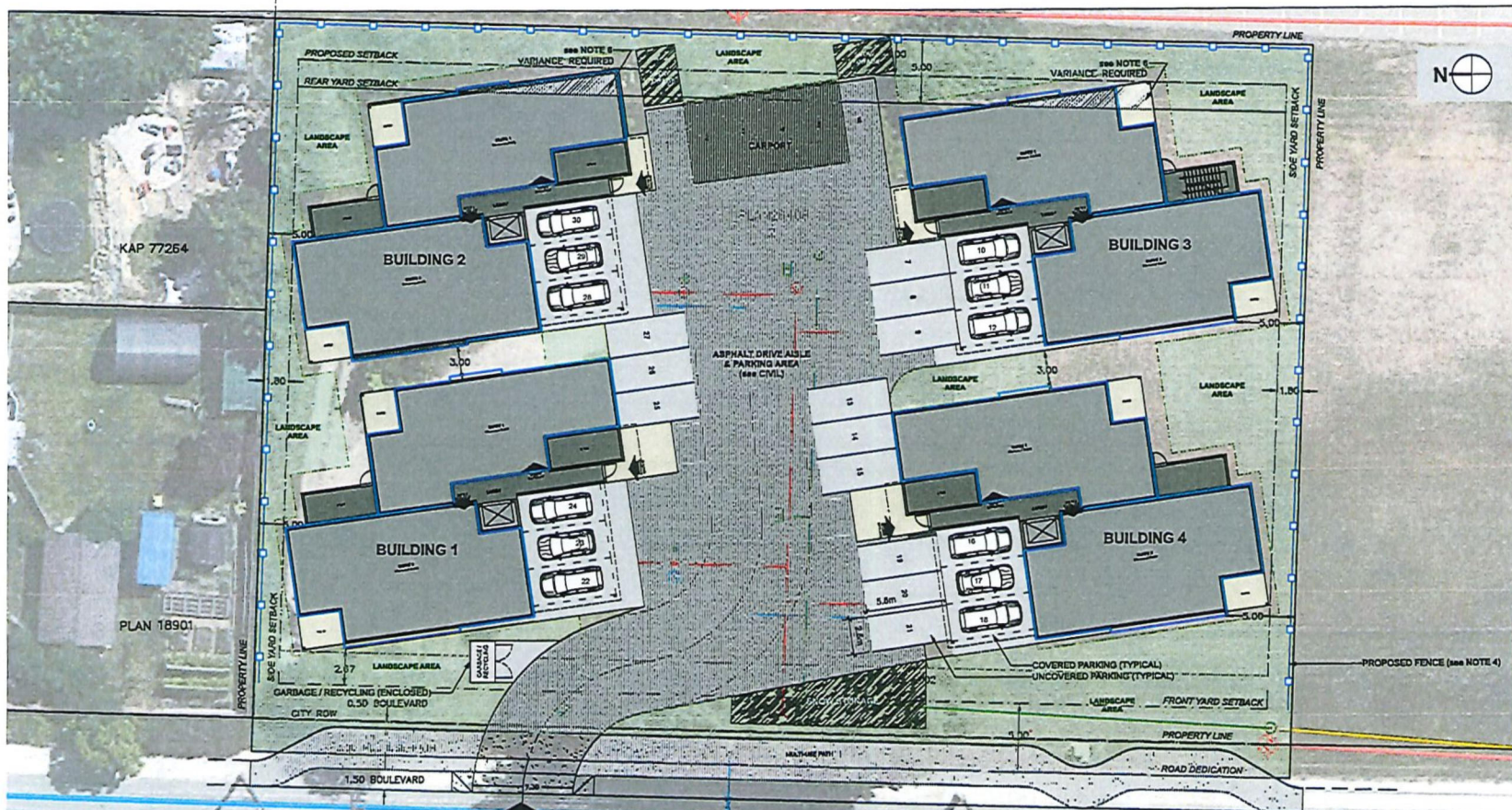
1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design).



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng., LEED® AP
City Engineer



SITE PLAN NOTES

1. See Civil drawings for site servicing and grading information.
2. See Landscape drawings (and Plant List) for landscape designs.
3. Exact alignment of unit driveways and walkways to be determined.
4. Developers to provide 5' solid fence (white vinyl).
5. Landscape grass area to be used for winter snow storage (typical).
6. Portion of building related to Variance Request.

DEVELOPMENT INFO

CIVIC ADDRESS: 700, 30th Street NE, Salmon Arm, BC
 PARCEL IDENTIFIER (PID): 002-015-421
 LEGAL DESCRIPTION:
 Lot 2 Section 18 Township 29 Range 9 W6M KDVD
 Plan 25408 (except Plan 25838)
 LOT SIZE:
 Total Property = 4,045.1m (1.00 acre)
 ZONING:
 Medium Density Residential (R-4)
 - Multi-Family Dwellings (Permitted)
 DENSITY:
 Allowable = 40 dwelling units per hectare
 (15.2 dwelling units per acre)
 0.4045 ha (1.00 acres) @ 40 units/hectare = 16 Units
 6 of the project units will provide for occupants with Accessibility needs (provisions to be detailed in the Building Permit application drawings), therefore density increased to = 21 Units
 (as per Table 2 in Section 9 of the City of Salmon Arm Zoning Bylaw)
 Proposed = 20 Units
 SITE COVERAGE:
 Allowable = 55.0%
 Proposed = 38.4%

PARKING:

Dwelling Units: 20 Units
 Parking Spaces Per Unit: 1.5
 Total Stalls Required: 30 Stalls
 Total Proposed Stalls:
 Surface - Covered: 16 Stalls
 Surface - Uncovered: 14 Stalls
 Total: 30 Stalls

REQUIRED SETBACKS:

Front Yard: 5.0m (16.4ft)
 Rear Yard: 5.0m (16.4ft)
 Proposed = 3.0m Variance Required
 Side Yard: 1.5m (5.0ft)
 Minimum Separation between Residential Buildings:
 More than 1 Storey = 3.0m (9.8ft)
 MAXIMUM HEIGHT:
 Permitted = 13.0m (42.65ft)
 as per Section 9.4 & Section 9, Table 2
 of the City of Salmon Arm Zoning Bylaw
 Proposed = see Elevations

PRELIMINARY BUILDING CODE ANALYSIS:

(Per individual building)
 Building Area: 403.30m (4,342sf)
 Gross Floor Area:
 Ground Floor = 403.30m (4,342sf)
 Second Floor = 399.95m (4,292sf)
 TOTAL = 799.35m (8,604sf)
 Building Height: 3 Storeys (plus Basement)
 Streets Facing: 1 Street
 Fire Suppression: Non-Sprinklered
 Construction Type: Combustible & Non-Combustible
 Major Occupancies (Multiple): Group C - Residential
 Applicable Building Code: 2018 BC Building Code - Part 9
 Required Fire Separations:
 Between Group C and other Major Occupancies = 1 Hour Fire Resistance Rating - as per S.10.5.11(1)
 Exit = 1 Hour Fire Resistance Rating - as per S.9.4.2(1)(a)
 Between Residential Units = 45 Minute Fire Resistance Rating - as per S.10.5.14(1)
 Public Corridor = 45 Minute Fire Resistance Rating - as per S.10.5.15(1)
 Service Rooms containing Fuel-Fired Appliances = 1 Hour Fire Resistance Rating - as per S.10.10.4(1)
 Storage Rooms = 1 Hour Fire Resistance Rating - as per S.10.10.2(1)
 Required Fire Resistance Ratings:
 Floors = 1 Hour - as per Table S.10.5.1 and S.10.5.11(1)
 Loadbearing Walls, Columns = 1 Hour - as per Table S.10.5.1 and S.10.5.11(1)
 Roof = 45 Minutes - as per Table S.10.5.1

ISSUE DATE

Development Name: _____
 Date: Dec. 14, 2021

DRAWN BY: P.L.C.

DATE: December 2021
 SCALE: as noted



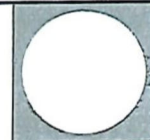
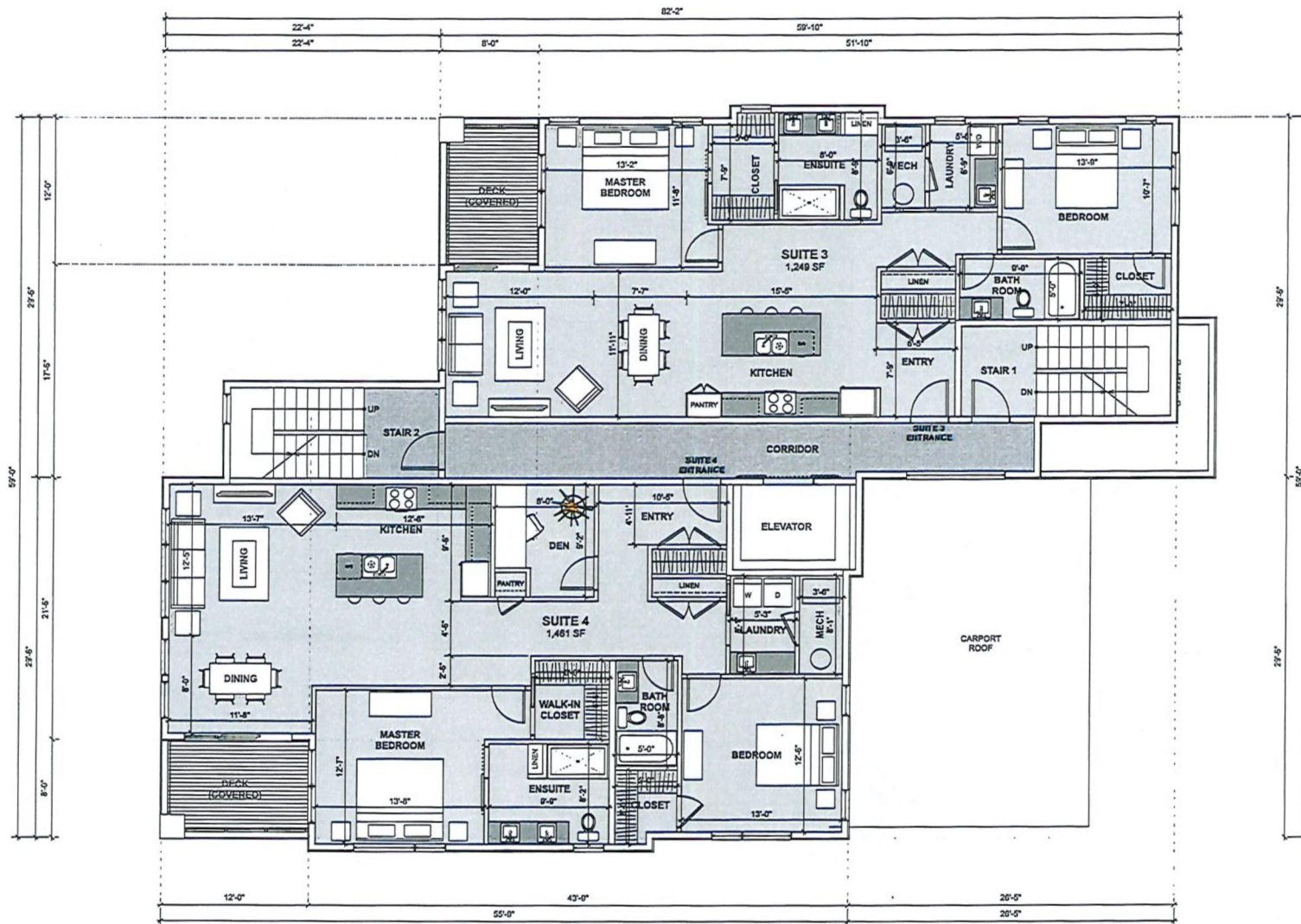
4105 - 4th ST NE
 PO BOX 3330
 SALMON ARM, BC V1E 4B3
 Marc Lamontagne/Architect ABC
 T 250-815-4961
 E marc@avexarchitecture.ca
 W www.avexarchitecture.ca

PROJECT: 20-019
 30th Street NE
 Residential
 Development

700 - 30th Street NE
 Salmon Arm, BC
 DRAWING TITLE:
 SITE PLAN
 DEVELOPMENT
 INFO & BUILDING
 CODE ANALYSIS

DRAWING NO:

A1.0



Professional Engineer's Seal

ISSUE DATE

Development Phase Date: Dec. 11, 2021

DRAWN BY: HLC

DATE: December 2021

SCALE: 1/4" = 1'-0"



4168 - 14th ST. NE
PO BOX 2350
SALMON ARM, BC V1E 4R3
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T 250-515-4001
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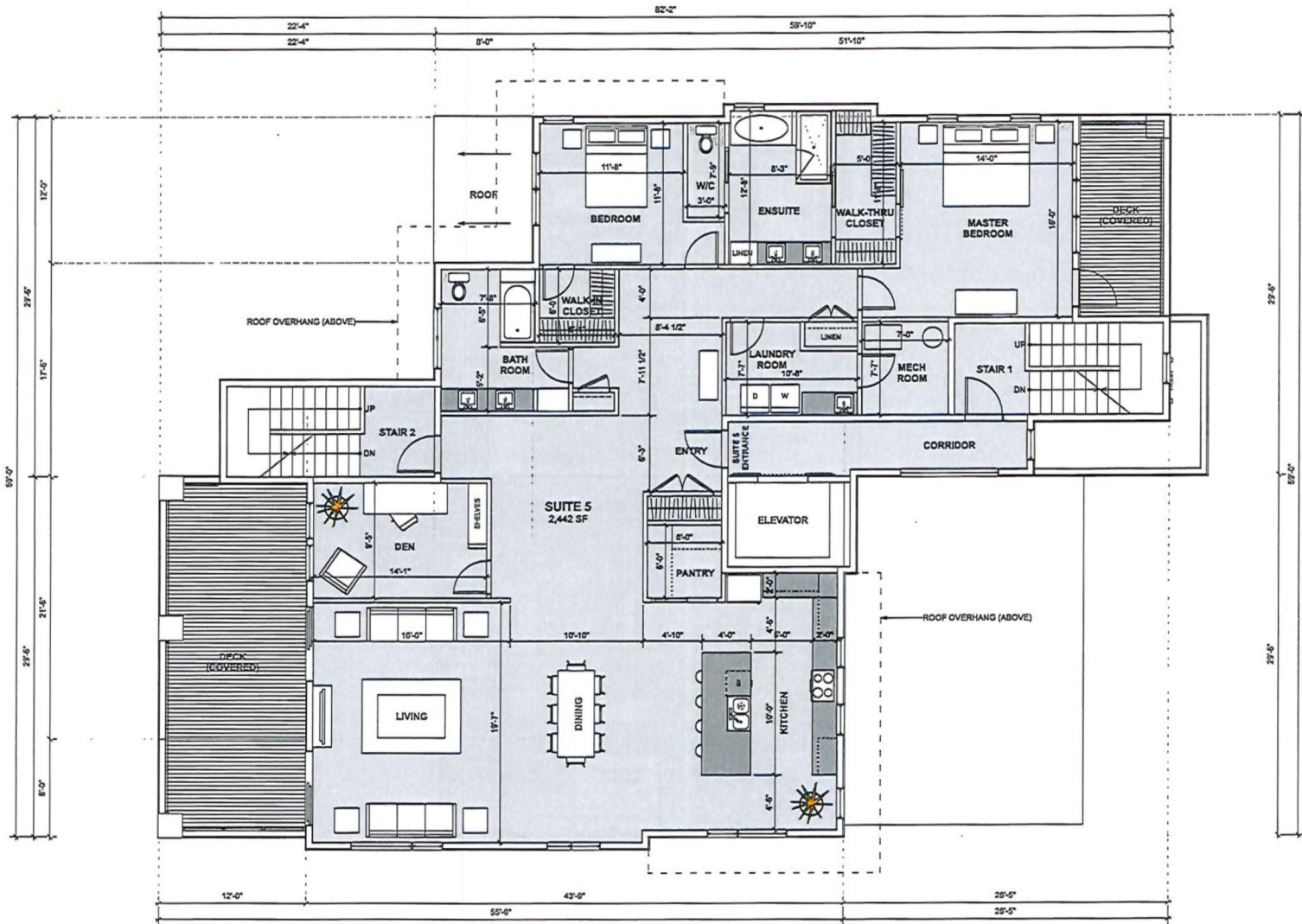
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30th Street NE
Residential
Development

700-30th Street NE,
Salmon Arm, BC

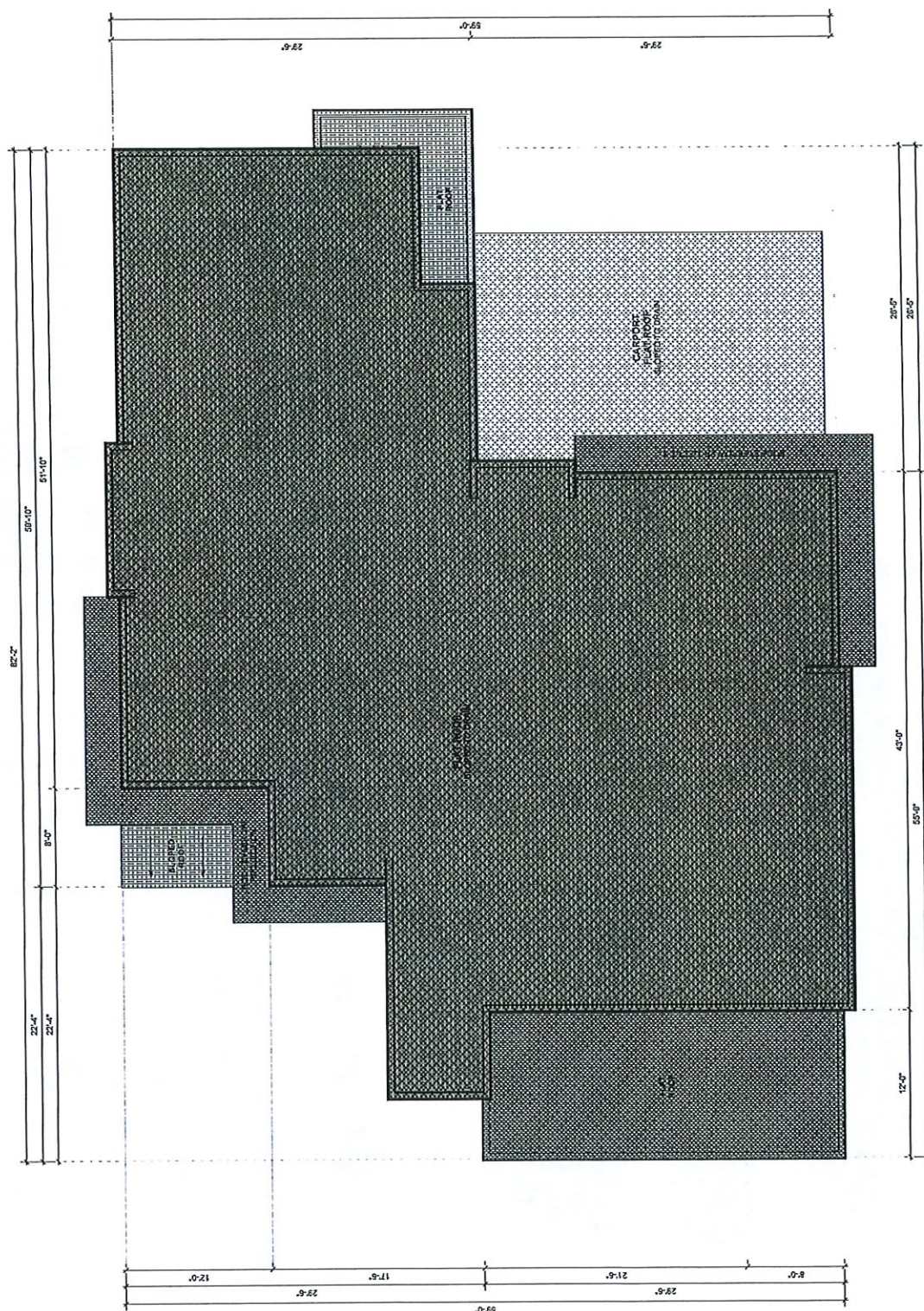
DRAWING TITLE:
SECOND
FLOOR PLAN

DRAWING NO:

A2.3

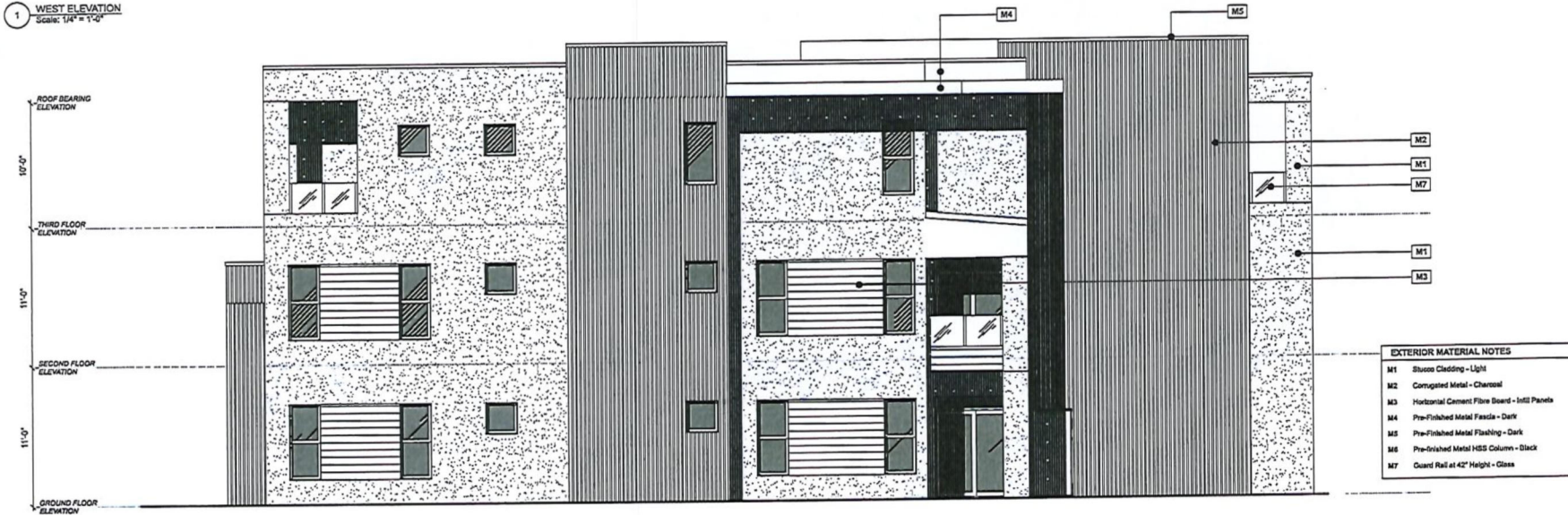


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<p>Development Phase</p> <p>Dec 11, 2021</p>	
<p>DRAWN BY: P.L.C.</p>	
<p>DATE: December 2021</p>	
<p>SCALE: 1/4" = 1'-0"</p>	
<p>AVEX ARCHITECTURE</p>	
<p>4148 - 49th Street PO Box 2350 Salmon Arm, BC V1E 4R2 Phone: 250-555-4551 Fax: 250-555-4552 Email: info@avexarchitects.com Web: www.avexarchitects.com</p>	
<p>PROJECT: 25-018 30th Street NE Residential Development</p>	
<p>700-30th Street NE Salmon Arm, BC DRAWING TITLE: THIRD FLOOR PLAN</p>	
<p>DRAWING NO: A2.4</p>	





1 WEST ELEVATION
Scale: 1/4" = 1'-0"



2 EAST ELEVATION
Scale: 1/4" = 1'-0"



ISSUE DATE
Drawn: (Date) (Date)

DRAWN BY: MLC
DATE: December 2021
SCALE: 1/4" = 1'-0"



4103 - 4th ST NE
PO BOX 3300
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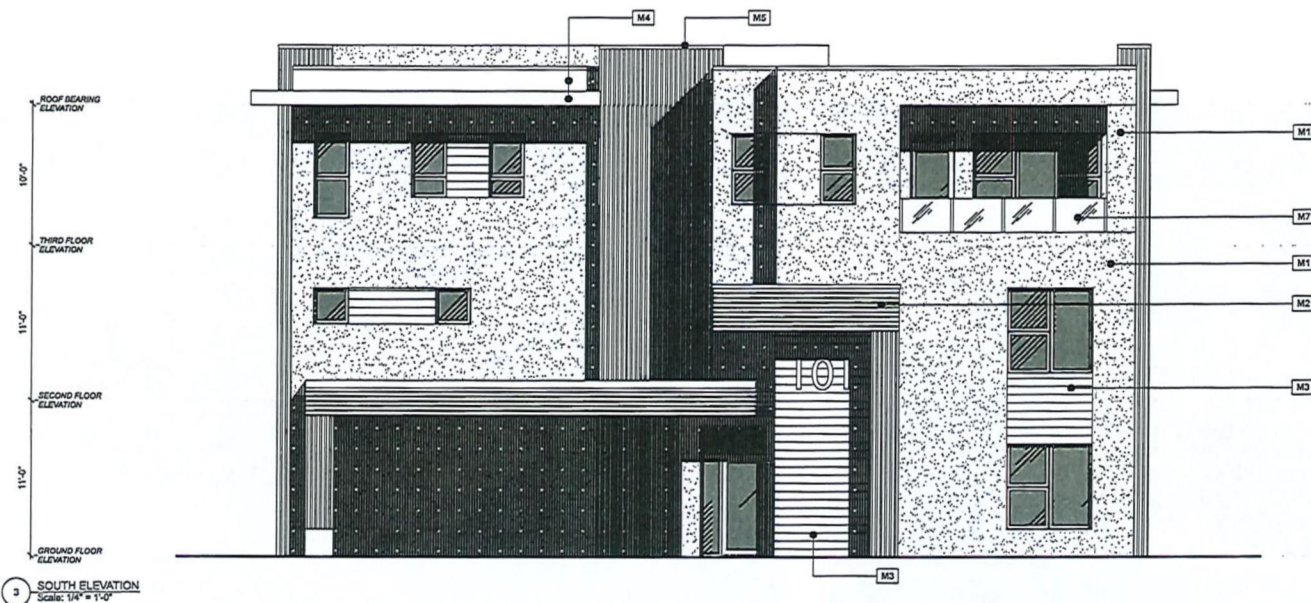
PROJECT: 20-019
30th Street NE
Residential Development

700-30th Street NE
Salmon Arm, BC

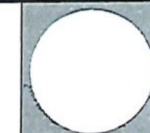
DRAWING TITLE:
ELEVATIONS

DRAWING NO:

A3.1



EXTERIOR MATERIAL NOTES	
M1	Stucco Cladding - Light
M2	Corrugated Metal - Charcoal
M3	Horizontal Cement Fibre Board - Infill Panels
M4	Pre-Finished Metal Fascia - Dark
M5	Pre-Finished Metal Flashing - Dark
M6	Pre-Finished Metal HSS Column - Black
M7	Guard Rail at 42" Height - Glass



AVEX
ARCHITECTURE

ISSUE	DATE
Development Permit	Dec. 14, 2021

DRAWN BY: HLC
DATE: December 2021
SCALE: 1/4" = 1'-0"



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PROJECT: 25-019
30th Street NE
Residential
Development

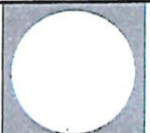
700-30th Street NE
Salmon Arm, BC

DRAWING TITLE:
ELEVATIONS

DRAWING NO:

A3.2

EXTERIOR 3D VIEWS



UNIVERSITY OF BRITISH COLUMBIA

ISSUE DATE

Development Permit Dec. 14, 2021

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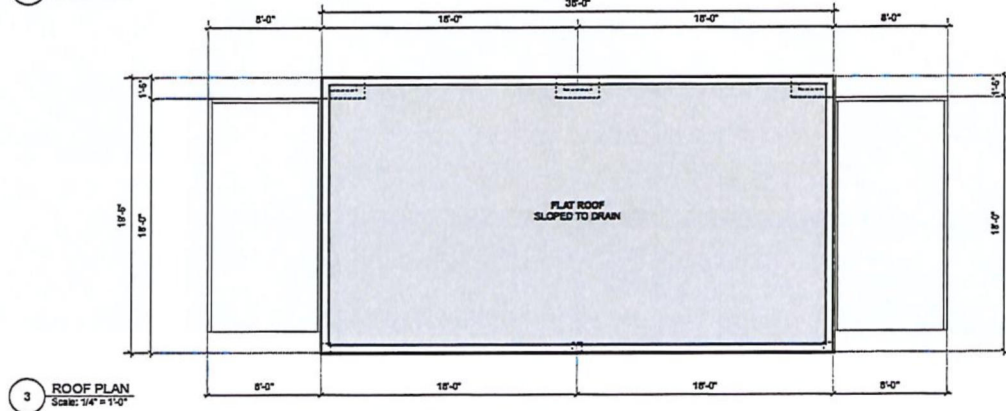
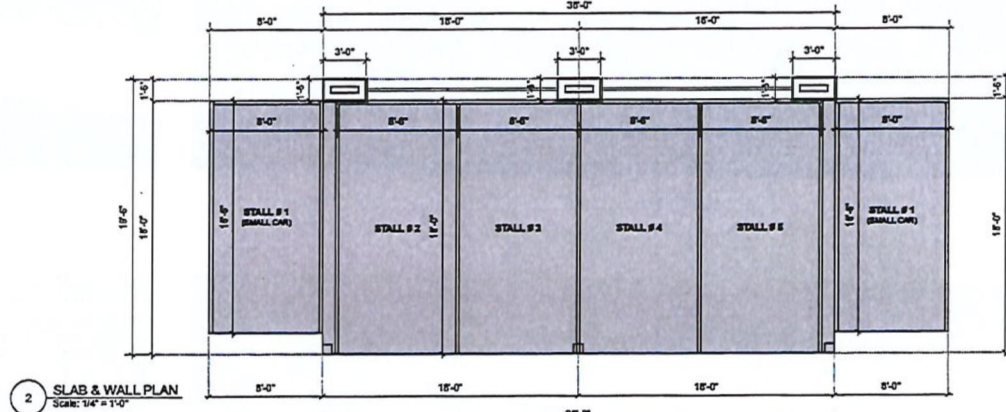
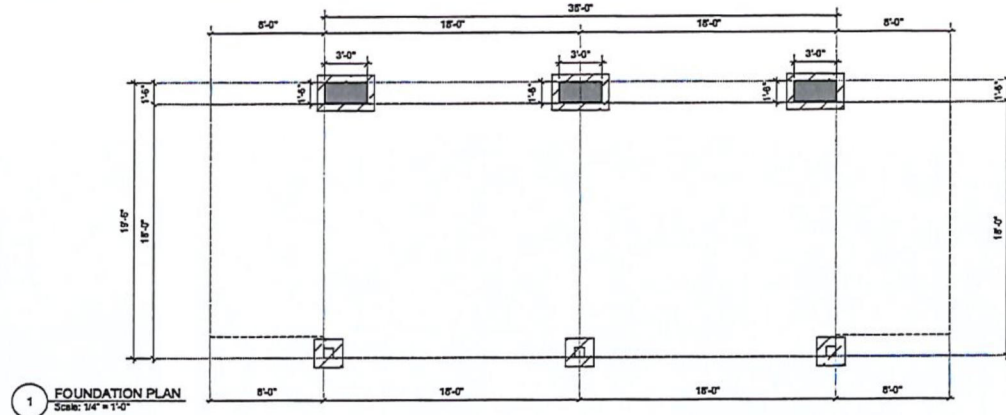
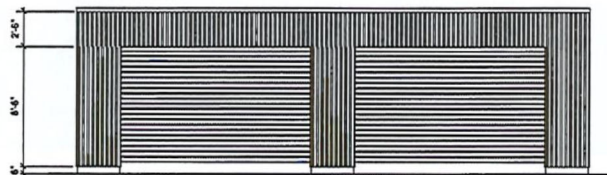
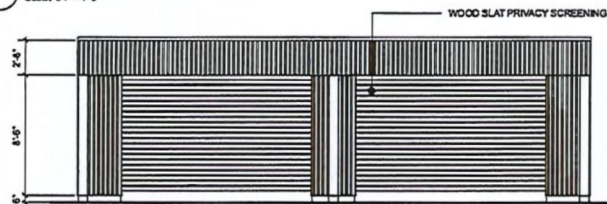
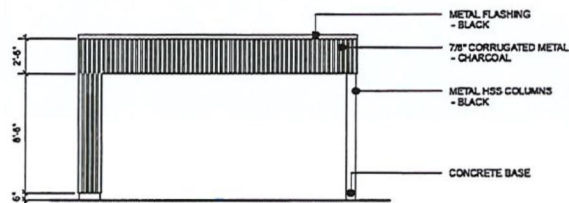
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30TH STREET N.E.
CARPORT DESIGN

[illegible]

DRAWN BY:	MLC
DATE:	October 2023
SCALE:	1/4"=1'-0"



4148 - 4th ST. NE
PO BOX 3300
SALMON ARM, BC, V1E 4R3
Marc Lemmon, Architect AIBC
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E marc@marclemmon.com
W www.marclemmon.com

**30TH STREET NE DEVELOPMENT****14 DECEMBER 2021**

QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
1	Corylus avellana 'Contorta'	Contorted Hazelnut	#5 pot
8	Quercus palustris	Pin Oak	7cm cal
SHRUBS			
22	Berberis thunbergii 'Sunsation'	Sunsation Japanese Barberry	#2 pot
53	Berberis thunbergii 'Gentry'	Royal Burgundy Japanese Barberry	#2 pot
13	Cornus alba 'Baton Rouge'	Baton Rouge Dogwood	#2 pot
28	Cornus sericea 'Kelseyil'	Kelsey Dogwood	#2 pot
6	Euonymus alatus 'Compacta'	Dwarf Winged Burning Bush	#2 pot
7	Hydrangea paniculata 'Bombshell'	Bombshell Panicle Hydrangea	#2 pot
5	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#1 pot
19	Rosa Canadian Artist 'Emily Carr'	Emily Carr Rose	#2 pot
7	Sorbaria sorbifolia 'Sem'	False Spirea	#2 pot
16	Spiraea betulifolia 'Glo Girl'	Glo Girl Birch-Leaf Spirea	#2 pot
25	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	#2 pot

No substitutions without written permission of the Landscape Architect.

To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 439 (Form and Character)
 Civic Address: 2430 10 Avenue (TCH) SW
 Owner/Applicant: Bremmvic Holdings Ltd. (William Laird)

STAFF RECOMENDATION

THAT: Development Permit No. 439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481, Except Plans H401 and EPP70085 (2430 10 Avenue (TCH) SW) in accordance with the Development Permit drawings attached as APPENDIX 7;

AND THAT: Development Permit No. 439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;
2. Section 17.9.3 - Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;

AND FURTHER THAT: Issuance of Development Permit No. 439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Lot Rem Lot 14 on the drawings attached as Appendix 6.

PROPOSAL

To review the Development Permit package attached as Appendix 7. The applicant is proposing to construct a commercial storage building along a proposed property line. A letter provided by the applicant is included as Appendix 5.

BACKGROUND

The subject property is located in the highway commercial area on the west side of the City (see Appendix 1 and 2). The subject property is split designated in the Official Community Plan (OCP) as Salmon Valley Agriculture and Highway Commercial (see Appendix 3) and is split zoned A1 (Agriculture Zone) and C3 (Service Commercial Zone) (see Appendix 4). The southern portion of the lot is within the Agriculture Land Reserve (ALR). Approximately 3.8ha (9.4ac) in area.

Adjacent Land Uses/Development:

North:	Trans Canada Highway & Highway Commercial Development	Zoned C3/C5
South:	Agriculture	Zoned A1
East:	Highway Commercial & Agriculture	Zoned C3/A1
West:	Highway Commercial & Agriculture	Zoned C3/A1

P46

The subject property is currently under subdivision application to establish two lots divided along the ALR, zoning and OCP boundaries with panhandle access from 10 Avenue (TCH) SW to the south portion of the property (proposed Rem Lot 14). The proposed subdivision site plan is attached as Appendix 6. A Preliminary Layout Review letter (PLR) supporting the tow lot subdivision was issued by the Approving Officer on September 14, 2021.

Known as the "Rona" site the subject commercial area operated as the building supply store until 2020 when the operation closed. It is slated to reopen as the same building supply chain store under new ownership. Under previous ownership the City was working to address the encroachment of some storage buildings into ALR land and did not achieve compliance until new ownership. The proposed development includes the removal of some existing storage buildings that are not compliant with ALR or City regulations and replacing those buildings with a single larger storage building and retaining an existing accessory building along the (future) parcel boundary along the (proposed) rear parcel line and the (proposed) interior parcel line. A detailed site plan is included as Appendix 7. For the proposed two lot subdivision to be approved the proposed and existing building must be compliant with the setbacks of the Zoning Bylaw or an issued Development Variance Permit. In this case, since the larger storage building along the (proposed) rear parcel line requires the issuance of a Development Permit, the variances have been included to streamline the development process.

The building materials of the proposed storage building are a combination of corrugated metal and wood. The drawings submitted in support of the application are enclosed as Appendix 7.

COMMENTS

Building Department

No concerns.

Fire Department

No concerns.

Engineering Department

In response to the Development Permit and variance request, the Engineering Department noted concerns with the sloping roof of the proposed new building citing that surface water shall be retained on site and shall not be allowed to discharge onto the adjacent property. Staff feel that the registration of an easement over the area of stormwater discharge on the adjacent parcel (proposed Rem Lot 14) would address these concerns as the proposed Lot 1, under the easement agreement, would have continued access and the responsibility to address stormwater discharge into perpetuity, minimizing negative impact on the adjacent parcel. Easements and covenants are commonly used legal tools that identify and address responsibilities of neighbouring land owners in similar scenarios.

Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 439 as presented."

In their discussion the panel noted while the issue of stormwater discharge is beyond the scope of their purpose concerns were highlighted. In addition the panel commented that the re-opening of the retail store is welcome as is the recent clean up of the site and the efforts to bring the development into compliance with the City's bylaws.

Planning Department

The OCP requires the issuance of a Development Permit for accessory buildings in the Highway Service/Tourist Commercial Development Permit Area that are greater than 100m². This is to ensure that buildings are consistent with Development Permit design guidelines and is an opportunity to review and address any issues with internal traffic circulation, site access and site egress.

When considering the variance request to reduce the rear and interior parcel line setback from 1.0m to 0.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s) and site specific conditions.

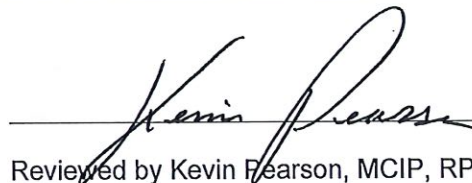
With regard to the proposed variance request, the current use of the portion of land to the south is designated in the OCP and zoned consistent with its current use as agricultural land. Staff feel that the proposed building would act as a physical boundary replicating a legal and regulatory boundary and would act to protect the ALR land to the south from encroachments of the commercial development. Further, the placement of the proposed storage building allows for internal traffic circulation on the commercial site to accommodate the larger scale trucks and traffic that are typical in a commercial building supply yard. The registration of an easement agreement between the (proposed) lots addresses the stormwater discharge and responsibilities without involving City staff or resources. The proposed building is in keeping with the general form and character of the commercial site. Staff are supportive of the Development Permit and variance requests.

Should Council not support the variance the developer would have to consider options such as reducing the area of the proposed building and relocating or removing the existing accessory building along the (proposed) panhandle. This may result in unstructured or informal outdoor storage.

It should be noted that subdivisions along the ALR boundary do not require ALC approval should the Approving Officer considers the subdivision beneficial to farm production. Therefore, the applicant did not have to make a separate subdivision application to the ALC for the proposed two lot subdivision. In this scenario subdividing the ALR portion from the commercial portion of the property, and further demarcating the regulatory boundary by the placement of an accessory building, ensures that encroachments into the ALR and agriculturally productive land(s) from the commercial land would be minimized.



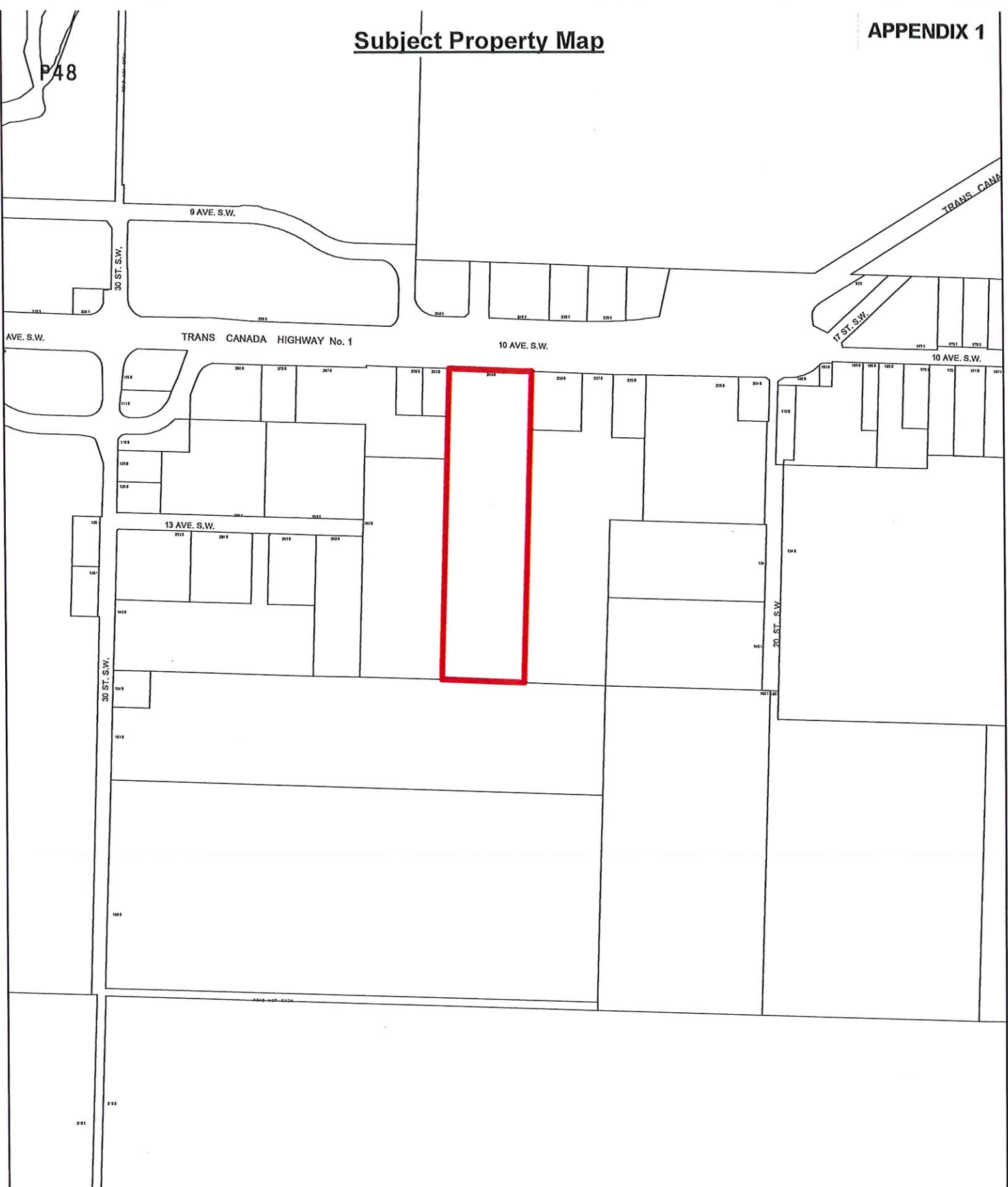
Prepared by Melinda Smyrl, MCIP, RPP
Planner



Reviewed by Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1

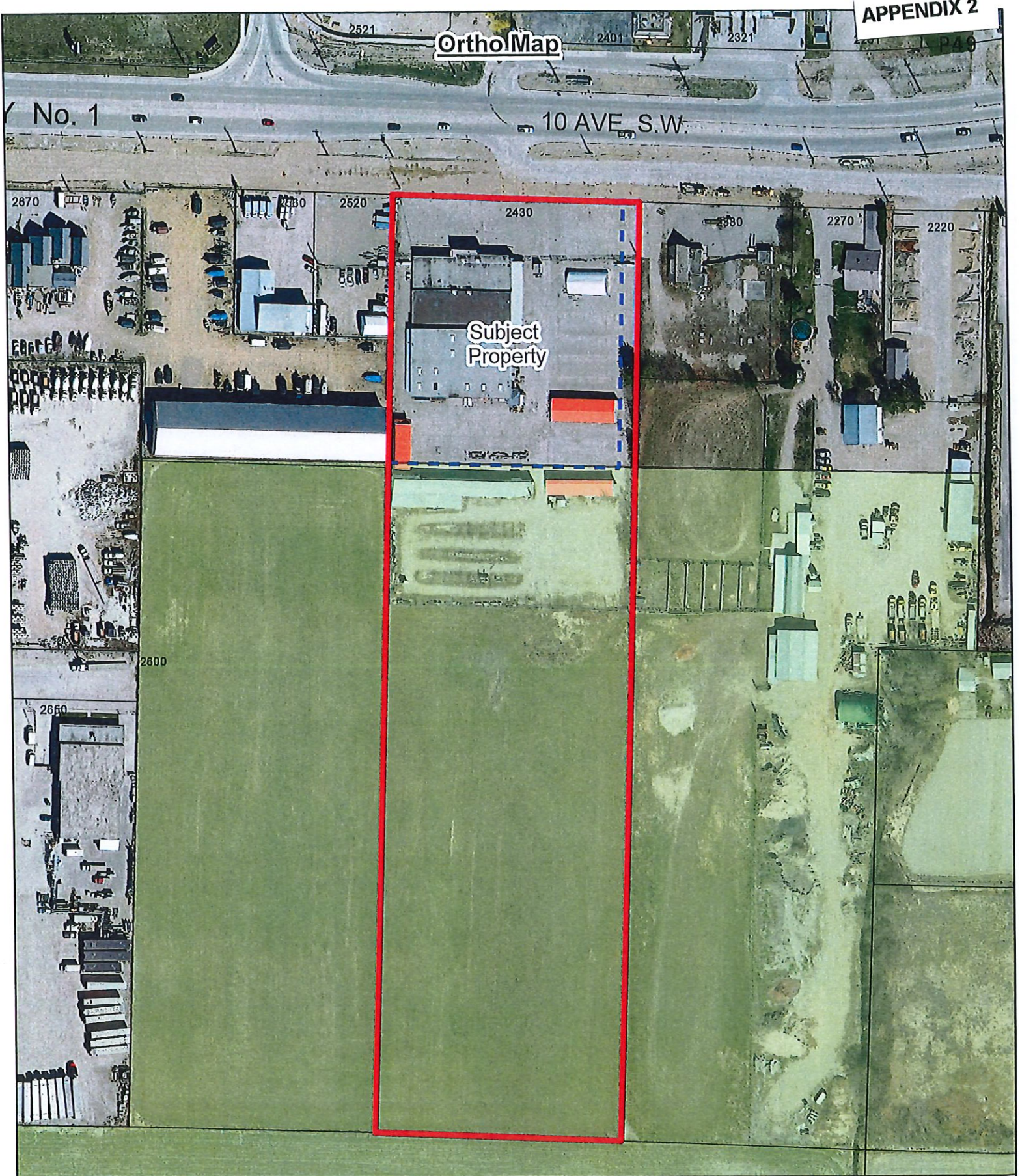


Subject Property

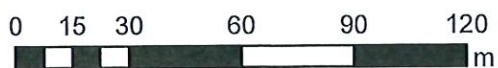


Parcels

Ortho Map



Subject Property



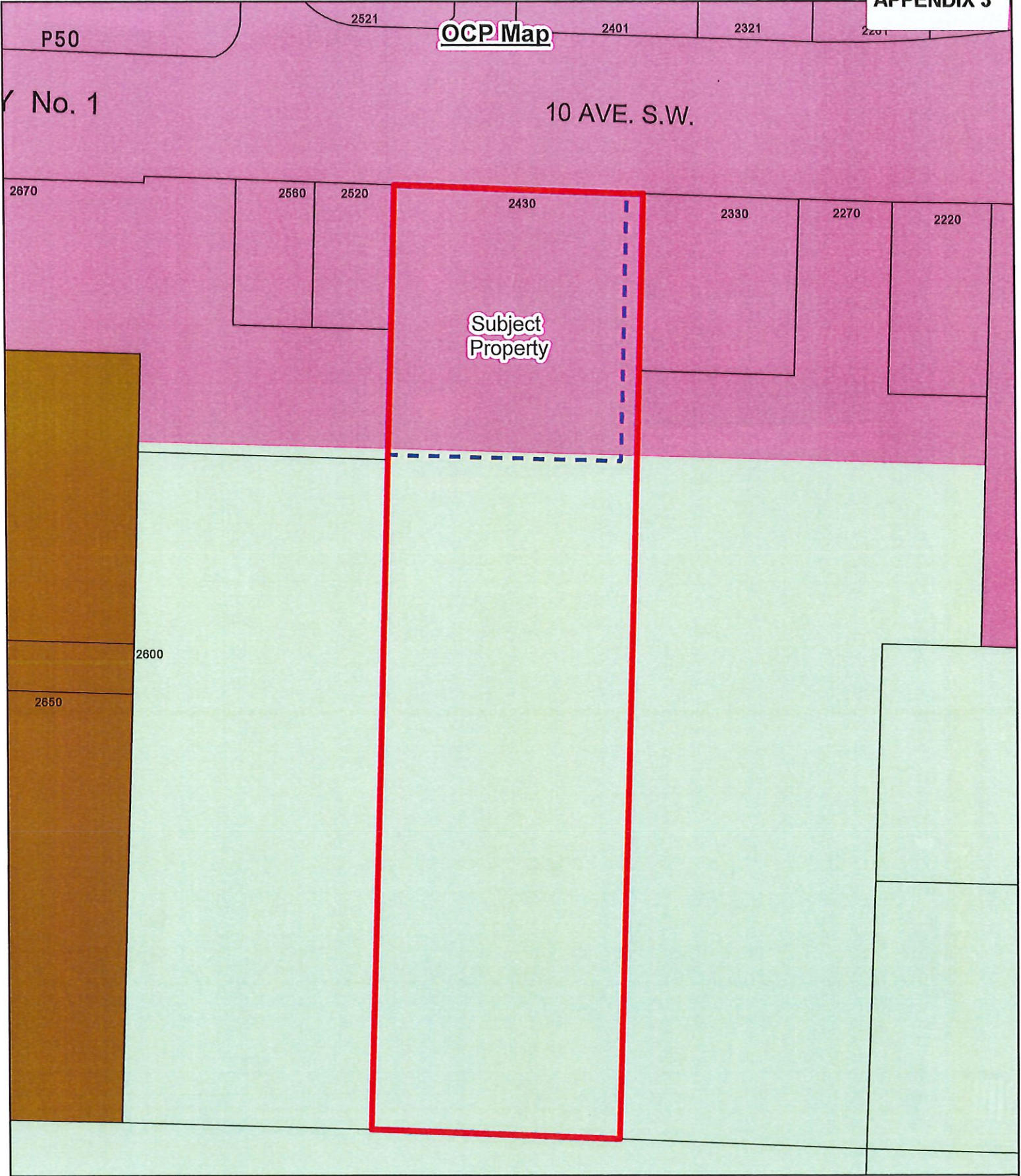
Subject Property



Proposed Subdivision (see SUB 21.17)

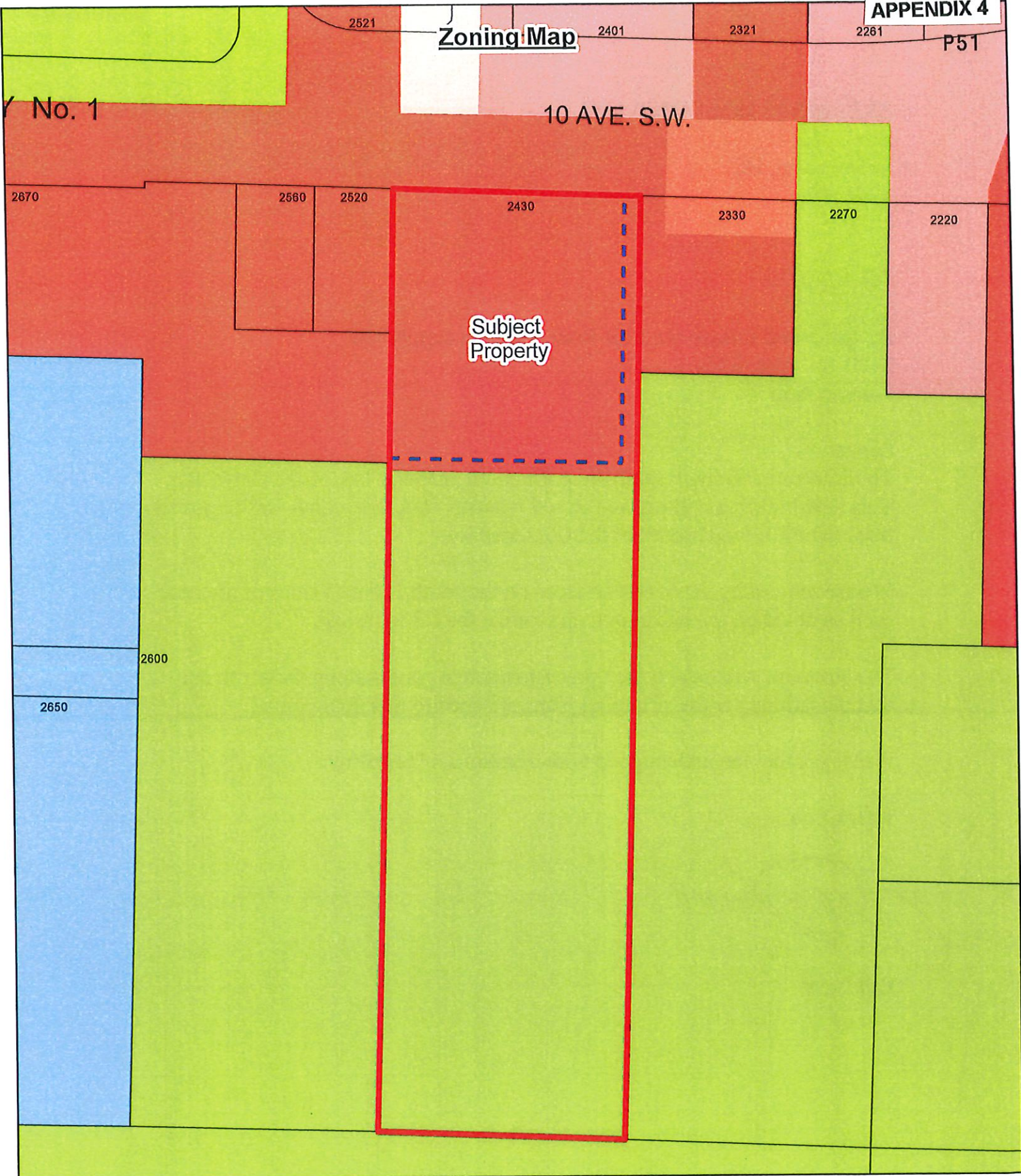


Parcels



- | | |
|--------------------------------------|--|
| Subject Property | Salmon Valley Agriculture |
| Proposed Subdivision (see SUB 21.17) | Commercial - Highway Service / Tourist |
| Parcels | Industrial - General |

Zoning Map



- | | | |
|--------------------------------------|-----|-----|
| Subject Property | A-1 | C-5 |
| Proposed Subdivision (see SUB 21.17) | C-3 | M-1 |
| Parcels | C-4 | R-1 |

P52

BREMMVIC HOLDINGS LTD.
Box 1022
Salmon arm, BC.
V1E 4P2.

Feb 02, 2022.

Re: proposed storage shed for Rona building supply site
2430 10th Ave. SW.
Salmon Arm

Scope:

To build a new storage shed along the south property line at the above site.
This new building will replace an old wooden structure which was removed
from the ALR lands south of the C3 zoned lot.

We are requesting set back variances on the south and east sides of the new
shed as noted on the site plan to maximize the C3 lot usage.

The structure will have 6 inch precast concrete panels along the south and
east elevations per the structural plans attached to this application.

Please contact the undersigned with questions or concerns.

Thank you.

A handwritten signature in black ink, appearing to read "Bill Laird", with a large, stylized loop at the beginning.

Bill Laird

Proposed Subdivision Control
Plan (SUB 21.17) with Subject
Property Outlined

[illegible]

Rem 1 Plan 25227

Rem. A Plan 25723

91-60072749

BUILDING

Subject	Property
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ALR

SKETCH PLAN OF PROPOSED
SUBDIVISION OF PART OF
LOT 14, PLAN 481, SEC.10,
TP 20, R 10, W6M, KDYD

Except Plans H401 and EPP70085

Scale 1:500

10 5 0 10 20 30 40
CHHHHHH
All distances are in miles.

Rem Lot 14

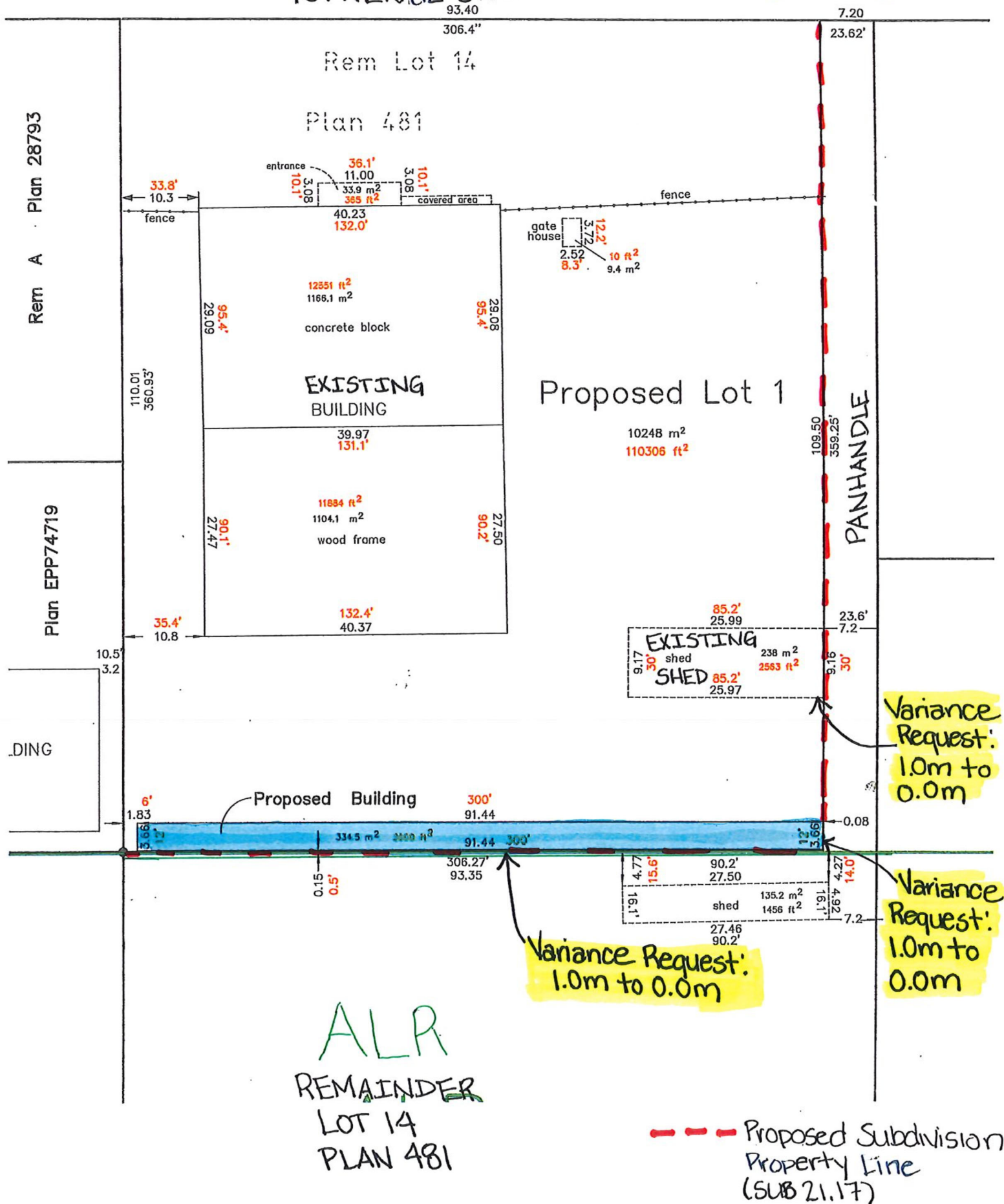
Plan 481

Item 15 Pion 481

Room A	Plan	227935
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379.5
379.5

SITE PLAN





Revision	Date	Description
1	2022-01-31	Issue for Review

PROJECT
 RONA STORAGE SHED

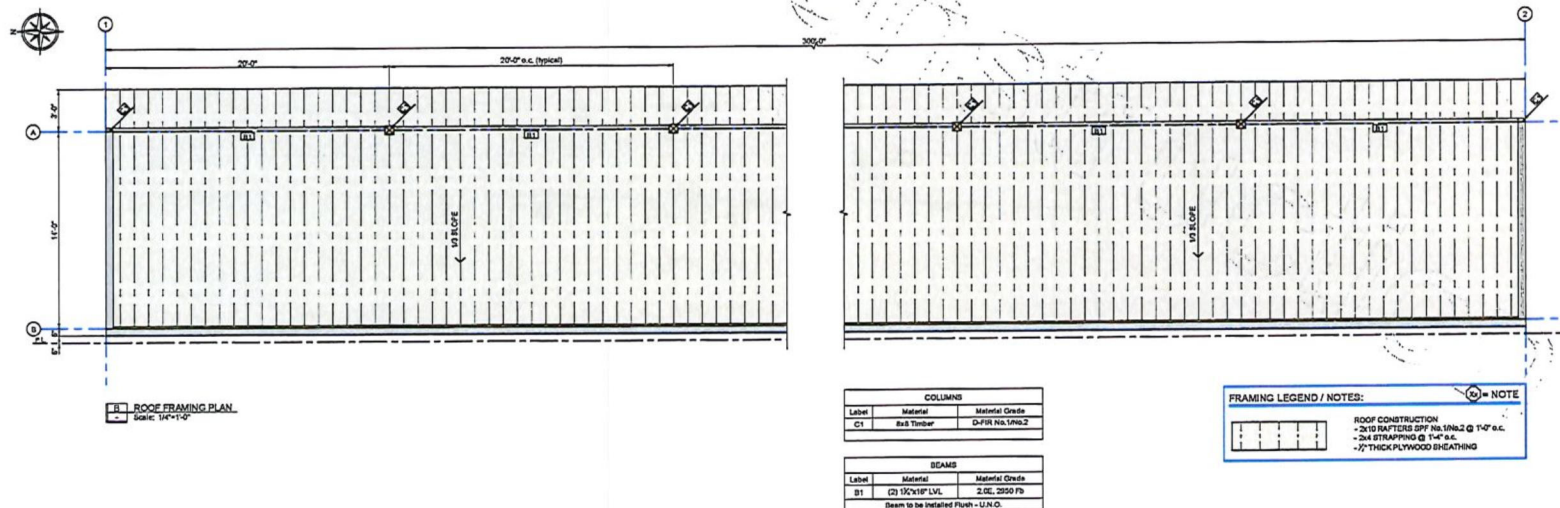
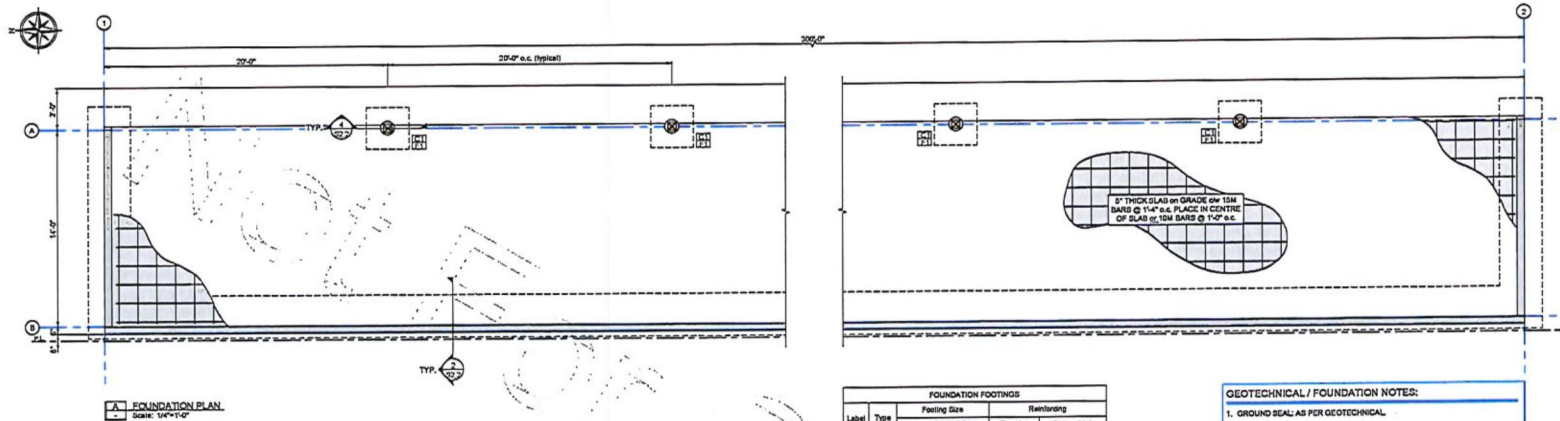
 2430 10th Avenue,
 NW (Almanor Area), B.C.

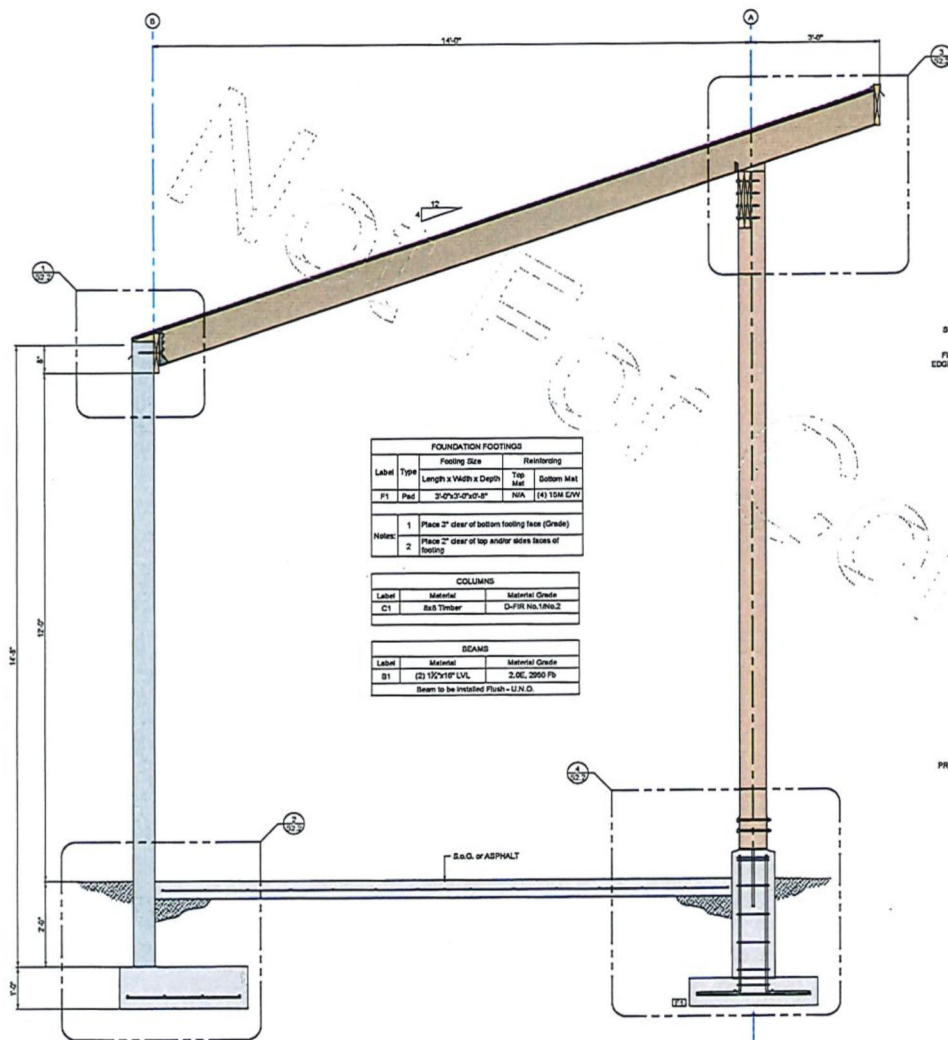
DRAWING
 FOUNDATION PLAN
 & ROOF FRAMING PLAN

SEAL

 FILE 22-008
 DATE January 21, 2022
 SCALE AS NOTED
 DRAFT C.N.
 DESIGN Cole Dube, P. Eng.

 SHEET NUMBER
S2.1

 REV
A




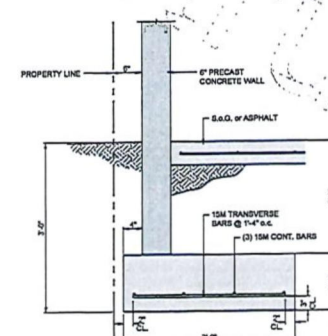
FOUNDATION FOOTINGS				
Label	Type	Footings Size	Reinforcing	
		Length x Width x Depth	Top Mat	Bottom Mat
P1	Pad	3'-0" x 3'-0" x 1'-0"	N/A	(4) 15M @ 12"

COLUMNS		
Label	Material	Material Grade
C1	Sub Timber	D-FIR No. 1/No. 2

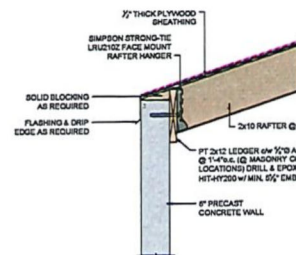
BEAMS		
Label	Material	Material Grade
B1	(2) 12"x18" LVL	2.0E, 2000 Fb

Beam to be installed Flush - U.N.D.

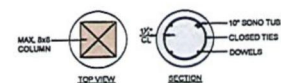
1 TYP. CROSS SECTION
SCALE: 3/4" = 1'-0"



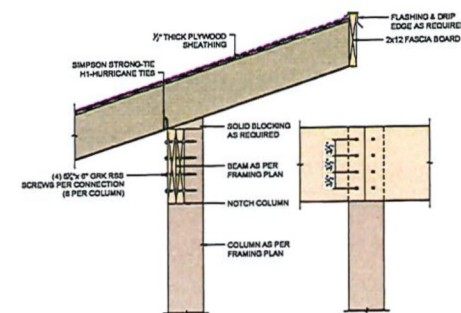
2 TYP. FROST WALL DETAIL
SCALE: 1/2" = 1'-0"



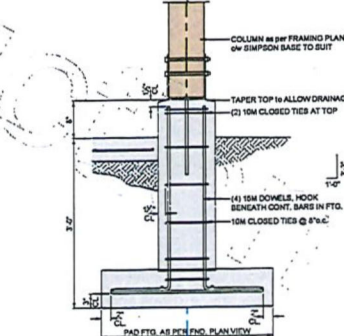
3 TYP. LEDGER CONN. DETAIL
SCALE: 1/2" = 1'-0"



4 TYP. RAFTER TO BEAM DETAIL
SCALE: 1/2" = 1'-0"



5 TYP. COLUMN TO FND. CONN.
SCALE: 1/2" = 1'-0"



6 TYP. COLUMN TO FND. CONN.
SCALE: 1/2" = 1'-0"

Rev	By	Date	Description
1	JL	2022-01-21	Issue for Construction

