



AGENDA

City of Salmon Arm
Regular Council Meeting

Monday, December 14, 2020
1:00 p.m.

[Public Session Begins at 2:30 p.m.]
Council Chambers of City Hall
500 – 2 Avenue NE and by Electronic means
as authorized by Ministerial Order M192

Page #	Item #	Description
	1.	CALL TO ORDER
1 – 2	2.	IN-CAMERA SESSION
	3.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	4.	ADOPTION OF AGENDA
	5.	DISCLOSURE OF INTEREST
3 – 14	6.	CONFIRMATION OF MINUTES
	1.	Regular Council Meeting Minutes of November 23, 2020
15 – 24	7.	COMMITTEE REPORTS
	1.	Development and Planning Services Committee Meeting Minutes of December 7, 2020
25 – 28	2.	Downtown Parking Commission Meeting Minutes of November 17, 2020
29 – 32	3.	Community Heritage Commission Meeting Minutes of October 19, 2020
33 – 50	4.	Greenways Liaison Committee Meeting Minutes of November 12, 2020
51 – 56	5.	Traffic Safety Committee Meeting Minutes of November 19, 2020
57 – 60	6.	Shuswap Regional Airport (Salmon Arm) Commission Meeting Minutes of November 23, 2020
61 – 64	7.	Environmental Advisory Committee Meeting Minutes of December 4, 2020
65 – 68	8.	Active Transportation Committee Meeting Minutes of December 7, 2020
69 – 72	9.	Social Impact Advisory Committee Meeting Minutes of November 20, 2020

- 8. **COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE**
 - 73 – 80 1. Board in Brief – November 2020
- 9. **STAFF REPORTS**
 - 81 – 84 1. Director of Engineering & Public Works – Kault Hill Communication Tower – Crown Tenure Reassignment
 - 85 – 90 2. Director of Development Services - Lounge and Special Event Area Liquor License [Shuswap Cider Company; 2090 10 Avenue SW (Westgate Mall)]
 - 91 – 94 3. Director of Engineering and Public Works – Foreshore Sanitary Main – CCTV Survey – Award to AquaCoustic Remote Technologies Inc.
 - 95 – 96 4. Chief Financial Officer – Uncollectible Accounts Receivable
 - 97 – 100 5. Director of Engineering and Public Works – Purchase Recommendation for Replacement of Unit #55 Mechanics Service Truck
 - 101 – 104 6. Director of Engineering and Public Works - Shuswap Regional Airport – Training & Quality Assurance Audit
 - 105 – 108 7. Director of Corporate Services – Project Award – Computer Upgrade 2021
- 10. **INTRODUCTION OF BYLAWS**
 - 109 – 174 1. City of Salmon Arm Land Use Contract Termination Bylaw No. 4430 [LUC N54304; Abacus Cities Ltd.; Units 101 – 506, 1449 – 1 Avenue NE; Units 302 - 806, 1451 – 1 Avenue NE; 130 – 230 – 15 Street NE; 1480 – 1570 – 1 Avenue NE; 1451 – 1531 Okanagan Avenue NE] – First and Second Readings
 - 175 – 178 2. City of Salmon Arm Zoning Amendment Bylaw No. 4431 [ZON-1196; Abacus Cities Ltd.; Units 101 – 506, 1449 – 1 Avenue NE; Units 302 - 806, 1451 – 1 Avenue NE; 1451 – 1531 Okanagan Avenue NE; R1 – R4] (*See item 10.1 for Staff Report*) – First and Second Readings
 - 179 – 202 3. City of Salmon Arm Zoning Amendment Bylaw No. 4421 [ZON-1191 Brentwell Construction Ltd./Crevier, L. & S; 31 – 4 Street SE; R-1 to R-5/Text Amendment R5 Zone] – First and Second Readings
- 11. **RECONSIDERATION OF BYLAWS**
 - 203 – 208 1. City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424 [Cemetery Rates] – Final Reading
 - 209 – 228 2. City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 [OCP4000-43; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC] – Final Reading
 - 229 – 234 3. City of Salmon Arm Zoning Amendment Bylaw No. 4411 [ZON-1184; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6] (*See item 11.2 for Staff Report*) – Final Reading
- 12. **CORRESPONDENCE**
 - 235 – 236 1. Informational Correspondence
- 13. **NEW BUSINESS**

- 14. **PRESENTATIONS / DELEGATIONS**
 237 - 262 1. Presentation 4:00 - 4:15 p.m. (approximately)
 Lana Fitt, Manager, Salmon Arm Economic Development Society -
 2021 MRDT Tactical Plan
- 15. **COUNCIL STATEMENTS**
- 16. **SALMON ARM SECONDARY YOUTH COUNCIL**
- 17. **NOTICE OF MOTION**
- 18. **UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS**
 263 - 272 1. COVID-19 Safe Restart Grant - For Discussion
- 19. **OTHER BUSINESS**
 273 - 278 1. L. Samson, Administrative Services Manager, Okanagan Regional
 Library - letter dated November 12, 2020 - Annual Appointment -
 Okanagan Regional Library Board
- 20. **QUESTION AND ANSWER PERIOD**

7:00 p.m.

Page #	Item #	Description
	21.	DISCLOSURE OF INTEREST
	22.	HEARINGS
279 - 290	1.	Development Variance Permit Application No. VP-522 [Pym, M./Bernd Hermanski Architect Inc./Hermanski, B.; Setback Requirements]
291 - 306	2.	Cannabis Retail Store Application No. CRS-10 [Inspired Cannabis Co. (1217025 BC Ltd.; #246, 1151 10 Avenue SW)]
	23.	STATUTORY PUBLIC HEARINGS
307 - 328	1.	Zoning Amendment Application No. ZON-1182 [Cornerstone Christian Reformed Church/Roodzant, J.; 1191 22 Street NE; P-3 to C-6]
329 - 342	2.	Zoning Amendment Application No. ZON-1189 [South Central Electric Ltd.; 1140 17 Avenue SE; R1 to R8]

- 24. RECONSIDERATION OF BYLAWS**
- 343 - 346 1. City of Salmon Arm Zoning Amendment Bylaw No. 4405 [ZON-1182; Cornerstone Christian Reformed Church/Roodzant, J.; 1191 22 Street NE; P-3 to C-6] - Third Reading
- 347 - 350 2. City of Salmon Arm Zoning Amendment Bylaw No. 4417 [ZON-1189; South Central Electric Ltd.; 1140 17 Avenue SE; R1 to R8] - Third and Final Readings
- 25. QUESTION AND ANSWER PERIOD**
- 351 - 352 **26. ADJOURNMENT**

Item 2.

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Lavery

Seconded: Councillor Wallace Richmond

THAT: pursuant to Section 90(1) of the Community Charter, Council move In-Camera.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

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Item 6.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: the Regular Council Meeting Minutes of November 23, 2020, be adopted as circulated.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chambers and by electronic means as authorized by Ministerial Order M192, at 1:00 p.m. and reconvened at 2:30 p.m. of the City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia on Monday, November 23, 2020.

PRESENT:

Mayor A. Harrison
 Councillor D. Cannon
 Councillor C. Eliason (participated remotely)
 Councillor K. Flynn
 Councillor S. Lindgren
 Councillor T. Lavery (participated remotely)
 Councillor L. Wallace Richmond (participated remotely)

Chief Administrative Officer C. Bannister
 Director of Engineering & Public Works R. Niewenhuizen
 Director of Corporate Services E. Jackson
 Director of Development Services K. Pearson
 Chief Financial Officer C. Van de Cappelle (participated remotely)
 Senior Planner C. Larson
 Recorder C. Simmons

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 1:02 p.m.

2. IN-CAMERA SESSION

0506-2020

Moved: Councillor Eliason
 Seconded: Councillor Lindgren
 THAT: pursuant to Section 90(1) of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:03 p.m.
 Council returned to Regular Session at 2:33 p.m.
 Council recessed until 2:38 p.m.

3. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

4. REVIEW OF AGENDA

Addition under item 9.8 Chief Administrative Officer – Ross Street Underpass – CPR Construction Agreement

Addition under item 23.1/23.2 D. McGregor – email dated November 5, 2020 – Query of proposed zoning change to 1050 18st St NE

Addition under items 23.1/23.2 R. Keetch – email dated November 22, 2020 and response from Director of Development Services dated November 23, 2020 – Comment for Proposed amendments to OCP and Zoning at 1050 and 1091 18th st

5. DISCLOSURE OF INTEREST

Councillor Wallace Richmond declared a conflict of interest with item 14.1 as the Shuswap Watershed Council is a client of her firm.

6. CONFIRMATION OF MINUTES

1. Regular Council Meeting Minutes of November 9, 2020

0507-2020

Moved: Councillor Flynn
Seconded: Councillor Lavery
THAT: the Regular Council Meeting Minutes of November 9, 2020, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS

1. Development and Planning Services Committee Meeting Minutes of November 16, 2020

0508-2020

Moved: Councillor Cannon
Seconded: Councillor Wallace Richmond
THAT: the Development and Planning Services Committee Meeting Minutes of November 16, 2020, be received as information.

CARRIED UNANIMOUSLY

2. Active Transportation Task Force Meeting Minutes of November 16, 2020

0509-2020

Moved: Councillor Lavery
Seconded: Mayor Harrison
THAT: the Active Transportation Task Force Meeting Minutes of November 16, 2020, be received as information.

CARRIED UNANIMOUSLY

8. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

9. STAFF REPORTS1. Director of Engineering & Public Works - RCMP Cell Block Upgrade - Tender Award

0510-2020

Moved: Councillor Cannon

Seconded: Councillor Lindgren

THAT: the 2020 Budget contained in the 2020 to 2024 Financial Plan be amended to reflect additional funding for the Salmon Arm RCMP Detachment Cell Block Upgrade project in the amount of \$45,000.00. This amount be transferred from the RCMP Prison Cell Retro Fit Reserve, current balance estimated at \$34,000.00 and the remainder funded from the RCMP Storage Building Construction Reserve, current balance estimated at \$84,000.00;

AND THAT: Council approve the award of the Salmon Arm RCMP Detachment Cell Block Upgrade project to 478868 BC Ltd dba McDiarmid Construction, in accordance with their tender price , in the amount of \$176,888.00 plus GST.

CARRIED UNANIMOUSLY2. Director of Engineering & Public Works - Mosquito Control & Surveillance Program - Contract Extension

0511-2020

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: Council award a two (2) year contract extension to Duka Environmental Services Ltd. for the 2021 & 2022 Mosquito Control and Surveillance Program as per the extension clause in the Request for Quotation at a rate of \$14,100.00 per year.

CARRIED UNANIMOUSLY3. Director of Corporate Services - Poverty Reduction Planning & Action Planning Grant Social Supports Inventory and Assessment RFP Award

0512-2020

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: Council award the Social Supports Inventory and Assessment Plan contract to SPARC BC for the quoted price of \$24,800.00.

CARRIED UNANIMOUSLY4. Chief Financial Officer - Disposal of Surplus Equipment

0513-2020

Moved: Councillor Cannon

Seconded: Councillor Lavery

THAT: the following bids/offers be accepted for the sale of surplus equipment on a "where is, as is" basis:

<i>Equipment</i>	<i>Buyer</i>	<i>Bid Amount (plus GST and PST)</i>
2008 Jeep Compass S/N 1J8FF47W48D510424	Debbie McGregor of behalf of Jenna Elidoros	\$3,051.00
2014 Dodge Truck Box	583021 BC Ltd. dba Westside Used Auto parts	\$625.00

CARRIED UNANIMOUSLY

9. STAFF REPORTS - continued

5. Chief Financial Officer - COVID-19 Safe Restart Grant - For Information

Received for information.

6. Director of Engineering & Public Works - Water Pollution Control Centre Centrifuge Rebuild

0514-2020

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: Council approve Mearl's Machine Works Ltd. of Kelowna, BC to complete the repairs to the original Perialisi centrifuge at a cost of approximately \$20,000.00 - \$25,000.00;

AND THAT: the City's Purchasing Policy No. 7.13 be waived to authorize sole sourcing of same to Mearl's Machine Works Ltd.

CARRIED UNANIMOUSLY

7. Director of Corporate Services - Mt. Ida & Shuswap Memorial Cemetery Operations and Maintenance Contract

0515-2020

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the Mayor and Corporate Officer be authorized to execute the Cemetery Operation and Maintenance Contract with MADA Contracting for the period of January 1, 2021 to December 31, 2025 for the amount of \$585,250.00.

CARRIED UNANIMOUSLY

8. Chief Administrative Officer - Ross Street Underpass - CPR Construction Agreement

0516-2020

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: Council authorize Staff to enter into the 'Subway Construction Agreement' with Canadian Pacific Railway to formalize the terms of construction for the Ross Street Underpass.

CARRIED
Councillor Lavery Opposed

10. INTRODUCTION OF BYLAWS

Councillor Flynn left the meeting at 3:42 p.m.

1. City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424 [Cemetery Rates] - First, Second and Third Readings

0517-2020

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: the bylaw entitled City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424 be read a first, second and third time.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS - continued2. City of Salmon Arm Highway Closure Bylaw No. 4422 - First, Second and Third Readings

0518-2020

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: the bylaw entitled City of Salmon Arm Highway Closure Bylaw No. 4422 be read a first, second and third time;

AND THAT: final reading of City of Salmon Arm Highway Closure Bylaw No. 4422 be subject to Compliance with Section 26 (Notice of Proposed Property Disposition) and Section 94 (Requirements for Public Notice) of the Community Charter.

Councillor Flynn returned to the meeting at 3:46 p.m.

CARRIED UNANIMOUSLY3. City of Salmon Arm Zoning Amendment Bylaw No. 4417 [South Central Electric Ltd.; 1140 17 Avenue SE; R1 to R8] - First and Second Readings

0519-2020

Moved: Councillor Cannon

Seconded: Councillor Lavery

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4417 be read a first and second time.

CARRIED UNANIMOUSLY11. RECONSIDERATION OF BYLAWS12. CORRESPONDENCE1. Informational Correspondence11. N. Schmidt, Manager of Operations, Planning Institute of British Columbia - email dated November 9, 2020 - PIBC - Certified Institute of Planners, Christopher Larson

Mayor Harrison, of behalf of Council and the City of Salmon Arm, congratulated Chris Larson on receiving a membership to the Planning Institute of British Columbia and thanked him for his dedication to the City.

13. NEW BUSINESS

The Meeting recessed at 4:03 p.m.

The Meeting reconvened at 4:06 p.m.

14. PRESENTATIONS

Councillor Wallace Richmond declared a conflict of interest and left the meeting at 4:06 p.m.

- 1. Erin Viera, Program Manager and Paul Demenok, Chair, Shuswap Watershed Council - Shuswap Watershed Council Annual Update

Erin Viera, Program Manager and Paul Demenok, Chair of the Shuswap Watershed Council provided an Annual Update on the Shuswap Watershed Council. They were available to answer questions from Council.

Councillor Wallace Richmond returned to the meeting at 4:38 p.m.

- 2. Patricia Huntsman, Patricia Huntsman Culture + Communication - Salmon Arm Arts and Culture Plan

Patricia Huntsman, Patricia Huntsman Culture + Communication provided an overview the of Salmon Arm Alive with the Arts Plan. She was available to answer questions from Council.

0520-2020

Moved: Councillor Wallace Richmond
Seconded: Councillor Flynn

THAT: Council adopt in principle the Alive with the Arts Salmon Arm Cultural Plan with a view to approving implementation items on a yearly basis in keeping with the City's annual budget process and in consultation with community representatives.

CARRIED UNANIMOUSLY

15. COUNCIL STATEMENTS

16. SALMON ARM SECONDARY YOUTH COUNCIL

17. NOTICE OF MOTION

18. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

19. OTHER BUSINESS

20. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

2. IN-CAMERA SESSION - continued

0521-2020 Moved: Councillor Cannon
Seconded: Councillor Flynn
THAT: pursuant to Section 90(1) of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 5:10 p.m.
Council returned to Regular Session and recessed at 5:53 p.m.
The Meeting reconvened at 7:00 p.m.

PRESENT:

Mayor A. Harrison
Councillor D. Cannon (participated remotely)
Councillor C. Eliason (participated remotely)
Councillor K. Flynn
Councillor S. Lindgren
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)

PRESENT:

Chief Administrative Officer C. Bannister
Director of Engineering & Public Works R. Niewenhuizen
Director of Corporate Services E. Jackson
Director of Development Services K. Pearson
Recorder B. Puddifant

21. DISCLOSURE OF INTEREST

22. HEARINGS

23. STATUTORY PUBLIC HEARINGS

1. Official Community Plan Amendment Application No. OCP4000-43 [Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC]

The Director of Development Services explained the proposed Official Community Plan Amendment Application.

D. McGregor - email dated November 5, 2020 - Query of proposed zoning change to 1050 18st St NE.

R. Keetch - email dated November 22, 2020 and response from Director of Development Services dated November 23, 2020 - Comment for Proposed amendments to OCP and Zoning at 1050 and 1091 18th st.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:09 p.m. and the next item ensued.

23. STATUTORY PUBLIC HEARINGS - continued

2. Zoning Amendment Application No. ZON-1184 [Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6]

The Director of Development Services explained the proposed Zoning Amendment Application.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:011 p.m.

24. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 [OCP4000-43; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC] - Third Reading

0522-2020

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the bylaw entitled City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 be read a third time.

CARRIED UNANIMOUSLY

2. City of Salmon Arm Zoning Amendment Bylaw No. 4411 [ZON-1184; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6] - Third Reading

0523-2020

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4411 be read a third time.

CARRIED UNANIMOUSLY

25. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

26. ADJOURNMENT

0524-2020

Moved: Councillor Flynn

Seconded: Councillor Lavery

THAT: the Regular Council Meeting of November 23, 2020, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:14 p.m.

CERTIFIED CORRECT:

CORPORATE OFFICER

MAYOR

Adopted by Council the day of , 2020.

23. STATUTORY PUBLIC HEARINGS - continued

- 2. Zoning Amendment Application No. ZON-1184 [Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6]

The Director of Development Services explained the proposed Zoning Amendment Application.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:11 p.m.

24. RECONSIDERATION OF BYLAWS

- 1. City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 [OCP4000-43; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC] - Third Reading

0522-2020

Moved: Councillor Eliason
Seconded: Councillor Cannon
THAT: the bylaw entitled City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 be read a third time.

CARRIED UNANIMOUSLY

- 2. City of Salmon Arm Zoning Amendment Bylaw No. 4411 [ZON-1184; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6] - Third Reading

0523-2020

Moved: Councillor Lindgren
Seconded: Councillor Flynn
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4411 be read a third time.

CARRIED UNANIMOUSLY

25. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

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Item 7.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee Meeting Minutes of December 7, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

DEVELOPMENT AND PLANNING SERVICES COMMITTEE

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in Council Chambers and by electronic means by Ministerial Order M192, on Monday, December 7, 2020.

PRESENT:

Mayor A. Harrison
 Councillor T. Lavery (participated remotely)
 Councillor L. Wallace Richmond (participated remotely)
 Councillor D. Cannon (participated remotely)
 Councillor S. Lindgren
 Councillor C. Eliason (participated remotely)
 Councillor K. Flynn

Chief Administrative Officer C. Bannister
 Director of Engineering & Public Works R. Niewenhuizen
 Director of Corporate Services E. Jackson
 Director of Development Services K. Pearson
 Chief Financial Officer C. Van de Cappelle
 Recorder B. Puddifant

ABSENT:

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 8:03 a.m.

2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

3. REVIEW OF THE AGENDA

4. DISCLOSURE OF INTEREST

5. REPORTS

1. Zoning Amendment No. ZON-1191 [Brentwell Construction Ltd.; 31 - 4 Street SE; R-1 to R-5] and Text Amendment

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by:

5. REPORTS - continued

1. Zoning Amendment No. ZON-1191 [Brentwell Construction Ltd.; 31 - 4 Street SE; R-1 to R-5] - continued

- 1) rezoning Lot 3, Block 1, Section 14, Township 20, Range 10, W6M, KDYD, Plan 936 from R-1 (Single Family Residential) to R-5 (High Density Residential); and
- 2) adding "Duplex" as a permitted use under Section 10.3 of the R-5 (High Density Residential) zone;

AND THAT: Final Reading of the Bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

M. Brenton, the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

2. Development Variance Permit Application No. VP-521 [Brentwell Construction Ltd.; 31 - 4 Street SE; Setback Requirements (See Item 5.1 for Staff Report)]

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-521 be authorized for issuance for Lot 3, Block 1, Section 14, Township 20, Range 10, W6M, KDYD, Plan 936 to vary the provisions of Zoning Bylaw No. 2303 as follows:

- 1) Section 10.9.3 - R-5 High Density Residential Zone - reduce the minimum setback from an interior side parcel line from 2.4 m (7.8 ft) to 2.0 m (6.6 ft) for the north parcel line; and
- 2) Section 10.9.3 - R-5 High Density Residential Zone - reduce the minimum setback from an interior side parcel line from 2.4 m (7.8 ft) to 2.0 m (6.6 ft) for the south parcel line.

M. Brenton, the applicant, spoke regarding the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Cannabis Retail Store Application No. CRS-10 [Inspired Cannabis Co. (1217025 BC Ltd.; #246, 1151 10 Avenue SW]

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Council approve application CRS-10;

AND THAT: Council consider its Resolution with respect to the following;

AND THAT: Council consider its Resolution with respect to the following:

5. REPORTS - continued

3. Cannabis Retail Store Application No. CRS-10 [Inspired Cannabis Co. (1217025 BC Ltd.; #246, 1151 10 Avenue SW - continued

1. Provincial Cannabis Retail Store License Referral No. 007440;
2. City Zoning Bylaw No. 2303 and City Policy No. 3.20;
3. Public notification followed by the holding of a Hearing on December 14, 2020; and
4. The impact of the application on the community.

N. Biln, S. Biln, and J. Dhimi, the applicants, outlined the application and were available to answer questions from the Committee.

CARRIED

Councillor Lavery Opposed

4. Lounge and Special Event Area Liquor License [Shuswap Cider Company; 2090 10 Avenue SW [Westgate Mall]

Moved: Councillor Eliason

Seconded: Councillor Lindgren

THAT: the Development and Planning Services Committee recommends to Council that Council has no objection to the issuance of a lounge and special event area liquor license to the Shuswap Cider Company and submits the following:

- a) The issuance of the lounge and special event area liquor license will have no impact on the surrounding residents;
- b) There will be no detrimental impact on the community if the application is approved; and
- c) The views of the neighbouring residents have not been gathered due to the considerable physical distance (125m) to the nearest residential building.

G. Ginn, the applicant, spoke regarding the application and was available to answer questions from the Committee. L. Wong and K. Ramsall, the co-applicants, were also available to answer questions from the Committee.

CARRIED UNANIMOUSLY

5. Development Variance Permit Application No. VP-522 [Pym, M./Bernd Hermanski Architect Inc./Hermanski, B.; 1361 18 Street NE; Setback Requirements]

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-522 be authorized for issuance for Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 43148 which will vary the provisions of Zoning Bylaw No. 2303 as follows:

5. REPORTS - continued5. Development Variance Permit Application No. VP-522 [Pym, M./Bernd Hermanski Architect Inc./Hermanski, B.; 1361 18 Street NE; Setback Requirements] - continued

- 1) Section 6.10.1 – reduce the minimum setback of the principal building from the front parcel line from 6.0 m to 0 m as shown in Schedule A of the Staff Report dated November 25, 2020.

B. Hermanski, the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

6. Land Use Contract Termination and Zoning Bylaw Amendment [LUC N54304; Abacus Cities Ltd.; Strata Lots 1 – 30, 1449 1 Avenue NE, Strata Lots 1 – 30, 1451 1 Avenue NE, 131, 161, 191, 211, 230, 210, 190, 160, 130 – 15 Street NE, 1570, 1540, 1500, 1480 1 Avenue NE, 1451, 1453, 1481, 1491, 1521 and 1531 Okanagan Avenue

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would terminate the Land Use Contract N54304 for the parcels described as:

028-875-656	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	201, 1449 1 Avenue NE
028-875-664	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	202, 1449 1 Avenue NE
028-875-672	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	203, 1449 1 Avenue NE
028-875-681	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	204, 1449 1 Avenue NE
028-875-699	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	205, 1449 1 Avenue NE
028-875-702	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	206, 1449 1 Avenue NE
029-092-736	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	101, 1449 1 Avenue NE
029-092-744	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	102, 1449 1 Avenue NE
029-092-752	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	103, 1449 1 Avenue NE
029-092-761	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	104, 1449 1 Avenue NE
029-092-779	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	105, 1449 1 Avenue NE
029-092-787	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	106, 1449 1 Avenue NE
029-501-237	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	301, 1449 1 Avenue NE

5. REPORTS - continued6. Land Use Contract Termination and Zoning Bylaw Amendment [LUC N54304; Abacus Cities Ltd.; Strata Lots 1 – 30, 1449 1 Avenue NE, Strata Lots 1 – 30, 1451 1 Avenue NE, 131, 161, 191, 211, 230, 210, 190, 160, 130 – 15 Street NE, 1570, 1540, 1500, 1480 1 Avenue NE, 1451, 1453, 1481, 1491, 1521 and 1531 Okanagan Avenue – continued

029-501-245	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	302, 1449 1 Avenue NE
029-501-253	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	303, 1449 1 Avenue NE
029-501-261	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	304, 1449 1 Avenue NE
029-501-270	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	305, 1449 1 Avenue NE
029-501-288	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	306, 1449 1 Avenue NE
029-686-121	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	401, 1449 1 Avenue NE
029-686-130	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	402, 1449 1 Avenue NE
029-686-148	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	403, 1449 1 Avenue NE
029-686-156	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	404, 1449 1 Avenue NE
029-686-164	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	405 1449 1 Avenue NE
029-686-172	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	406, 1449 1 Avenue NE
029-775-698	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	501, 1449 1 Avenue NE
029-775-701	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	502, 1449 1 Avenue NE
029-775-710	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	503, 1449 1 Avenue NE
029-775-728	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	504, 1449 1 Avenue NE
029-775-736	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	505, 1449 1 Avenue NE
029-775-744	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	506, 1449 1 Avenue NE
002-206-854	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	603, 1451 1 Avenue NE
002-206-862	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	601, 1451 1 Avenue NE
002-206-871	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	604, 1451 1 Avenue NE
002-206-897	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	602, 1451 1 Avenue NE

5. REPORTS - continued6. Land Use Contract Termination and Zoning Bylaw Amendment [LUC N54304; Abacus Cities Ltd.; Strata Lots 1 - 30, 1449 1 Avenue NE, Strata Lots 1 - 30, 1451 1 Avenue NE, 131, 161, 191, 211, 230, 210, 190, 160, 130 - 15 Street NE, 1570, 1540, 1500, 1480 1 Avenue NE, 1451, 1453, 1481, 1491, 1521 and 1531 Okanagan Avenue - continued

002-206-901	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	503, 1451 1 Avenue NE
002-206-919	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	501, 1451 1 Avenue NE
002-206-927	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	504, 1451 1 Avenue NE
002-206-935	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	502, 1451 1 Avenue NE
002-206-943	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	703, 1451 1 Avenue NE
002-206-951	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	701, 1451 1 Avenue NE
002-206-960	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	704, 1451 1 Avenue NE
002-206-978	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	702, 1451 1 Avenue NE
002-206-986	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	405, 1451 1 Avenue NE
002-206-994	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	403, 1451 1 Avenue NE
002-207-001	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	401, 1451 1 Avenue NE
002-207-010	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	406, 1451 1 Avenue NE
002-207-028	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	404, 1451 1 Avenue NE
002-207-036	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	402, 1451 1 Avenue NE
002-207-044	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	805, 1451 1 Avenue NE
002-207-052	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	803, 1451 1 Avenue NE
002-207-061	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	801, 1451 1 Avenue NE
002-207-079	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	806, 1451 1 Avenue NE
002-207-087	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	804, 1451 1 Avenue NE
002-207-095	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	802, 1451 1 Avenue NE
002-207-109	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	305, 1451 1 Avenue NE

5. REPORTS - continued6. Land Use Contract Termination and Zoning Bylaw Amendment [LUC N54304; Abacus Cities Ltd.; Strata Lots 1 – 30, 1449 1 Avenue NE, Strata Lots 1 – 30, 1451 1 Avenue NE, 131, 161, 191, 211, 230, 210, 190, 160, 130 – 15 Street NE, 1570, 1540, 1500, 1480 1 Avenue NE, 1451, 1453, 1481, 1491, 1521 and 1531 Okanagan Avenue - continued

002-207-117	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	303, 1451 1 Avenue NE
002-207-125	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	301, 1451 1 Avenue NE
002-207-133	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	306, 1451 1 Avenue NE
002-207-141	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	304, 1451 1 Avenue NE
002-207-150	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	302, 1451 1 Avenue NE
003-248-429	Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	131 15 Street NE
003-248-437	Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	161 15 Street NE
003-248-453	Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	191 15 Street NE
003-248-461	Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	211 15 Street NE
003-248-470	Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	230 15 Street NE
003-248-488	Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	210 15 Street NE
003-248-496	Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	190 15 Street NE
003-248-500	Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	160 15 Street NE
003-248-518	Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	130 15 Street NE
003-248-526	Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	1570 1 Avenue NE
003-248-551	Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1540 1 Avenue NE
003-248-569	Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1500 1 Avenue NE
003-248-577	Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1480 1 Avenue NE
025-681-401	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1451 Okanagan Avenue NE
025-681-419	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1453 Okanagan Avenue NE
018-189-661	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1481 Okanagan Avenue NE

5. REPORTS - continued

6. Land Use Contract Termination and Zoning Bylaw Amendment [LUC N54304; Abacus Cities Ltd.; Strata Lots 1 - 30, 1449 1 Avenue NE, Strata Lots 1 - 30, 1451 1 Avenue NE, 131, 161, 191, 211, 230, 210, 190, 160, 130 - 15 Street NE, 1570, 1540, 1500, 1480 1 Avenue NE, 1451, 1453, 1481, 1491, 1521 and 1531 Okanagan Avenue - continued

018-189-679	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1491 Okanagan Avenue NE
017-800-943	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1521 Okanagan Avenue
017-800-951	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1531 Okanagan Avenue

AND THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303, 1995 rezoning Strata Lots 1 to 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507 and Strata Lots 1 to 30,

Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054 from R1 - Single Family Residential to R4 - Medium Density Residential, as shown on 'Schedule A' of the Staff Report dated November 23, 2020;

AND FURTHER THAT: Final reading of the zoning amendment bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

CARRIED UNANIMOUSLY

Councillors Lindgren and Flynn left the meeting at 9:08 a.m.

6. IN-CAMERA

Moved: Councillor Lavery
 Seconded: Councillor Wallace Richmond
 THAT: the Development and Planning Services Committee move In-Camera.

CARRIED UNANIMOUSLY

The Meeting recessed at 9:08 a.m.
 The Meeting reconvened at 9:14 a.m.

7. FOR INFORMATION

8. CORRESPONDENCE

Councillors Wallace Richmond and Eliason left the meeting at 10:05 a.m.

9. ADJOURNMENT

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee meeting of December 7, 2020, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:06 a.m.

Mayor Alan Harrison
Chair

Minutes received as information by Council
at their Regular Meeting of _____, 2020.

Item 7.2

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Eliason

Seconded: Councillor Lindgren

THAT: the Downtown Parking Commission Meeting Minutes of November 17, 2020, be received as information.

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the Downtown Parking Commission Meeting held by electronic means on Tuesday, November 17, 2020.

PRESENT:

Chad Eliason	Councillor, City of Salmon Arm, Chair
Regan Ready	Member at Large
Bill Laird	Member at Large
Vic Hamilton	Member at Large
Gerald Foreman	Downtown Salmon Arm Representative
Jacquie Gaudreau	Downtown Salmon Arm Representative
June Stewart	Downtown Salmon Arm Representative
Rob Niewenhuizen	Resource Personnel, Director of Engineering & Public Works
Jenn Wilson	Resource Personnel, City Engineer
Marcel Bedard	Resource Personnel, Bylaw Officer

ABSENT:

Cathy Ingebrigston	Member at Large
Linda Thompson	Downtown Salmon Arm Representative

GUEST:

The meeting was called to order at 8:00 a.m. by Chairperson Chad Eliason.

1. **INTRODUCTIONS AND WELCOME**
2. **PRESENTATIONS**
3. **APPROVAL / CHANGES / ADDITIONS TO AGENDA**

Item 6.b – Downtown Salmon Arm – survey results

Moved: Regan Ready

Seconded: Bill Laird

THAT: the Downtown Parking Commission Meeting Agenda of November 17, 2020 be approved as with the above addition.

CARRIED UNANIMOUSLY

4. APPROVAL OF MINUTES FROM SEPTEMBER 15, 2020

Moved: Regan Ready

Seconded: Jacquie Gaudreau

THAT: the Downtown Parking Commission Meeting Minutes of September 15, 2020 be adopted as circulated.

CARRIED UNANIMOUSLY

5. OLD BUSINESS ARISING FROM MINUTES

a. Strategic Plan – Update

The surveys have been completed and a meeting with the consultant will be the next step. A further update and the results of the surveys will be brought to the next meeting of the Downtown Parking Commission.

6. NEW BUSINESS

a. 2021 Budget Review

The 2021 Budget was reviewed and discussed.

Moved: Vic Hamilton

Seconded: Regan Ready

THAT: the Commission support the proposed 2021 Parking Budget as presented.

CARRIED UNANIMOUSLY

b. Downtown Salmon Arm – Survey results

Downtown Salmon Arm's request to review the survey results before they are correlated is denied by the Commission.

7. OTHER BUSINESS

a. Correspondence – G. Porritt – Disabled Parking

G. Porritt's request for an additional handicapped parking space on Alexander Street will not be considered at this time.

8. NEXT MEETING – Tuesday, December 15, 2020

The next meeting of the Downtown Parking Commission will be Tuesday, December 15, 2020. Chairperson will be Regan Ready.

9. ADJOURNMENT

Moved: Regan Ready

Seconded: Jacquie Gaudreau

THAT: the Downtown Parking Commission Meeting of November 17, 2020 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned 8:33 a.m.

"M. BEDARD"

Marcel Bedard
Bylaw Officer

Minutes received as information by Council
at their Regular Meeting of _____, 2020.

Item 7.3

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the Community Heritage Commission Meeting Minutes of October 19, 2020, be received as information.

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the Community Heritage Commission Meeting held in Council Chambers of City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, on Monday, October 19, 2020 at 2:00 p.m.

PRESENT:

- Pat Kassa, R.J. Haney Heritage & Museum
- Deborah Chapman, R.J. Haney Heritage & Museum
- Maureen Shaffer
- Cindy Malinowski, R.J. Haney Heritage & Museum
- Linda Painchaud
- Councillor Debbie Cannon, Chair
- Denise Ackerman, City of Salmon Arm, Recorder

ABSENT:

- Mary Landers

GUESTS:

- Andrew Farris, On This Spot
- Morgen Matheson, Economic Development Society

The meeting was called to order at 2:00 p.m.

1. **Introductions and Welcome**
2. **Presentations**
3. **Approval / changes / additions to Agenda**

Moved: Pat Kassa
 Seconded: Linda Painchaud
 THAT: the Community Heritage Commission Meeting Agenda of October 19, 2020, be approved as circulated.

CARRIED UNANIMOUSLY

4. **Approval of Minutes of February 3, 2020 Community Heritage Commission Meeting**

Moved: Maureen Shaffer
 Seconded: Cindy Malinowski
 THAT: the minutes of the Community Heritage Commission Meeting of March 2, 2020 be approved.

CARRIED UNANIMOUSLY

Minutes of the Community Heritage Commission of Monday, October 19, 2020

5. Old Business /Arising from minutes

a) On This Spot Update

Andrew Farris from On This Spot provided an update since the soft launch of the App in early August. Since August, there has been many edits. Deborah Chapman and Linda Painchaud were recognized for their hard work on reviewing the content and providing edits for On This Spot. All parties agreed that the content is now ready to be re-launched. Morgen Matheson and Debbie Cannon will organize the re-launch and are planning to involve Mayor & Council. Ideas for the re-launch were discussed. Andrew Farris also spoke about the future statistics and information the App will generate which On This Spot will provide.

b) Maintenance for Existing Plaques

Mary Landers sent an e-mail noting the plaques at Marine Park and the CPR station needed the plexi-glass replaced. Commission members will take note if any other plaques require this also. Denise Ackerman will make some inquiries with regards to the cost of replacing the plexi-glass.

c) Community Heritage Conservation Awards

Commission Members would like to make the Heritage Conservation Awards an annual event. It was agreed that three Heritage Awards be given recognizing one business and two residential property owners for their efforts on preserving heritage properties in February 2021, as part of BC Heritage Week. Due to COVID 19, no tea & dessert reception will be hosted. Mary Landers, Deborah Chapman, Maureen Shaffer & Cindy Malinowski were on the Community Heritage Award Committee last year. The same members volunteered for the 2021 awards committee. Denise Ackerman will provide an update at the next meeting on the funds available in the Heritage Accounts.

d) Heritage Inventory

Pat Kassa & Linda Painchaud continue to work on the Heritage Inventory.

6. Other Business &/or Roundtable Updates

None.

7. Next Meeting

December 7th at 2:00 p.m.

8. Adjournment

The meeting adjourned at 3:07 p.m.

Debbie Cannon, Chair

Received for information by Council on the _____ day of _____, 2020

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Item 7.4

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Lavery

Seconded: Councillor Lindgren

THAT: the Greenways Liaison Committee Meeting Minutes of November 12, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the Greenways Liaison Committee (GLC) Meeting held in Room 100 of City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, (GoTo Meeting) on Thursday, November 12, 2020 at 3:00 p.m.

We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.

PRESENT:

Brian Browning, Shuswap Trail Alliance
 Anita Ely, Interior Health
 Steve Fabro, Citizen at Large
 Joe Johnson, Citizen at Large, Acting Chair
 Rob Bickford, Citizen at Large
 Tim Lavery, Chair

Phil McIntyre-Paul, Shuswap Trail Alliance (non-voting)
 Darin Gerow, City of Salmon Arm, Manager of Roads & Parks
 Chris Larson, City of Salmon Arm, Planning & Development Officer, Recorder

Regrets: Joan Mitchell, Shuswap Trail Alliance

The meeting was called to order at 3:01 p.m.

1. Introductions

2. Presentations

3. Approval of Agenda and Additional Items

Late items were added regarding Canoe Beach Lease Lots and Mt Ida FSR Access

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the agenda for this Greenways Liaison Committee Meeting of November 12, 2020 be so approved.

CARRIED UNANIMOUSLY

4. Approval of Minutes of Previous Greenways Liaison Committee Meeting

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the minutes of the Greenways Liaison Committee Meeting of March 12 2020 be approved as circulated.

CARRIED UNANIMOUSLY

5. Old Business /Arising from minutes

none

6. New Business

- **GLC Committee Membership**
The current GLC term expires December 31, 2020, with the call for new members and application information on the City website currently.
- **Proposed 2021 Greenways Budget**
The Proposed 2021 Greenways Budget (Attached) including proposed carryforwards from the 2020 Budget was discussed.

Moved: Rob Bickford

Seconded: Steve Fabro

THAT: the Greenways Liaison Committee supports the 2021 Greenways Budget as proposed.

CARRIED UNANIMOUSLY

- **Winter Grooming Fat Bike Proposal**
Brian Browning presented a winter grooming proposal for fat bikes at the South Canoe trails (Attached). Grooming would be by a small motorized bike, likely occurring approximately twice per month, supported by the Shuswap Cycling Club. Staff concerns include addressing liability and ensuring motorized use is limited to maintenance. Provincial approval has been granted for crown lands.

7. Other Business &/or Updates

- **STA Update - Planning and Projects**
The STA presented on many projects outlining projects in progress through 2020 (attached).
- **South Canoe Update**
It was noted that this season has seen high use. The parking lot project is intended to extend into 2021. The South Canoe Advisory Group has been working to address the extra use. Concerns around trail use designations and animal owners failing to clean up after their animals were discussed. Dog bags/signs may be placed at the trailhead area at some point.
- **Fir Beetle Harvesting**
An update on the CRI project was provided, with an area of beetle-affected trees in the Malibu section of the South Canoe and Little Mountain areas completed. Little Mountain and Park Hill areas are expected to be targeted in 2021.
- **Active Transportation Task Force**
The Active Transportation Task Force has been regularly meeting with involvement from GLC members. There will be more information forthcoming.

- **Project Priority List**
Working with trail projects that have been developed, an up-to-date list was presented organizing the various projects on the basis of the Greenways Strategy level of priority.
- **Annual Reporting**
Associated with CARIP reporting and related to the implementation of the Greenways Strategy, a list was presented detailing completed projects on an annual basis.
- **Canoe Lease Lots**
A proposal to discuss the Canoe Lease Lots was brought to the GLC. Noting this is not an area with a proposed greenway, the GLC felt this was beyond their mandate.
- **Mt Ida Gates**
The legal discussion between the province and the landowner is ongoing.

8. **Next meeting - Thursday, January 14, 2021, 3 pm**

Moved: Steve Fabro

Seconded: Brian Browning

THAT: the Greenways Liaison Committee Meeting of November 12, 2020 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 4:27 p.m.

Endorsed by Meeting Chair

Received for information by Council on the day of , 2020

- Attachment - Proposed Budget
- Attachment - Winter Fat Bike Proposal
- Attachment - STA Updates
- Attachment - Annual Reporting

Proposed 2021 Greenways Projects			
revised: November 2021			
Projects	Budget	Type	Comment
South Canoe Trail -Parking Area Development PH2 & PH3	\$54,200	CF	Expand parking lot area, trail head development, move out house. Reallocate Future Trails budget (\$14,200) to this project
Hillcrest Subdivision Greenways	\$25,000	CF	Complete trail to five corners. Reallocate Urban Trail Budget (\$6,800) to this project various localtons, McGuire Lake, Landmark project
Greenways Global Signage	\$20,000	CF	
Bike and School Connectors - Design	\$5,000	CF	
Bike and School Connectors - Construction	\$5,000	CF	
Tail Improvements - Construction	\$5,000	CF	
Urban Connector Trail Improvements - Design	\$2,500	CF	
Carry Forward Total	\$116,700		
SASS Bypass Trails - Legal & Survey	\$20,000	New	SD#83 Right of Ways
Shuswap Memorial Cemetery - Parking area improvements	\$16,000	New	expand parking lot area at trail head
Foreshore trail Improvements (conjunction with SABNES)	\$16,000	New	Improvements to wet sections of trail near viewing platform
2021 Budget Total	\$52,000		
TOTAL	\$168,700		

Winter Trail Grooming

October 5, 2020

11:27 AM

-The how.

After much talk and research I have decided that the Utility Rokon, 2 wheel drive Motorcycle would be what should work best on our local trails

Go here to see what it is-- <http://www.rokon.com/bikes/trail-breaker>



There are numerous web sites that have info on winter trail grooming for Fat Bikes, most involve trails where a Snowmobile or tracked vehicle pulls a large sledge similar to Cross country Ski trail grooming--

Our trails are too tight and too steep for this kind of activity-- Hence the Rokon

A few trail grooming sites

<https://fat-bike.com/2020/01/winter-fat-bike-grooming-best-management-practices-from-evolution-trail-services/>

<http://www.citymtb.org/home/winter-grooming-options-for-urban-trails>

https://www.google.com/search?rlz=1C1PRFC_enCA651CA651&source=univ&tbm=isch&q=fat+bike+trail+grooming+equipment&sa=X&ved=2ahUKEwigrJH-wMPsAhWOIjQIHR58BAoQjKjEgQIEhAB&biw=1680&bih=907

-Why I am willing to take this on--

After last winter where the snow falls came fairly steady the trails at South Canoe and Park Hill became impassable until there was enough foot traffic to pack a reasonable path.

To ride a Fat Bike, one needs some sort of packed trail or less than 4 inches of fresh snow on a packed trail. At least my old legs do!

The Fat bike Group has talked about groomers and such for a while now but doesn't have the resource to pull any thing together yet.

I have an opportunity to buy a slightly used Rokon that I have been chasing for a while. I have numerous ideas as to what I can use it for. From towing vehicles at my business to hauling trail/stair materials on my local trail projects. The bonus would be we get to use it to groom winter trails.

I am prepared to foot the cost of the purchase/insurance and the maintenance of this project until the Fat bike group can raise the funds to either purchase it from me or buy one of their own. We have an agreement in principal to this effect, verbal at the moment

-What we want to do

This is also an experiment as we still don't know if this will actually work. One of those cases where you don't know until you try. It may be a total failure and I end up with an expensive fun toy that I can't use! The fun is in the trying I always say.

The Fat bike group has lots of ideas as to what will work best to actually groom the trails. This too will be an experiment as to what works best for our situation. There are several Fabricators in the group that we can work with to make different sledges. This too will add to the fun.

Basically the sledge will be 18 to 24 inches wide, with either a scraper, roller and/or a weighted sled to pack after. It should pack a good trail that is easy to hike, snowshoe and ride a bike on, fat tire or other wise.. Also a toothed roller could be dragged on the trails late in the year when they get icy and dangerous to walk on. This might be a service that may become mandatory if we get this project off the ground.

We have discussed and put together a grooming trail plan. The plan is to try to stay away from the heavily hiked trails to avoid as much conflict as possible. The lower trails below Medford road may not need grooming as they are so heavily used and get packed out naturally. Maybe in the spring when they ice up is when they could use work if my idea of an ice buster works.

A map of the purposed route

<<South Canoe Fat Bike Grooming_Proposed Route.pdf>> (attached)

We are open to any changes to these routes.

We know that South Canoe trails lie in two jurisdictions, The city of Salmon Arm and Rec Sites and trails. Using a motorized vehicle on these trails requires special permission. This is not required on Medford or the other logging roads in the area so we will try to groom a trail on these roads if nothing else. Seeing as this grooming action will be very similar to trail maintenance and repair, motorized use has already been given permission in the past. Also there is heavy machine operations above this area with the grooming activities At Larch Hills Nordic trials. I believe their trails are groomed every day. We won't be any near as active, only

after a snow fall of several inches. Lesser snow falls won't require grooming once the trail has been packed in. The group has discussed this and we will work out a schedule as to who will operate the groomer and when. Only those trained in it's operation will be having the fun. Depending on snow falls and once the trail is established there may be only one or two grooming sessions a month of two to four hours. This will evolve as we learn. The impact on others will be kept to a minimum. Signage will be placed at trail heads, that grooming is in process so there are no surprises.

-Environmental

I have been asked to also provide an Environmental impact assessment. I can't really do this, I don't have any expertise in this area at all or the resources to provide one. The Shuswap Trail Alliance has a good one already, though it doesn't specifically cover this activity

I can guess if that is OK!

I am told that this is winter mule deer habitat-- I don't doubt it, the entire Larch Hills probably is.

Human activity always impacts the environment, we need to try and keep it to a minimum impact as possible.

This being said. I am also told that this area has been approved for year round activity, recreation, logging and mining operation, (gravel Pit). Possible trapping.

Medford road which runs through this area is active year round with motorized traffic though less in the winter. I have encountered Snowmobiles numerous times on my winter hikes.

Several time there are clear cut logging operations mostly done in the winter

There is a large scale grooming operations higher up at the Larch Hill Nordic areas.

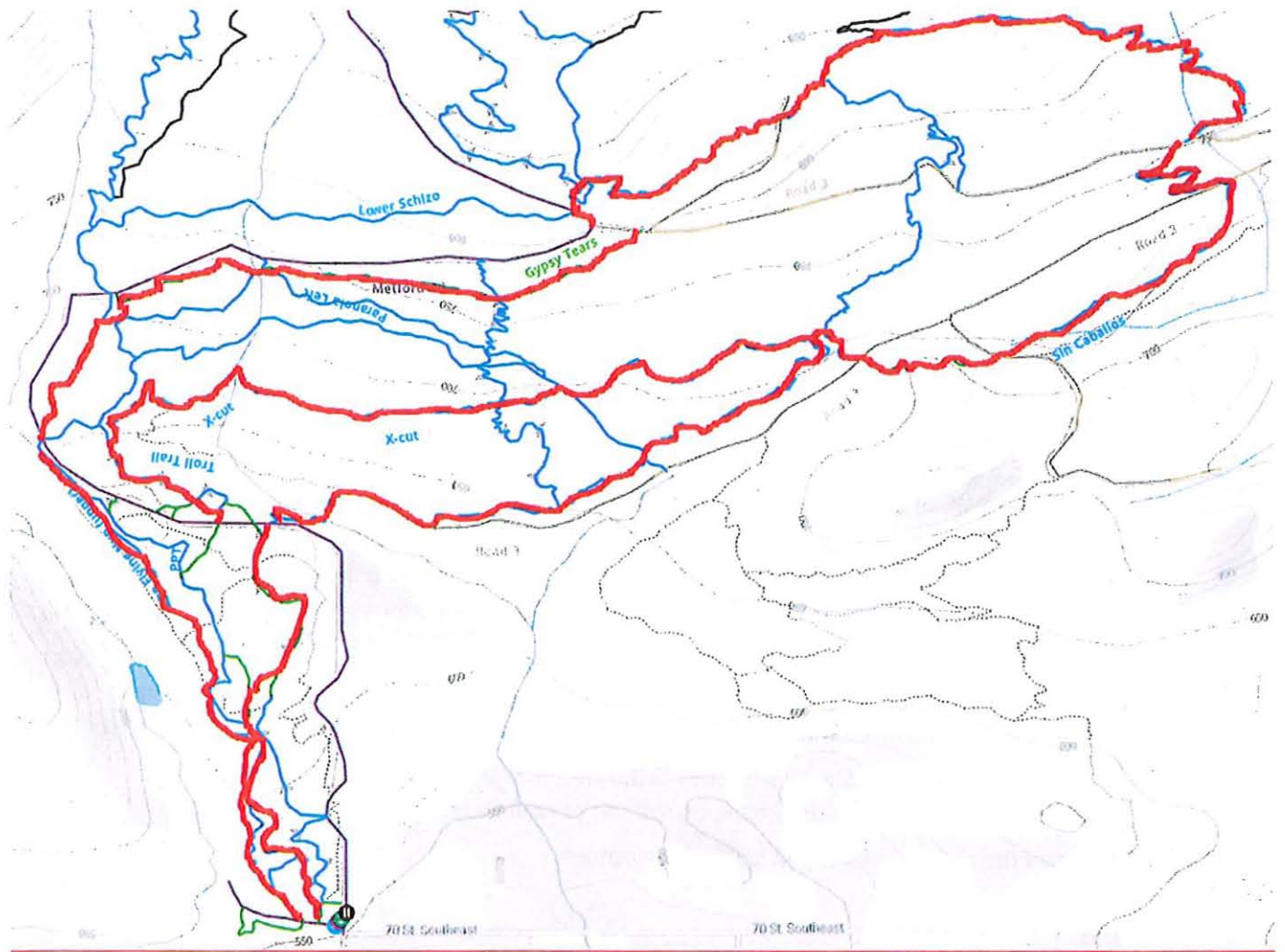
Will we be any more of an impact than the already existing operations during the winter, minimally. The biggest impact that the trail grooming operation will have will be that it introduces more people into areas of the trail system that fewer people go in the winter.

Winter activity in the past is usually concentrated on the trails below the 3 kilometer mark and the communication tower. As the map shows we plan to loop out further than this concentration. If things go as planned these trails may see use that they see during the summer months. Doubt it but maybe . Will this have an impact, probably, but measurable, probably not. About all I can guess at for now.

Conclusion

Nothing has been put into place yet, meaning I haven't laid down cold hard cash. Every thing is at the discussion phase. As an advise Fat bike rider and trail user I am hoping that we can work together and get this project off the ground then expand it to other areas around Salmon Arm. If it works as expected, it should make for a better trail experience for every one and we will wonder why we didn't do this from the beginning.

Brian Browning





Ministry of Forests,
Lands & Natural
Resource Operations

Recreation Sites
and Trails BC

Adrian Bostock
Shuswap Trail Alliance
1425shuswaptrails@gmail.com

File 16660-27/PA14-DCO-04/ REC202601

November 12th, 2020

Mr. Bostock,

In response to the Shuswap Trail Alliance's request to groom a winter non-motorized route on REC202601 South Canoe Recreation Trail, permission is hereby approved under Section 57 of the Forest and Range Practices Act (FRPA), as per the attached map and subject to the following conditions:

- a) Groomed surfaces are to be a maximum of 60cm wide;
- b) Please follow the attached *Winter Fat Bike Grooming Best Management Practices*;
- c) The trail location is to be groomed as mapped;
- d) Continue communication with Recreation Sites and Trails BC (RSTBC) regarding the winter use;
- e) Develop a monitoring program to estimate average use pre day, week, and/or month, including type of activities;
- f) Consider outreach and education. It is recommended that signs are installed indicating that "This Area is Mule Deer Winter Range. Do not harass or chase the deer. Keep dogs under control or on leash if deer are in the area. etc". RSTBC can assist with the wording of the signs if required.

Recreation Sites and Trails BC commits to the following:

- Providing trail head, enroute, trail / road crossing and other signage.
- Helping to coordinate all stake holders in the area so that potential conflicts can be avoided through signage, trail location and use of structures.

Please contact the undersigned if you have any questions.

Sincerely,

Marcia Bennett
Recreation Officer
Columbia Shuswap
Recreation Sites and Trails Branch

Ministry of Forests, Lands
and Natural Resource
Operations

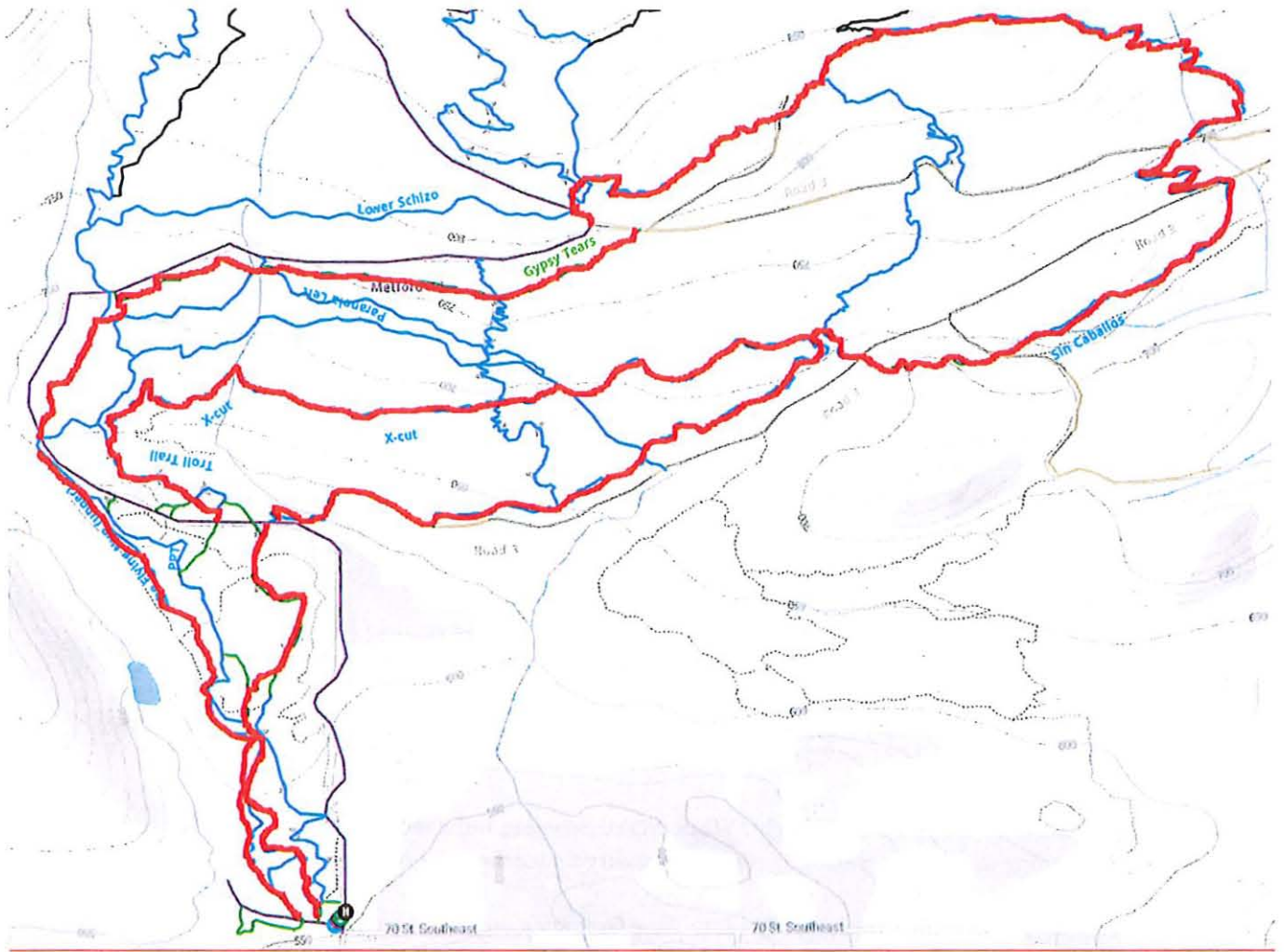
Recreation Sites and Trails Branch

Mailing Address:
PO Box 9158 RPO#3
Revelstoke BC V0E 3K0

Phone: (250) 805-6738
Fax: (250) 837-7626

Location:
1761 Big Eddy Road
Revelstoke BC

<http://www.sitesandtrailsbc.ca>



Winter Fat Bike Grooming Best Management Practices

Winter fat biking is growing in popularity. Winter fat biking provides a great alternative to other more traditional winter sports such as XC skiing & snowshoeing as winter fat biking can be done on frozen ground or ground that has been lightly covered in snow. The following is a list of guidelines that will aid volunteers in providing the best possible conditions for winter fat biking. Like most winter sports, trails are groomed to provide a consistent quality surface for trail users.

When to / not to groom:

- Minimum snow depth/snowfall of 3"-4" system-wide (early season / when starting with no snow). Any less would not provide enough depth to effectively operate the machine without going down to the dirt surface.
- The minimum Air temperature of 0 Degrees and falling (note, XC Ski Groomers follow stricter guidelines on air temps being -3 degrees and falling).
- Once a solid base of snow has been established through grooming it may be necessary to groom after snowfalls of 2" or more for re-establishing the trail surface and consistent conditions.
- Drifting / Wind Blown Conditions – It may be necessary to re-groom after significant drifting events. Note the grooming protocol for drifting under the best management practices.
- Ice Events – it is not advisable to operate the machine on surfaces that are primarily ice and dirt.

Timing for Grooming:

- Universally, for all winter sports best time to groom is in the evening / late at night. The purpose of this is to allow the cooler overnight temperatures to set up the snow (make it harder). This is also the time that the trail is least likely to be used. Trail Use on freshly groomed surfaces may result in rutting / post-holing due to the surface being the softest at the time of grooming.
- Exceptions for grooming at night. While Night grooming is the most optimal time, early morning or day time grooming may be necessary under the following circumstances:
- Forecast snowfall is to exceed 8" – Day Time Grooming may be necessary to help pack snow during the snow event as the grooming equipment has a hard time in fresh snow depths deeper than 8"
- Do you live in a "Polar Vortex" – Day Time Grooming may be necessary as this might be the only time of the day that temps are manageable to groom in (Day time temps around Zero or lower, with subzero night temps in the forecast).

- It Snowed overnight, the snow is wet/heavy, and the day time temps are forecasted to rapidly decrease throughout the day. This should be performed as early as possible in the morning to still allow the snow to set up ahead of regular use.

Other best Management Practices for Grooming:

- **Weight Biased Side** – The Snowdog (Compact B13ME) is weighted more on the left side due to its design. Other machines may be weighted differently, pay attention to this as understanding how the machine tracks on cross slopes can work to your advantage, or make things much more difficult. Certain trails will need to be groomed in certain directions based on where the weight biased of the machine is located relative to the high side of the trails. Please consult with experienced groomers if questioning what direction to groom is best for each trail. Proper planning will provide a much more desirable grooming and user experience, and be more efficient for groomer operators.
- **Multiple Passes** – The main goal for grooming is to push the air out of fresh snow so it can set up firm for use. Think Quality VS Quantity! It's usually better to pick a trail or set of trails to groom while allowing yourself the time to make an additional pass or two on these trails during your grooming session. While making additional passes, where ever possible offset subsequent passes to allow for some trail widening.
- **Grooming for Drifting** – This might be one of the most difficult tasks performed with the Snowdog, as the Snowdog likes to track up drifts and tip over vs going directly through drifts. If it has been determined that there is significant drifting over a section of trail the following steps may be necessary for both providing a good end product and for the safety of the Groomer Operator and Equipment.
 - Stomp through the drifted area several times with boots on the side of the trail that is nearest to the back slope / farthest from out outside edge with the goal of creating a bench. This may take a lot of time and effort but spending the time to perform this is necessary.
 - Creep the groomer through the drifted location slowly while attempting to get the machine to lean into the drift (the easiest way to do this is to have the left side of the machine tip into the high side of the drift/trail so forethought into the direction you are going to groom on each trail is necessary).
- **What not to do** – Do not attempt to just blast the groomer through drifts – this has been attempted before (many times in fact). This usually leads to the machine tracking off the trail (best case) or the machine rolling over (big pain in the butt/back).

For all grooming efforts, it may be necessary to make a call out on social media for people to snowshoe/pack snow ahead of grooming efforts when we have received larger than 8" snow volumes. Do not be afraid to do this. Many People love to help where they can.

Note: Grooming should only be performed as needed, over-grooming may result in a less than desirable snow surface and cause unnecessary wear to grooming equipment (\$\$\$). Ultimately,

Grooming for Fat Biking makes the trails manageable for fat biking. Once Groomed, the trails will usually get better the more passes they see with use as tires will help compact the snow surface better than the groomer can (think of sheep's-foot rollers used for compaction in construction and grading).

Maintenance issues with Equipment: Please Report all possible maintenance issues with equipment to the equipment manager/person responsible for equipment so these issues may be addressed asap.

Transparency and Team Work: It is best to keep all volunteers who are associated with Winter Fat Bike Grooming up to speed on the work we perform/planning to perform. This will promote transparency and trust within the group, minimize the duplication of efforts, and provide an open learning experience as we all likely learn something new every time volunteers go out to groom.

Note: The above information is based on grooming with a Snowdog or similar. This information is intended as guidelines.

Shuswap Trail Alliance Project Summary: 2020

City of Salmon Arm: Greenways Project Summary 2020

UPDATED: November 03, 2020 P/McP



Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - includes shared planning, training, marketing, and educational program development.

Pending City of Salmon Arm Greenways Projects: 2020						Partner Funding	STA Funded	In-Kind	Status	Partners	Newm	Fix m	Maintain m	Plan m	Signs #
1530	Salmon Arm - Bike (& School) Connectors Plan	\$2,058.95			In progress	City SA PO#40218									
1858	Salmon Arm - Brauagan Subdivision Signage	\$1,181.69			In progress	Mike Brauagan									0
2034	Salmon Arm - Fall Maintenance 2020	\$3,704.25			In progress	City SA									
2037	Salmon Arm - Foreshore (Raven) Trail - Monitoring 2020	to confirm				City SA/Advisory/ature Trust/MLNRO/SABNES									
1858	Salmon Arm - Hillcrest Subdivision Greenways 2018	\$17,635.99			In progress	City SA PO#48439	600								
2007	Salmon Arm - Planning (General) 2020				need funding	City SA									
	Salmon Arm - Shuswap Memorial Cemetery Trails - Upper Slope Trails				to confirm	City SA	2000								
	Salmon Arm - Townie Loop Sign Project				to confirm	City SA									?
2038	Salmon Arm - West Bay				need funding	ALIB/NIBL/SLIB/CSA/HA/CPR/CSRD/MPLA/STA/SCS									
1833	South Canoe - Gofath EQ Trail	see reserve			Signs/Blazes	EQ Trail/BC/BC-Sh/BC Horse Council/NOBCH									
	South Canoe - Pump Track				pending	CitySA/Rec Sites/SC Advisory partners									
1956	South Canoe - Rob Nash Memorial Shelter				In progress	City SA/STA/SC/SC/Outdoor School/Nash									
	South Canoe - Run Bike Loops Relamp				pending	CitySA/Rec Sites/SC Advisory partners									
2002	South Canoe - Trailhead Parking Support - 2020	\$2,000.00			to confirm	CitySA/Rec Sites/SC Advisory partners									
2016	South Canoe Upgrades/Planning/Qty -General 2020				In progress	CitySA/Rec Sites/SC Advisory partners									
2057	Peter Jannink Burdock Removal (Shuswap Naturalist Club)	\$2,200.00													
2020 Project Total Combined Value		\$28,780.88	\$0.00	\$0.00							2800	0	0	0	9

Additional Pending Projects of Note for Salmon Arm: 2020						Partner Funding	STA Funded	In-Kind	Status	Partners	Newm	Fix m	Maintain m	Plan m	Signs #
2005	Experience Development: Tourism (General)	Shuswap Tourism/SA MRDT (see below)			ongoing	ST/EDS/Operators/TOTA/Designation/BC/STS									
1741	KelaTasen (Nt'ida) Planning				need funding	ALIB/LSLIB/NIBL/Splate/In/STS/SORE/MLNRO/CSRD/ISA									
1939	LHT - General				In progress	STA/Rec Sites Trails/CitySA/Canoe/FP									
1946a	LHT - Southern Approach (Isa View)				need funding	STA/Rec Sites Trails/CitySA/Canoe/FP	12250								
1846	Secwepemc Landmarks Concept	BCRDP/STS funding reserve			In progress	STS Lakes Division/CSA/Arts/C/ST									
2020	Shuswap Regional Trail Strategy Roundtable 2020	\$3,212.74		\$1,339.32	In progress	Various/Rec Sites/CSRD/STLks Div/Fraser Basin/NHA, WO-18-230-079									
1948	Trail Guide Update - Paddle Mini-Guide (Blueways)	\$4,600.00			In progress	MRDT									
2004	MRDT - Trail Guide & Website update 2020	\$5,500.00				MRDT									
2018	MRDT - Trail Signage (en route trail signs)	\$3,800.00				MRDT									
2019	MRDT - Trail Signage (bike/bike icon plates)	\$2,000.00				MRDT									
2023	MRDT - Trail Signage (Secwepemc Landmark trailhead posts)	\$3,200.00				MRDT									
2024	MRDT - Online Trail Mapping Update	\$1,440.00				MRDT									
2030	MRDT - New Destination Trail Planning (SA)	\$5,620.00				MRDT									
2019 Additional Projects of Note Total Combined Value		\$29,272.74	\$0.00	\$1,339.32							12250	0	0	0	0

Pending City of Salmon Arm Greenways Projects: 2020						Partner Funding	STA Funded	In-Kind	Status	Partners	Newm	Fix m	Maintain m	Plan m	Signs #
2020 Pending Projects Total Combined Value		\$0.00	\$0.00	\$2,678.64							27300	0	0	0	0

Shuswap Trail Alliance Project Summary: 2020

City of Salmon Arm: Greenways Project Summary 2020

UPDATED: November 03, 2020 PMcP

Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - Includes shared planning, training, marketing, and educational program development.



Pending City of Salmon Arm Greenways Projects: 2020

	Partner Funding	BTA Funded	In-Kind	Status	
Projects (Completed): 2020					
	Partner Funding	BTA Funded	In-Kind	Status	
2009	Salmon Arm - Spring Maintenance 2020	\$2,159.91		Finished	City SA
2009	Salmon Arm - Spring Maintenance 2020	\$10,022.09		Finished	City SA
1846	Secwepemc Landmarks Concept	\$45,787.52		In progress	STB Lakes District/CBA/SA/UCST
2045a	Shuswap Memorial Cemetery Park Trails - Mt Bike Loop (BCRDF)	\$ 10,078.56			
2045a	Shuswap Memorial Cemetery Park Trails - Mt Bike Loop (BCRDF)	\$ 4,021.44			
2048	TD & RBC - 2020 Shuswap Trails Yellow Flag Iris Migration	\$10,000.00	\$2,468.55	Finished	
	Sub-Total	\$82,969.52	\$0.00	\$2,468.55	*Doesn't include GST

Newm	Fix m	Maintain m	Plan m	Signs #
		?		
		?		
1550				4
1550	0	0	0	4

Trail Tracking – new trail development

- Future projects: Tree Planting – 50 trees with Naturalist Society (2020);
 Ross Street Underpass (2020);
 Wildfire Fuel Load Management (South Canoe / Malibu project - 2020);
 Active Transportations initiatives and reserve funding;
 Ongoing greenways enhancements (S. Canoe and Hillcrest, 2,800 m projected);
 Trans Canada Highway improvements including parallel pathway; and
 Various sidewalk projects (75 m new by City proposed for 2020).
- 2019 Projects: Tree planting – 14 trees planted under Tree Canada Grant;
 Wildfire mitigation planning;
 Active Transportations reserve funding;
 Sidewalk install (77 m by City and 552 m through development); and
 Greenway network enhancement (7,894 m new trails created).
- 2018 projects: Tree planting - BC Hydro Re-Greening Program (urban area & Blackburn Park);
 Sidewalk install (509 m by City and 761 through development); and
 Greenway network enhancement (2,579 m new trails created).
- 2017 projects: Blackburn Park improvements (life trail);
 Sidewalk install (520 m by City);
 New Canoe Beach Crosswalk installed;
 Bicycle Route enhancement (1 km of sharrow painting); and
 Greenway network enhancement = 7,775 m new trails created
 4,050 m at South Canoe, 3,725 m at new Cemetery, and not including 6,000 m at
 Rubberhead).
- 2016 – 3,808 m new trail – mostly at South Canoe & new cemetery
 3,028 m new sidewalk (1,240 m city / 1,788 m developer)
- 2015 – 1,978+ m new trail (2,473 / 2,773 m) – mostly South Canoe & Park Hill
 1,020 m new sidewalk (30 m city / 990 m developer)
- 2014 – 2,697 m new trail (including rubberhead trails)
 55 m new sidewalk by City

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Item 7.5

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Traffic Safety Committee Meeting Minutes of November 19, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the Traffic Safety Committee Meeting held in Council Chambers, City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, on Thursday, November 19, 2020 at 9:00 a.m.

PRESENT:

Lisa Bennett	Direct Drive Driver Training
Norma Leslie	ICBC Driver Examiner
Scott West	RCMP
Cindy Laidlaw	BC Transit
Andrea Kathrein	SD83, Transportation Manager
Rob Niewenhuizen	City staff, Director of Engineering & Public Works
Darin Gerow	City staff, Manager of Roads & Parks
Jenn Wilson	City staff, City Engineer
Chris Moore	City staff, Engineering Assistant

ABSENT:

Marcel Bedard	City Staff, Bylaw Officer
David Dean	ICBC
Aimee Barre	Ministry of Transportation and Infrastructure

GUESTS:

The meeting was called to order at 9:00 a.m.

1. **Introductions and Welcome**
2. **Presentations**
3. **Approval / changes / additions to Agenda**

Moved: Andrea Kathrein

Seconded: Lisa Bennett

THAT: the Traffic Safety Committee Meeting Agenda of November 19, 2020, be approved, as amended.

CARRIED UNANIMOUSLY

4. **Approval of Minutes of November 14, 2019 Traffic Safety Committee Meeting**

Moved: Lisa Bennett

Seconded: Norma Leslie

THAT: the minutes of the Traffic Safety Committee Meeting of November 14, 2019 be approved as circulated.

CARRIED UNANIMOUSLY

5. **Old Business /Arising from minutes**

6. New Business

- a) B. Peterson - email dated June 19, 2020 - 3 Street and Alexander Street NE intersection - B. Peterson has requested a three way stop at this location to avoid confusion. City showed the committee a preliminary design to remove one leg of this intersection pending business and Council approval, committee approved this proposal.
- b) Ms. Mitchell - request - Parking concerns on 8 Street NE - Ms. Mitchell notes 8 Street NE is congested because of parking on both sides the street and is requesting no parking be allowed on one side of 8 Street NE. There are no significant issues noted by the Committee in this location and there is no recommended action.
- c) M. Peterson - email dated January 20, 2020 - 20 Avenue NE and Lakeshore Road NE corner - concerns expressed on 20th Avenue NE and Lakeshore Road during slippery road conditions. City notes that bank on the west side is 4m high and may meet the Ministry of Transportation's warrants for no post barriers. It is also noted that the road is banked in a manner that pulls cars the wrong way. Staff Sergeant West advises that there are no known fatalities in this location and that a higher risk would exist by keeping cars on the road . The Committee recommends no action.
- d) E. & M. Bonten - letter dated July 23, 2020 - Traffic speed on 10 Street SW - a request is made for speed signs / reduce speed limit on 10th Street SW. The Committee notes that the congestion controls the speed of vehicles. No action is recommended.
- e) B. Breitkreutz - Crosswalk at transit stop on Shuswap Street near 10th - The Committee recommends no action.
- f) B. Weicker - letter dated August 6, 2020 and Petition - Public Safety on 10 Avenue SE - 400 Block thru 600 Block - a request has been made to control the speed of traffic in this location. The City notes that there is an Auto Road connector detailed design coming forward in 2021 pending Council approval and notes that the road is busy but that speeds are reasonable. No action is recommended.
- g) Hidden Driveway sign - 5431 10 Avenue NE - The Committee considers that this driveway is very visible and no action is recommended.
- h) C. Wetherill - email dated May 12, 2020 - Intersection at Okanagan and 20 Street - a request has been made for a four way stop at this location. The Committee notes that the sightlines in this location are good and that winter road clearing is sufficient. The Committee acknowledges that the road is busy. No action is recommended.
- i) G. Dhaliwal - email dated August 4, 2020 requesting more speed signs on 10 Street SE and 20 Ave SE. The Committee recommends no action.

- j) G. Reich - email dated September 20, 2020 - 16 Street and Auto Road Intersection - The City notes that sightlines in this location are not adequate but that vegetation is on private property. The RCMP periodically enforce the speed in this area. The City recommends an intersection ahead warning sign and the Committee recommends that this signage be installed.
- k) B. Siebenga - request dated April 29, 2020 - No Parking signs - Harbourfront Drive NE - a request has been made for No Parking on the north side of Harbourfront Drive NE. The City will be imposing winter parking restrictions on the south side of Harbourfront Drive this year. The Committee recommends that the street parking be monitored at this location.
- l) W. Givens - email dated April 26, 2020 - Intersection of 30 Street NE and 20 Avenue NE - a request has been made for a four way stop at this location. The City is recommending a four way stop and the Committee supports this.
- m) R. Donatelli - email dated November 25, 2019 - request for road signage at 3480 30 Avenue NE - The Committee recommends no action.
- n) D. Gerow - email dated October 16, 2020 - Hillcrest School to 23 Street SE - request for a crosswalk from Hillcrest School to 23 Street SE. The Committee observes this is a low speed zone, but busy. It is not standard practice to install a crosswalk on local roads. The Committee recommends monitoring and considering limiting parking around the pathway access points.
- o) J. Marion - Online Submittal dated November 13, 2019 - Speeding in 30 St school zone - The Committee acknowledged that speeding in 30kmph zones is an ongoing issue. A number of proposed improvements to 30th were discussed. Committee expressed concerns about adding a four way stop at Okanagan and 30th or removing any left turn lanes. The crosswalks at the Field of Dreams and 9 Avenue are both flagged for Rapid Rectangular Flashing Beacons in 2021 (subject to budget). The RCMP regularly enforce the speed limits in this location. The Committee recommends using speed watch more regularly.
- p) K. Ritchie - email dated October 24, 2020 - Crosswalk safety measures - 21 Street NE at Turner Creek Trail - request received for additional safety measures at the crosswalk at this location. The City will review this through Rectangular Rapid Flashing Beacon evaluation and put this request in priority ranking.
- q) S. Alan - voice mail message May 8, 2020 - traffic violations on 10 Avenue SE near South Canoe School - Staff Sergeant West has noted this location and will arrange for period enforcement. The Committee discussed installing a four way stop. The City notes that north-south traffic is rare in this location and the City anticipates that vehicles will not stop at a four way stop outside of school hours due to traffic imbalance. The Committee recommends no action.

- r) **Accident Stats - Intersections** - The City will potentially be bringing forward high-accident locations for proactive discussions. The Committee agrees that one intersection per meeting should be considered.
- s) **Letter from Canoe Traffic Calming Work Group** - The RCMP note that speed enforcement is an issue. The City has prioritized Rectangular Rapid Flashing Beacons at the school crosswalk and could consider a four way stop at 50 Street and 70 Avenue. The Committee discussed snow clearing measures and safety noting that this is a number two priority route. The Committee recommends:
- Four way stop be installed at 50 Street and 70 Avenue.
 - Speed reader board be used when available
 - Rectangular Rapid Flashing Beacons be installed, when budget permits.
7. **Updates**
- a) Ross Street Underpass
 b) TCH Corridor Improvements - Phase 1
 c) TCH 4 laning
8. **Traffic Order Updates - no outstanding TOs.**
9. **Next meeting - May 5, 2021 - 9:00 a.m.**
10. **Adjournment**

Moved: Norma Leslie
 Seconded: Lisa Bennett

THAT: the Traffic Safety Committee Meeting of November 19, 2020 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:30 a.m.

 Chris Moore, Chair

Received for information by Council on the _____ day of _____, 2020.

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Item 7.6

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Mayor Harrison

Seconded: Councillor Wallace Richmond

THAT: the Shuswap Regional Airport (Salmon Arm) Commission Meeting Minutes of November 23, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

Shuswap Regional Airport (Salmon Arm) Commission

Minutes of a Meeting of the Shuswap Regional Airport (Salmon Arm) Commission held in Council Chambers of City Hall on November 23, 2020.

PRESENT:

Paul Demenok, CSRD (Area "C")
 Rene Talbot, CSRD (Area "D")
 Alan Harrison, City of Salmon Arm
 Tim Auger, Salmon Arm Flying Club
 Robert Niewenhuizen, Director of Engineering & Public Works, City of Salmon Arm
 Chelsea Van de Cappelle, Chief Financial Officer, City of Salmon Arm

ABSENT:

Rhona Martin, CSRD (Area "E")
 Terry Rysz, District of Sicamous

The meeting was called to order at 9:31 a.m.

1. Selection of Chairperson

Moved: Tim Auger
 Seconded: Paul Demenok
 THAT: Alan Harrison act as Chairperson for the Shuswap Regional Airport (Salmon Arm) Commission.

CARRIED UNANIMOUSLY

2. Minutes of Meeting – December 10, 2019

Moved: Paul Demenok
 Seconded: Tim Auger
 THAT: The minutes of Shuswap Regional Airport (Salmon Arm) Commission Meeting of December 10, 2019, be approved.

CARRIED UNANIMOUSLY

3. 2021 Budget

Robert Niewenhuizen, Director of Engineering & Public Works and Chelsea Van de Cappelle, Chief Financial Officer explained the proposed 2021 Operating Budget. Chelsea Van de Cappelle, Chief Financial Officer reviewed projected fuel sales, expenditures and funding mechanisms, major maintenance plans, assessments and studies, etc.

Robert Niewenhuizen, Director of Engineering & Public Works reviewed the City's BC Air Access Grant and provided an update on the Taxiway Way Charlie Project. Robert Niewenhuizen advised that the project is nearing completion and overall has been well managed. As a result, cost savings have allowed for additional lighting upgrades to be

Shuswap Regional Airport (Salmon Arm) Commission Minutes for November 23, 2020

considered under the BC Air Access Grant. Accordingly, the Lighting Upgrades Reserve may no longer be required and the funds could be reallocated. It was agreed that the funds would remain in reserve until completion of the project and reviewed with the 2022 Budget. Robert Niewenhuizen also briefly reviewed proposed airport hangar developments.

Moved: Paul Demenok

Seconded: Tim Auger

THAT: The 2021 Budget be accepted as presented.

CARRIED UNANIMOUSLY

4. Financial Reserves

The status of the financial reserve accounts were reviewed and discussed.

Discussion ensued on the usefulness of targets for reserves being provided for consideration with the budget in the future. Chelsea Van de Cappelle, Chief Financial Officer advised that this could be incorporated.

5. Any Other Business

Robert Niewenhuizen, Director of Engineering & Public Works provided an update on the recreational airport traffic in 2020, the installation of a Mo Gas/Diesel Fuel Tank in partnership with the Salmon Arm Flying Club, Safety Management System and Transport Canada Requirements.

6. Adjournment

Moved: Rene Talbot

Seconded: Paul Demenok

THAT: The meeting of the Shuswap Regional Airport (Salmon Arm) Commission of November 23, 2020, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:03 a.m.

Received as information by Council on the
14th day of December, 2020.

Alan Harrison
Chairperson

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Item 7.7

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Lindgren

Seconded: Councillor Wallace Richmond

THAT: the Environmental Advisory Committee Meeting Minutes of December 4, 2020, be received as information.

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Notes of the **Environmental Advisory Committee Work Planning Meeting** held by electronic means on **Friday, December 4, 2020** at 9:00 a.m.

PRESENT:

Councillor Sylvia Lindgren	City of Salmon Arm, Chair
Julia Beatty	Citizen at Large
Warren Bell	WA:TER
Carmen Fennell	Citizen at Large
Janet Aitken	Salmon Arm Nature Bay Enhancement Society (SABNES)
Pauline Waelti	Shuswap Environmental Action Society (SEAS)
John McLeod	Salmon Arm Farmers Institute (SAFI)
Janet Pattinson	Shuswap Naturalist Club
Luke Gubbels	Canoe Forest Products
Barb Puddifant	City of Salmon Arm, Executive Assistant, Recorder

ABSENT:

Vacant	Shuswap Construction Industry Professionals (SCIP)
Louis Thomas	Councillor, Neskonlith Indian Band
Ron Pederson	Salmon Arm Fish and Game Club
Gina Johnny	Councillor, Adams Lake Indian Band
Amy Vallarino	Citizen at Large
Gary Arsenault	Shuswap Pro Development Association

GUESTS:

The meeting was called to order at 9:03 a.m.

1. **Introductions and Welcome**

2. **Approval of Agenda and Additional Items**

Moved: Luke Gubbels
 Seconded: John McLeod
 THAT: the Environmental Advisory Committee Meeting Agenda of December 4, 2020 be approved as presented.

CARRIED UNANIMOUSLY

3. **Approval of Minutes of February 7, 2020 Environmental Advisory Committee Meeting**

Moved: Luke Gubbels
 Seconded: Warren Bell
 THAT: the Minutes of the Environmental Advisory Committee Meeting of February 7, 2020 be approved.

CARRIED UNANIMOUSLY

Approval of Minutes of March 13, 2020 Environment Advisory Committee Work Planning Meeting

Moved: Carmen Fennell

Seconded: Luke Gubbels

THAT: the Minutes of the Environmental Advisory Committee Work Planning Meeting of March 13, 2020 be approved.

CARRIED UNANIMOUSLY

4. Presentations

5. Old Business / Arising from Minutes

a) Salmon Arm Community Energy & Emissions Plan - work group recommendations

The recommendations of the three working groups were reviewed. Councillor Lindgren suggested that a working group be formed to identify 6 - 8 priority items addressing the Salmon Arm Community Energy & Emissions Plan. These priority items will be brought forward to the Committee and narrowed down to a top 5 by the Committee with the top 5 to form a recommendation to Council. This working group will be comprised of Councillor Lindgren, Julia Beatty, Pauline Waelti, Janet Pattinson and Warren Bell.

Councillor Lindgren will contact Patricia Dehnel, Community Relations Manager, Community Energy Association to request clarification on data used to compile statistics in the CEEP report.

b) Review of EAC Work Planning meeting of March 13, 2020

Councillor Lindgren outlined the need to narrow down the work plan to two areas at this time and suggested Bylaw review and education.

The Committee discussed brochures, pamphlets and an advertising campaign. An Eco Fair was discussed that would include the Committee partnering with other local environmental groups. Janet Pattinson will contact Serena Caner, Shuswap Food Action Society to discuss and Councillor Lindgren will contact Jenny Carter from Greenspace. Councillor Lindgren suggested that a working group be established to compile a list of potential participants and a method of reaching out to other community groups.

c) **Climate Action Update**

There were no updates provided.

6. **New Business**

a) **Removal of Rodenticides from Schedule A [Permitted Pesticides] from City of Salmon Arm Pesticide Use Control Bylaw No. 3744**

The Committee discussed the need for education based on the science of using poison to control rodent population. Once this information is gathered a recommendation to Council could be made by the Committee.

b) **Correspondence from B. Blair dated October 4, 2020 - Ecosystem Impacts - referred by Mayor and Council to the EAC at the Regular Council Meeting of October 13, 2020**

The Committee discussed B. Blair's letter and recommendations as well as the issues and potential dangers in using rodenticides. Councillor Lindgren will contact Deanna Pfeiffer, Owl Watch BC to present to the Committee at the January 15, 2021 meeting. It was also suggested that Chris Gill attend the January 15, 2021 meeting. Councillor Lindgren indicated that educating the public on alternatives to the use of poison would be important and suggested handing out education material to the public.

7. **Other Business &/or Roundtable Updates**

The virtual meeting ended due to technical difficulties.

8. **Next Meeting - January 15, 2021**

9. **Adjournment**

The virtual meeting ended at 10:08 a.m.

Councillor Sylvia Lindgren, Chair

Received for information by Council the _____ day of _____, 2020.

Item 7.8

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Mayor Harrison

Seconded: Councillor Lavery

THAT: the Active Transportation Committee Meeting Minutes of December 7, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the Meeting of the Active Transportation Task Force held by electronic means on Monday, December 7, 2020 at 10:00 a.m.

PRESENT:

Mayor Alan Harrison	City of Salmon Arm, Chair
Councillor Tim Lavery	City of Salmon Arm, Chair
Phil McIntyre-Paul	Shuswap Trail Alliance
Craig Newnes	Downtown Salmon Arm
Marianne VanBuskirk	School District No. 83
David Major	Shuswap Cycling Club
Joe Johnson	Greenways Liaison Committee
Anita Ely	Interior Health
Kristy Smith	Social Impact Advisory Committee
Blake Lawson	Citizen at Large
Steve Fabro	Citizen at Large
Kathy Atkin	Citizen at Large
Camilla Papadimitropoulos	Citizen at Large
Gary Gagnon	Citizen at Large
Chris Larson	City of Salmon Arm, Planner
Jenn Wilson	City of Salmon Arm, City Engineer
Barb Puddifant	City of Salmon Arm, Recorder

ABSENT:

Lana Fitt	Salmon Arm Economic Development Society
Shelly Witzke	Councillor, Adams Lake Indian Band
Louis Thomas	Councillor, Neskonalith Indian Band

GUESTS:

Kate Berniaz	Ministry of Transportation and Infrastructure, Corporate Initiatives Branch, Transportation Programs Manager
Jesse Skulmoski	Ministry of Transportation and Infrastructure, Corporate Initiatives Branch, Director of Strategic Initiatives
Erik Lachmuth	Ministry of Transportation and Infrastructure, District Manager, Transportation for Okanagan Shuswap District
Johanna Bleecker	Ministry of Transportation and Infrastructure, Corporate Initiatives Branch, Program Evaluation Analyst

The meeting was called to order at 10:10 a.m.

1. **Call to Order, Introductions and Welcome**
2. **Acknowledgement of Traditional Territory**
3. **Approval of Agenda and Additional Items**

The Agenda for the December 7, 2020 Active Transportation Task Force Meeting was approved by general consensus of the Task Force members.

4. Approval of minutes from November 16, 2020

Moved: Camilla Papadimitropoulos

Seconded: Alan Harrison

THAT: The minutes of the Active Transportation Committee Meeting of November 16, 2020 be approved.

CARRIED UNANIMOUSLY

5. Presentations

Kate Berniaz, Transportation Programs Manager, Jesse Skulmoski, Director of Strategic Initiatives, Erik Lachmuth, District Manager, Transportation for Okanagan Shuswap District, Jesse and Johanna Bleecker, Program Evaluation Analyst, Transportation Programs and Corporate Initiative Branch.

Kate Berniaz, Erik Lachmuth, Jesse Skulmoski and Johanna Bleecker provided an outline of the provincial philosophy on Active Transportation, an overview of the Active Transportation Design Guide and provincial support for Active Transportation by way of education, funding opportunities and partnership building.

6. Old Business / Arising from Minutes

a) Continuation of January 11, 2021 presentation to Council discussion

Blake Lawson provided an outline of a draft of recommendations to Council compiled from information provided by Task Force Members and the emerging vision of the Task Force. Task Force members will review the draft and provide additional ideas via the Trello platform. The draft will be further discussed at the January 4, 2021 meeting of the Task Force.

Councillor Lavery and Mayor Harrison spoke regarding the purpose of the recommendations to Council and to educate Council on the importance of an Active Transportation plan.

7. New Business**8. Other Business &/or Roundtable Updates, Ideas and Questions****9. Next Meeting - January 4, 2021 - 10:00 a.m. to 11:30 a.m.**

Presentation by Brian Patterson of Urban Matters

10. Adjournment

Moved: Steve Fabro

Seconded: Joe Johnson

THAT: the Active Transportation Task Force Meeting of December 7, 2020 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 11:27 a.m.

Mayor Alan Harrison, Co-Chair

Councillor Tim Lavery, Co-Chair

Received for information by Council the day of , 2020.

Item 7.9

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: the Social Impact Advisory Committee Meeting Minutes of November 20, 2020, be received as information.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

Minutes of the **Social Impact Advisory Committee** meeting held electronically on **Friday, November 20, 2020**, at 8:00 a.m.

PRESENT:

Councillor Louise Wallace Richmond	City of Salmon Arm, Chair
Dawn Dunlop	Canadian Mental Health Association
Kristy Smith	Okanagan Regional Library
Gudrun Malmqvist	Shuswap Family Centre
June Stewart	Shuswap Children's Association
Jen Gamble	Shuswap Immigrant Services
David Parmenter	Interior Health Association-Mental Health
Jane Shirley	Shuswap Area Family Emergency (SAFE) Society
Kim Sinclair	Aspiral Youth Partners
Erin Jackson	City of Salmon Arm, Recorder

ABSENT:

Jo-Anne Crawford	Okanagan College Shuswap Association for Community Living (SACL)
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GUEST:

Councillor Sylvia Lindgren	City of Salmon Arm
Lindsay Wong	Downtown Salmon Arm
Colleen Ingram	Salmon Arm and Shuswap Lake Agricultural Association
Patti Thurston	Shuswap Family Centre

The meeting was called to order at 8:00 a.m.

1. **Introductions**
2. **Presentations**
3. **Approval of Agenda and Additional Items**

Item 7.a – L. Robertson – letter dated September 10, 2020 – Fair Grounds

Moved: Kim Sinclair

Seconded: Gudrun Malmqvist

THAT: the Social Impact Advisory Committee Meeting Agenda of November 20, 2020, be approved with addition.

CARRIED UNANIMOUSLY

4. **Approval of Minutes of November 22, 2019 Social Impact Advisory Committee Meeting**

Moved: Kristy Smith

Seconded: Kim Sinclair

THAT: the minutes of the Social Impact Advisory Committee Meeting of November 22, 2019 be approved as circulated.

CARRIED UNANIMOUSLY

5. **Old Business/Arising from minutes**

6. **New Business**

a) **Alternate Representative of the Social Impact Advisory Committee on the City of Salmon Arm Active Transportation Task Force**

Moved: Dawn Dunlop

Seconded: David Parmenter

THAT: Patti Thurston be appointed as the alternate representative of the Social Impact Advisory Committee on the Active Transportation Task Force.

CARRIED UNANIMOUSLY

b) **Homeless Outreach Worker**

Dawn Dunlop advised that CMHA has an external posting out for recruitment of a Homeless Outreach Worker. CMHA also has rent supplements for market housing available, though there is very limited vacancy at present.

Moved: Dawn Dunlop

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee strongly encourages Council to consider the recommendations of the SIAC and the Community Housing Strategy regarding increasing social development capacity.

CARRIED UNANIMOUSLY

c) **Quorum**

Councillor Wallace Richmond advised the committee that in light of issues achieving quorum, the Terms of Reference may need to be amended. If there continues to be problems with regular attendance and three consecutive meetings are missed, members may be removed.

7. Other Business &/or Roundtable Updates**a) L. Robertson - letter dated September 10, 2020 - Fair Grounds**

Colleen Ingram, representing the Salmon Arm and Shuswap Lake Agricultural Association and Councillor Sylvia Lindgren, the City's representative on the SASLAA Board were present at the meeting to discuss the issue of homelessness at the Fair Grounds. There are concerns with safety, use of the buildings and vandalism. SASLAA has hired a security guard to patrol but are looking for some help to address the situation.

Moved: Dawn Dunlop

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee recommends to Council that the City convene a meeting with community partners to develop a coordinated approach to support the Salmon Arm and Shuswap Lake Agricultural Association with respect to issues at the Fall Fair Grounds.

CARRIED UNANIMOUSLY

8. Next meeting - Friday, January 15, 2021 at 8:00 a.m.**9. Adjournment**

Moved: Dawn Dunlop

Seconded: June Stewart

THAT: the Social Impact Advisory Committee Meeting of November 20, 2020 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:57 a.m.

Councillor Louise Wallace Richmond, Chair

Minutes received as information by Council at their Regular Meeting of 2020.

Item 8.1

CITY OF SALMON ARM

Date: December 14, 2020

Board in Brief - November 2020

Vote Record

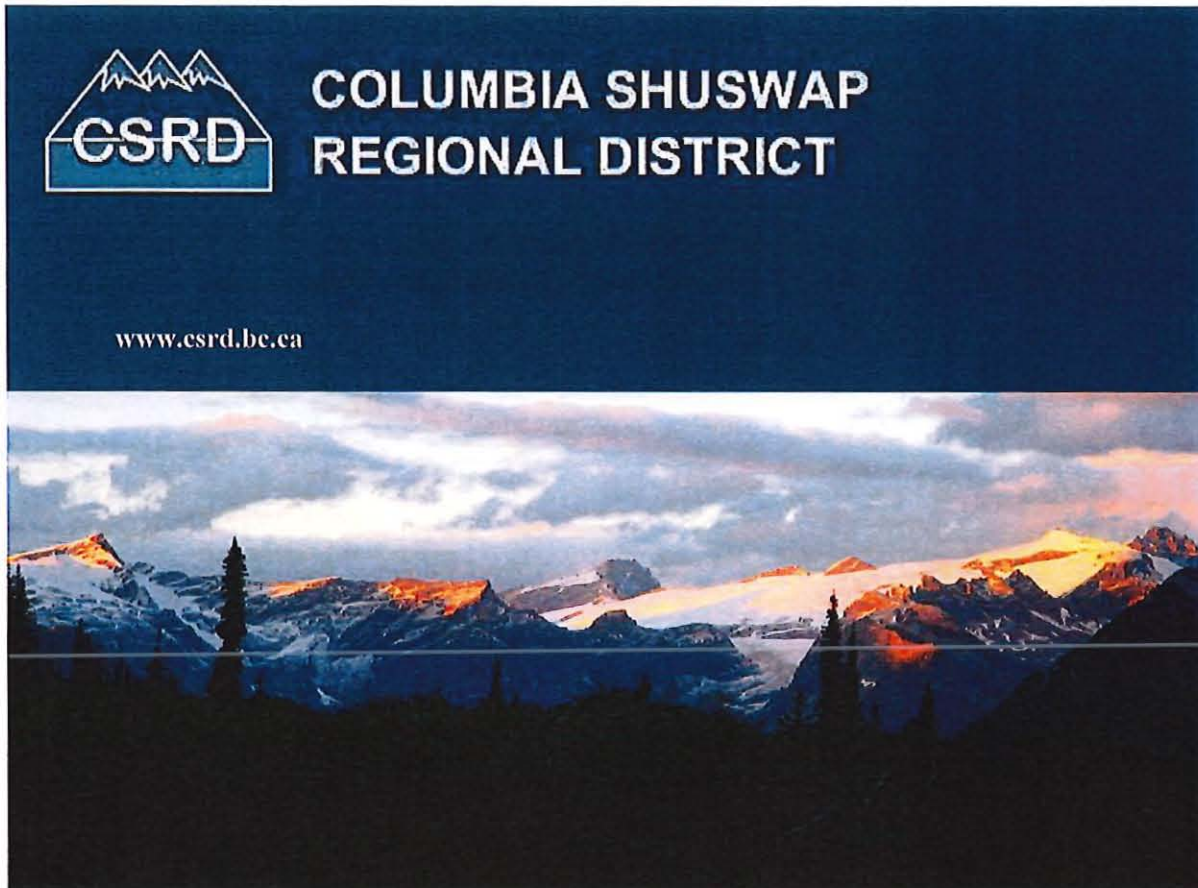
- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

Caylee Simmons

From: Columbia Shuswap Regional District <communications@csrd.bc.ca>
Sent: November-24-20 1:36 PM
To: Caylee Simmons
Subject: #YourCSRD - November 2020



#YourCSRD - November 2020

November 2020



Web version

Highlights from the Regular Board Meeting

Inaugural Proceedings

Election of Chair and Vice-Chair

Columbia Shuswap Regional District (CSRD) Board of Directors selected a chairperson at their November Regular Board Meeting. CSRD Director and City of Salmon Arm Councillor Kevin Flynn will continue for a second term as Board Chair, while Electoral Area E Director Rhona Martin will also continue her role as Vice-Chair. Both positions were elected by acclamation. **View press release.**



Announcements

Statistics for the First Live-streamed CSRD Board Meeting via Zoom October 2020

The Board reviewed a report from staff regarding the October live-streamed meeting. A six-month trial period is in place for the live-streaming service using the Zoom platform. **View report.**

News Release - Masks now Required at CSRD Office & CSRD-Owned Public Facilities (October 30, 2020)

The CSRD Board discussed the mask wearing policy which was adopted in advance of a provincial mask-wearing directive issued by the Provincial Health Officer (PHO) on November 19, 2020. Adjustments to CSRD policies were also made on November 20, in response to the PHO's orders. **View October 30 Release. View November 20 release.**

Correspondence

Ministry of Municipal Affairs and Housing, COVID-19 Safe Restart Grant for Local Governments (November 2, 2020)

The Board received a letter from Kaye Krishna, Deputy Minister, Ministry of Municipal Affairs and Housing, advising the CSRD is the recipient of a \$645,000 in grant under the COVID-19 Safe Restart Grant for Local Governments. CSRD staff will be reviewing eligible costs and COVID-19-related expenses and will bring a report back to the Board. **View Letter.**

Canadian Pacific Re: 2020 Holiday Train Update (November 12, 2020)

The Board received a letter regarding changes to the popular Holiday Train event due to COVID-19. CP Rail will be hosting a virtual concert in lieu of the typical CP Holiday Train this year. The event will raise money and awareness and help local food banks collect much-needed donations. Serena Ryder and The Trews will headline the "CP Holiday Train at Home" concert, which will also feature performances by JoJo Mason, Logan Staats and Kelly Prescott.

Visit facebook.com/canadian.pacific or [@Canadian.Pacific](https://twitter.com/Canadian.Pacific) on Facebook to watch the live premiere on Saturday, December 12 at 6 p.m. MT. An archived version of the show will remain on the page for later viewing.

CP will make a donation to the local food banks that were funded the last time the CP Holiday Train visited CSRD communities. With the "CP Holiday Train at Home" concert, CP also hopes to inspire donations even though local shows won't occur. Viewers looking to donate will be directed to Food Banks Canada.

CSRD Directors gave enthusiastic support to the program and directed CSRD staff to use its communications platforms to help spread the word about the event. **View letter.**

Business General & Business by Area

2021 Board and Committee Meeting Schedule

The Board approved the 2021 Board and Committee Meeting Schedule without any changes from the draft. **View report. View schedule.**

Grant-in-Aid Requests

The Board approved allocations to organizations to Electoral Areas A, C, D and E from the 2020 electoral grants-in-aid. Directors Paul Demenok and Rene Talbot excused themselves from this portion of the meeting due to conflict of interest. **View report.**

Nicholson Aquifer Water Quality Monitoring Policy Update

The Board received an update report regarding the Nicholson Aquifer Water Quality Monitoring Policy. To date, residents of Nicholson, located in Electoral Area A, are not supporting any CSRD effort to develop a community water system or conduct further groundwater testing.

Due to the health implications associated with the groundwater drinking source for the residents, Electoral Area A Director Karen Cathcart and other CSRD officials remain concerned. The Board passed a motion at the Thursday, November 19 Regular Board Meeting to discuss the issue further, with a view towards advocating additional involvement from the Province. **View report. View press release.**

Golden/Area A Mosquito Control Program – 2020 Operating Reserve Authorization

The Board agreed to authorize the transfer of \$29,500 from the Golden/Area A Mosquito Control Operating Reserve to the 2020 budget for Golden/Area A Mosquito Control Program to fund additional 2020 mosquito control treatments. **View report.**

Scotch Creek/Lee Creek Mosquito Control Program – Operating Reserve Funds

The Board authorized an expenditure of up to \$2,500 plus applicable taxes from the operating reserve of the Scotch Creek/Lee Creek Mosquito Control Program Budget to complete a Pest Management Plan update. **View report. View press release.**

Canada-British Columbia Investing in Canada Infrastructure Program- Rural and Northern Communities Grant Application.

The Board approved the submission of an application for grant funding to the Investing in Canada Infrastructure Program – British Columbia - Rural and Northern Communities Infrastructure fund to a maximum amount of \$6,312,198 representing 100% of the total eligible costs for flood erosion mitigation work and infrastructure along Newsome Creek in the community of Sorrento. **View report. View press release.**

Community Emergency Preparedness Fund Grant Application

The Board approved the submission of an application to the Community Emergency Preparedness Fund Evacuation Route Planning fund for a maximum amount of \$24,380 to complete evacuation route plans for the electoral areas encompassed within the Shuswap Emergency Program service area. **View report.**

Secwepemc Landmarks Project – Community Economic Recovery Infrastructure Program Grant Application

The Board authorized an application to the Community Economic Recovery Infrastructure Program to a maximum of \$290,547 for the development and implementation of the Secwepemc Landmarks project. **View report.**

Little Shuswap Lake Band and CSRD Protocol Draft Agreement

A draft agreement between the Band and the CSRD will receive additional review by relevant Electoral Area Directors and members of CSRD staff. Once this has taken place, a report will come back to the Board for discussion.

Revelstoke Area B Economic Opportunity Funds (EOF) - Redirection of Funds

The Board supported the redirection of \$37,302 of surplus EOF funds previously provided to the City of Revelstoke for an Air Charter program towards a city-run Ski Shuttle Service. **View report.**



LAND USE MATTERS

Business General

UBCM Housing Needs Reports Grant Program

The Board agreed to apply for a UBCM Housing Needs Reports Program grant up to \$45,000 to complete Housing Needs Reports for CSRD Electoral Areas B, D and F. This was similar to a grant which was received for the recently completed Housing Needs Assessments for Electoral Areas C and E. It was determined there was no need for a Housing Needs Assessment grant for Electoral Area A, as it is included in an assessment conducted by the Town of Golden. **View report.**

Development Permits (DPs), Temporary Use Permits (TUPs) & Development Variance Permits (DVPs)

Electoral Area D: Development Variance Permit No. 751-01 (Matheson)

The subject property is located at 3 Deep Creek Road, Rancho. The applicant has installed a free-standing sign on the subject property that is considerably larger and higher than zoning regulations permit. Variances to the maximum sign face area and maximum sign height were being sought in order to make the sign lawful and prevent further bylaw enforcement actions. The Board concurred with the staff recommendation and denied the DVP. **View report.**

Electoral Area B: Development Variance Permit No. 851-06 (Sylvester-Astra)

The subject property is located at 1521 Mount Begbie Road, West Revelstoke. As a result of bylaw enforcement action, the applicant applied in March 2020 to seek approval for an existing manufactured home to remain on the property. The requested variance is to allow a secondary dwelling unit as an independent structure (detached) on a parcel less than two hectares. The Board approved the DVP. **View report.**

Zoning, OCP and Land Use Amendments

Electoral Area B: Electoral Area B Official Community Plan Amendment (Dow/Pors) Bylaw No. 850-14 and Electoral Area B Zoning Amendment (Dow/Pors) Bylaw No. 851-17

The agent has applied to re-designate and rezone the subject parcel at 3270 Loschinski Road, approximately 3.5 km west of the City of Revelstoke. The applicant wants to rezone and redesignate the property to add three to six tourist cabins to the subject property. The property owners currently reside in a single family dwelling on the property, and will operate the cabin rentals themselves. They proposed to redesignate the portion of the property where up to six tourist cabins will be located from SH – Small Holdings to RC – Resort Commercial and rezone that same portion of property from SH – Small Holdings to RC2 – Resort Commercial 2, with a special

regulation to restrict the number of tourist cabins to six. A development permit was also required for the proposal. The Board adopted the bylaw and agreed to issue the development permit. **View report. View DP report.**

Electoral Area B: Electoral Area B Official Community Plan Amendment (Aspeslet) Bylaw No. 850-15 and Electoral Area B Zoning Amendment (Aspeslet) Bylaw No. 851-20

The agent has applied to re-designate and rezone the subject parcel at 698 Hill Creek Rd, Galena Bay in order to facilitate the subdivision of the property into three lots of roughly 2 ha each. The applicant is proposing to amend the Official Community Plan designation from SH – Small Holdings to RR2 – Rural Residential and amend the zoning designation from SH – Small Holdings to RR2 – Rural Residential. The Board gave the amendment second reading and delegated a public hearing. **View report.**

Electoral Area C: Electoral Area C Official Community Plan Amendment (Herald's Bay) Bylaw No. 725-20

The subject properties are located at 4990 Sunnybrae-Canoe Point Road and 5139 Sunnybrae-Canoe Point Road. The applicant would like to amend the Official Community Plan Bylaw No. 725 in order to subdivide the subject properties into two fee simple lots and a 14 lot residential bare land strata with two common properties and a lot line adjustment with 5174 Sunnybrae-Canoe Point Road. The bylaw amendments propose redesignating properties to RR2 (Rural Residential 2) with a site-specific regulation for density. The Board gave the amendment second reading and delegated a public hearing. **View report.**

Release of In-Camera Resolutions

The following resolutions were released from the In-Camera session of the November 19, 2020 meeting:

The Board ratified the terms of the Memorandum of Agreement between the Canadian Union of Public Employees (CUPE) Local 1908 and the Columbia Shuswap Regional District. This agreement is effective for five years from 2021 to 2025.

The Board re-appointed the following citizens to the Electoral Area A Local Advisory Committee for a one-year term ending December 31, 2021:

Tom Blencowe
Derek Smith
Ian Rowe
Craig Chapman
Doug Whiting
Pearson Farnsworth
Mandy Cattle
Denise Darbyshire.

NEXT BOARD MEETING

The Regular CSRD Board Meeting will be held Thursday, December 10, 2020 at 9:30 AM at the CSRD Boardroom, 555 Harbourfront Drive NE, Salmon Arm.

Any scheduling changes to the start time will be noted on the events tab of the CSRD's webpage. Due to COVID-19 physical distancing provisions, a maximum number of six citizens will be allowed to be in attendance on a first come, first served basis (no reservations).

Protocols to protect the health and well being of the public, staff and Directors will be in place. Residents can also watch the live-stream version on the Zoom platform. Information on how to register will be available on the Events tab of the CSRD website as of December 4, 2020.



Salmon Arm, BC V1E 4P1
www.csr.bc.ca | 250.832.8194

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Unsubscribe

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Item 9.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: Council authorize submission of a Crown Tenure Assignment for the transfer of rights of land tenure for the Kault Hill communications tower to the City of Salmon Arm.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond



File 5600.01.05.02

TO: His Worship Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

DATE: November 26, 2020

SUBJECT: **KAULT HILL COMMUNICATION TOWER – CROWN TENURE REASSIGNMENT**

STAFF RECOMMENDATION

THAT: Council authorize submission of a Crown Tenure Assignment for the transfer of rights of land tenure for the Kault Hill communications tower to the City of Salmon Arm.

BACKGROUND

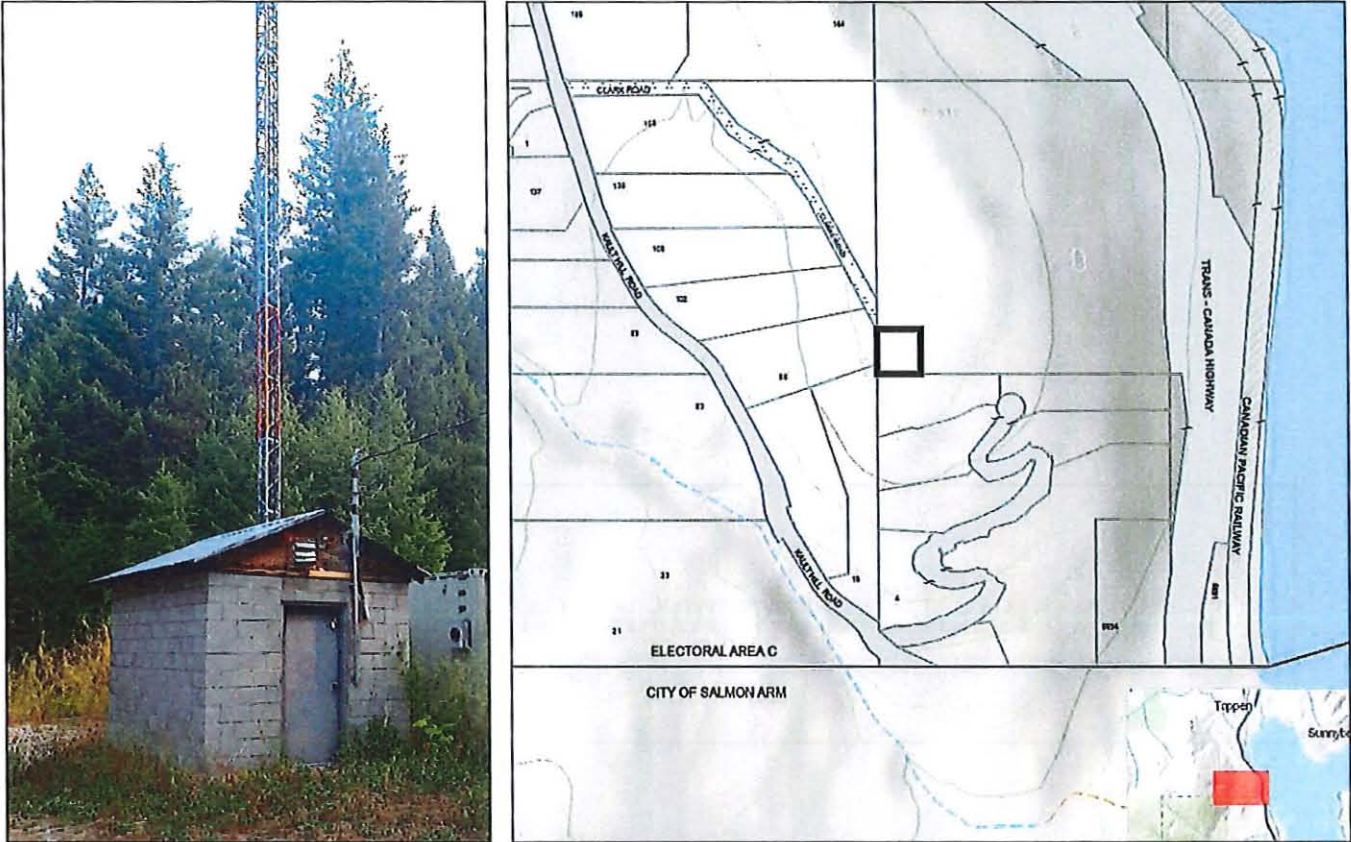
In September 2020, the City was contacted by Corus Entertainment Inc. (Corus) to inform us that they were in the process of decommissioning several Corus/Global TV Re-broadcast sites including the operation at Salmon Arm, Kault Hill. The tower is located on crown lands just north of the City limits within in Electoral Area C, see location map and photo included in this report.

The City has a lease with Omega Communications (acting on behalf of Corus) on the Kault Hill tower for our primary radio communications hub (monthly fee of \$227.24). This tower is critical to the operation of the City's Water & Sewer infrastructure specifically the SCADA (Supervisory Control and Data Acquisition) systems which monitors and control our operations remotely.

Though our discussions with Corus they have agreed not to decommission the tower and have offered to transfer ownership of the tower to the City for \$1.00, for which they will provide a bill of sale. This would be an "as is where is" arrangement, they will also provide the City with an environmental sign off ensuring that the site is free of any contaminations, etc.. The other requirement for this transfer of ownership is for the City to take over the Crown Land lease for the property on which the site sits. The tenure assignment application has an application fee of \$300.00 and it must include a endorsed by Council Resolution.

Staff feel that it is in the best interest of the City to obtain ownership of the Kault Hill communications tower. The savings in the monthly lease fee would offset the expense of owning this infrastructure so it would not have a negative impact on current or future budgets.

We respectfully ask that Council authorize staff to proceed with the submission of the Crown Tenure Assignment documents for the rights of land tenure and to finalize the transfer of ownership of the Kault Hill tower and accessory building from Corus to the City.



Respectfully submitted,

Robert Niewenhuizen, ASCT
 Director of Engineering and Public Works

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Item 9.2

CITY OF SALMON ARM

Date: December 14, 2020

THAT: Council has no objection to the issuance of a lounge and special event area liquor license to the Shuswap Cider Company and submits the following:

- a) The issuance of the lounge and special event area liquor license will have no impact on the surrounding residents;
- b) There will be no detrimental impact on the community if the application is approved; and
- c) The views of the neighbouring residents have not been gathered due to the considerable physical distance (125m) to the nearest residential building.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

TO: His Worship Mayor Harrison and Council
DATE: November 20, 2020
SUBJECT: Shuswap Cider Company (Lounge and Special Event Area Liquor License)
2090 – 10 Avenue SW (Westgate Mall)

MOTION FOR CONSIDERATION:

BE IT RESOLVED THAT: Council of the City of Salmon Arm has no objection to the issuance of a lounge and special event area liquor license to the Shuswap Cider Company and submits the following:

- (a) *The issuance of the lounge and special event area liquor license will have no impact on the surrounding residents.*
 - (b) *There will be no detrimental impact on the community if the application is approved.*
 - (c) *The views of the neighbouring residents have not been gathered due to the considerable physical distance (125m) to the nearest residential dwelling.*
-

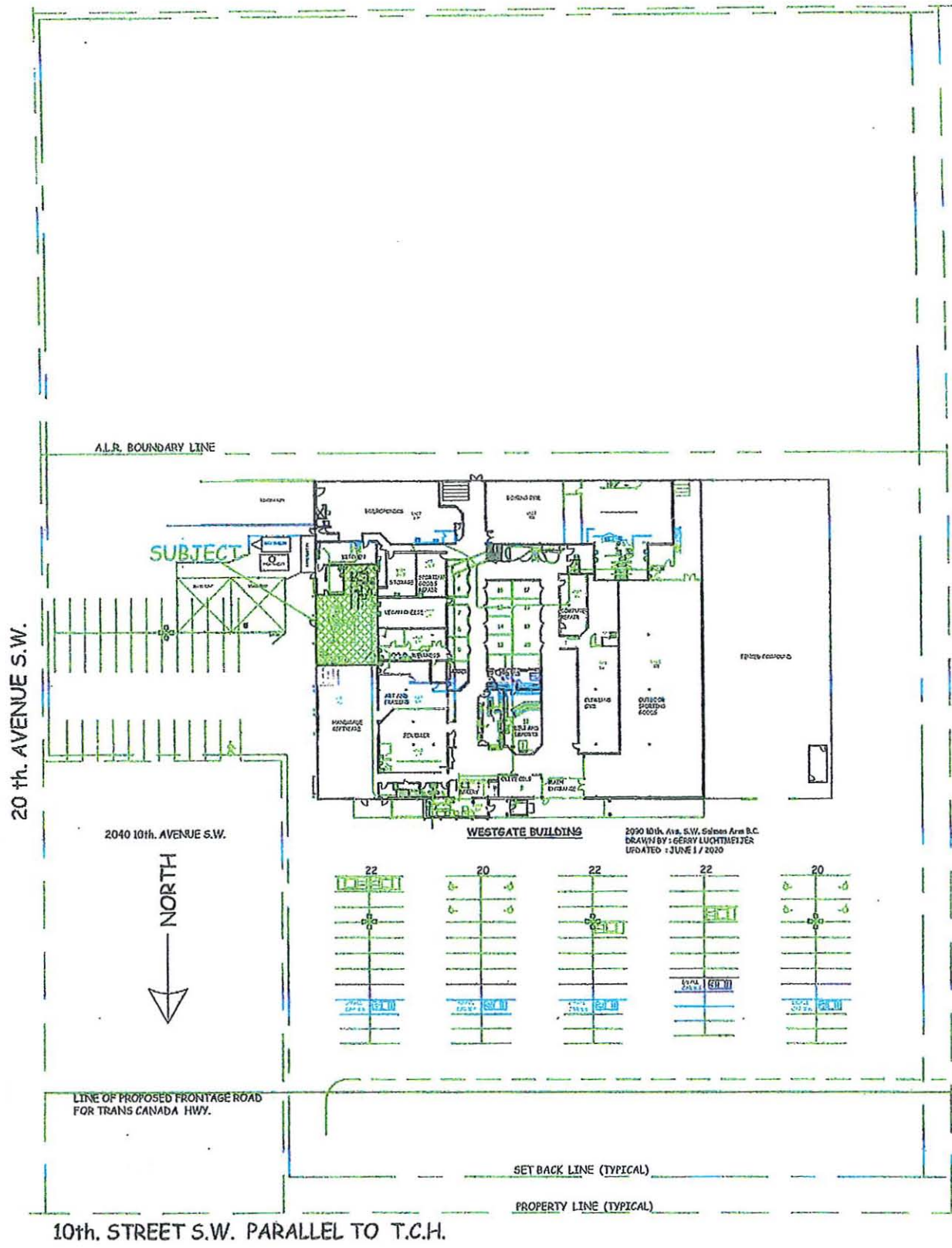
BACKGROUND: Shuswap Cider Company has applied to operate a manufacturing facility, tasting room and lounge/patio area at the Westgate Mall. The suite will be located on the east side of the mall, with the nearest residence being at least 125m away from the outdoor serving area. The proprietors will offer their craft ciders in the tasting room and also retail cans and growlers on site. Craft ciders and other beverages will be served in the outdoor lounge/patio area. Customers will also have access to flat bread pizza and other foods from a separate business within the suite. Attached for review is a site plan as well as the proposed floor plans.



Maurice Roy, RBO/CRBO
Manager of Permits & Licensing

MR:mr

attach. Floor Plan
Site Plan
License Application



A.L.R. BOUNDARY LINE

SUBJECT

20th AVENUE S.W.

2040 10th AVENUE S.W.

NORTH

WESTGATE BUILDING

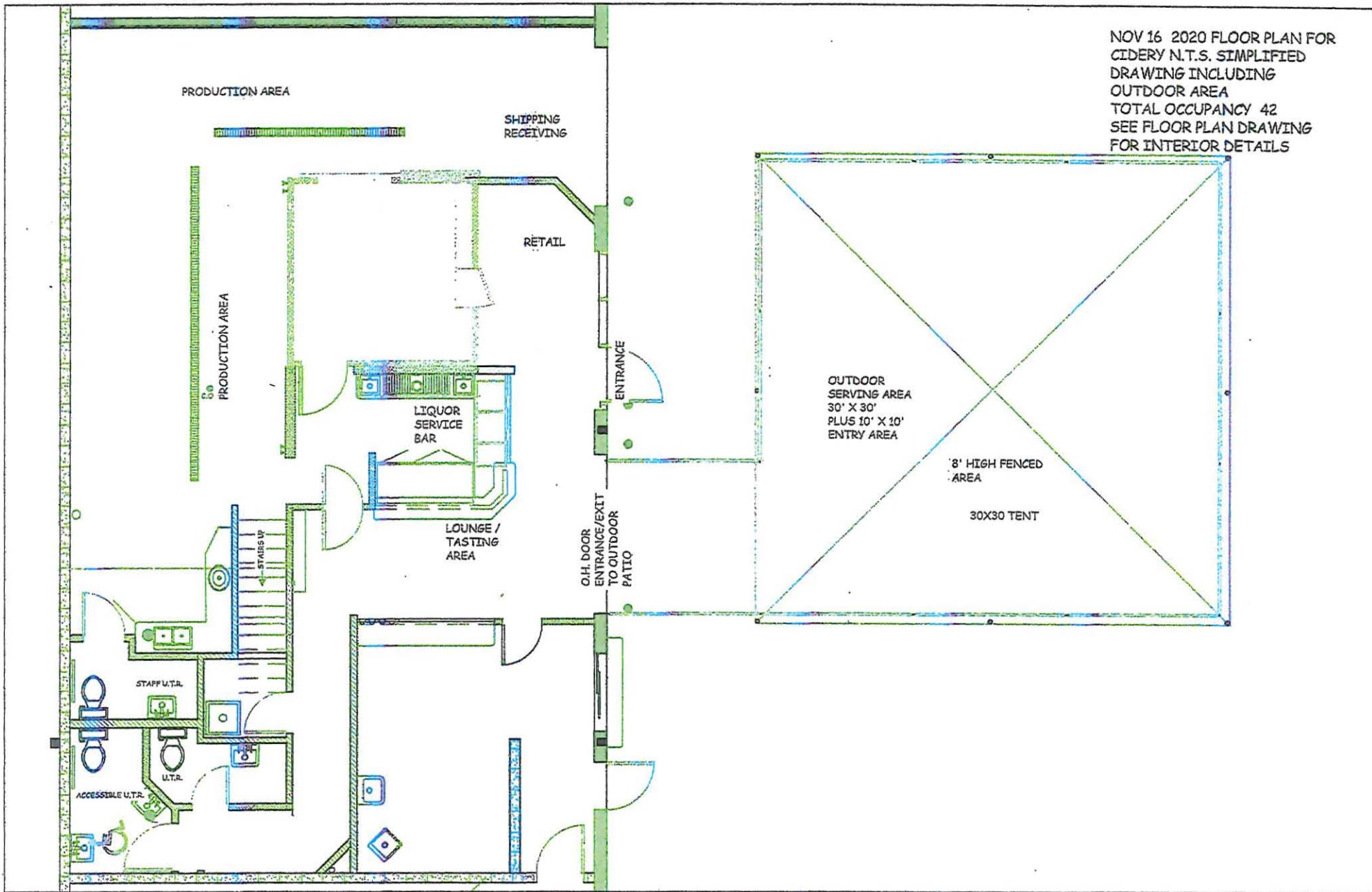
2090 10th Ave. S.W. Salmon Area B.C.
DRAWN BY: GERRY LICHTMEYER
UPDATED: JUNE 1 / 2010

LINE OF PROPOSED FRONTAGE ROAD
FOR TRANS CANADA HWY.

SET BACK LINE (TYPICAL)

PROPERTY LINE (TYPICAL)

10th. STREET S.W. PARALLEL TO T.C.H.



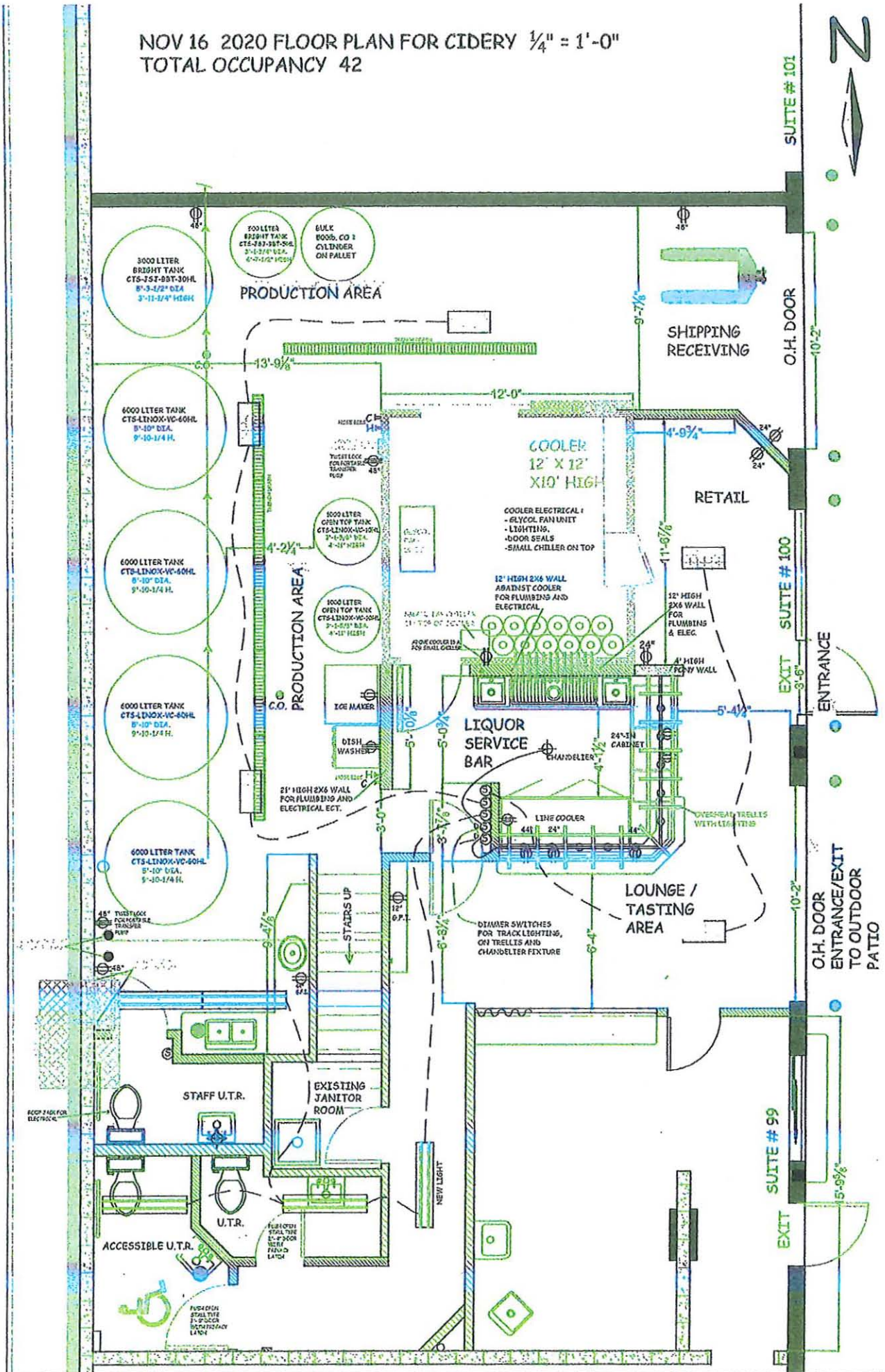
NOV 16 2020 FLOOR PLAN FOR
 CIDERY N.T.S. SIMPLIFIED
 DRAWING INCLUDING
 OUTDOOR AREA
 TOTAL OCCUPANCY 42
 SEE FLOOR PLAN DRAWING
 FOR INTERIOR DETAILS

OUTDOOR
 SERVING AREA
 30' X 30'
 PLUS 10' X 20'
 ENTRY AREA

8' HIGH FENCED
 AREA

30X30 TENT

NOV 16 2020 FLOOR PLAN FOR CIDERY $\frac{1}{4}'' = 1'-0''$
 TOTAL OCCUPANCY 42



Part 9: Local Government/First Nation (LG/FN) Confirmation of Receipt of Application

This is to be filled out by your local government/First Nation office prior to submitting this application to the branch.

Local government/First Nation (name): CITY OF SALMON ARM

Name of official: _____ Title/Position: _____

Email: _____ Phone: _____

Signature of Official: _____ Date Received: _____

Check here if the LG/FN will not be providing comment: Yes, opting out of comment.

Note: The LG/FN cannot provide comment for their own application.

Is the manufacturing site located on Treaty First Nation land? No Yes

Instructions for Local Government/First Nation (LG/FN)

This serves as notice that an application for a lounge and/or special event area endorsement is being made within your community. The Branch requests that you consider this application (application form, letter of intent, and floor plan) and provide the Branch with resolution within 90 days of the above received date. Alternatively, LG/FN can delegate staff with the authority to provide comment.

- The applicant will bring their completed application form, patio appendix (if applicable), letter of intent, floor plan and site map (for outdoor areas) to LG/FN.
- If there are any major issues (e.g. zoning), LG/FN may hold off signing the application until the issues are resolved or they have a plan to deal with the issues.
- When LG/FN is comfortable with the application proceeding, LG/FN staff will sign Part 9 of the application form and return it to the applicant. LG/FN will keep a copy of the signed application form and all supporting documents.
- The applicant will submit the signed application package (with all required documents) to the Branch.
- Branch staff will contact LG/FN to confirm receipt of the application and identify the Branch staff responsible for processing the application.
- Branch staff and LG/FN staff will advise each other if there are any concerns with the proposed application.

To provide a resolution or comment:

- Gather public input for the community within the immediate vicinity of the establishment.
- Consider these factors which must be taken into account when providing resolution/comment:
 - The location of the establishment.
 - The person capacity and hours of liquor service of the establishment.

Provide a resolution/comment with comments on:

- The impact of noise on nearby residents.
 - The impact on the community if the application is approved.
 - The view of residents and a description of the method used to gather views.
 - The LG/FN recommendations (including whether or not the application be approved) and the reasons on which they are based.
- Provide any reports that are referenced in, or used to determine, the resolution/comment.
 - If more than 90 days is required, provide a written request for extension to the Branch.
 - If LG/FN opts out, or is the applicant, the Branch will gather public input and contact LG/FN staff for information to assist the Branch in considering the regulatory criteria.

If you have any questions, or the establishment is located on Treaty First Nation land, please call the Branch toll-free at 1-866-209-2111 to speak to the Senior Licensing Analyst.

Item 9.3

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the 2020 Budget contained in the 2020 - 2024 Financial Plan Bylaw be amended to reflect funding for CCTV Survey of the Foreshore Main in the amount of \$70,000.00 funded from the reallocation of funds from the Foreshore Main Rehabilitation - Phase 1 Point Repairs project;

AND THAT: the contract to undertake a CCTV inspection of approximately 4,900m of the Sanitary Foreshore Main be awarded to AquaCoustic Remote Technologies Inc. for the quoted amount of \$61,909.96 plus applicable taxes;

AND THAT: the City's Purchasing Policy No. 7.13 be waived in the procurement of the CCTV Survey of the Foreshore Main to authorize sole sourcing of same to AquaCoustic Remote Technologies Inc.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond



*City of Salmon Arm
Memorandum from the
Engineering & Public Works Department*

TO: His Worship Mayor Harrison and Members of Council
FROM: Robert Niewenhuizen, Director of Engineering & Public Works
PREPARED BY: Chris Moore, Engineering Assistant
DATE: Dec 2, 2020
SUBJECT: **Foreshore Sanitary Main – CCTV Survey
Award to AquaCoustic Remote Technologies, Inc.**

RECOMMENDATION:

- THAT:** The 2020 Budget contained in the 2020 – 2024 Financial Plan Bylaw be amended to reflect funding for CCTV Survey of the Foreshore Main in the amount of \$70,000 funded from the reallocation of funds from the Foreshore Main Rehabilitation – Phase 1 Point Repairs project
- AND THAT:** The contract to undertake a CCTV inspection of approximately 4,900m of the Sanitary Foreshore Main be awarded to AquaCoustic Remote Technologies, Inc. for the quoted amount of \$61,909.96 plus applicable taxes.
- AND THAT:** The City's Purchasing Policy No. 7.13 be waived in the procurement of the CCTV Survey of the Foreshore Main to authorize sole sourcing of same to AquaCoustic Remote Technologies, Inc.

BACKGROUND:

Following the relining of phase 1 of the foreshore sanitary sewer in 2018, there were some concerns about water penetration through poorly designed / installed joints in the liner. The City has been unable to inspect these joints, due to their remote location and the distance between manholes on the foreshore. We currently have \$100,000 in the 2020 Capital Expenditure Budget for possible repairs to the joints in the new liner. However, as we have been unable to inspect the joints, it is felt that the money would be better spent undertaking a survey of the sewer, so that we can better determine what repair, if any is required.

None of the available local contractors was able to survey more than 200m and the distance between manholes is 500m in two key sections, the total distance being 1400m. An extensive search was undertaken to find a contractor that could carry out this project and we were only able to identify AquaCoustic Remote Technologies, Inc. from Vancouver as having these capabilities.

Since the mobilisation cost for this work is significant, we propose to survey the entire foreshore main from Raven to the Wharf. This has never been CCTV'd before and will include the second phase of the Foreshore Sanitary Sewer which will require replacement or relining in the near future. The total length of sewer is 4,900m and the quote submitted by AquaCoustic Remote Technologies, Inc. is \$61,909.96.

Respectfully submitted,



Robert Niewenhuizen,
Director of Engineering & Public Works

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Item 9.4

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the 2020 Budget in the 2020 – 2024 Financial Plan be amended to record the following accounts receivable as bad debts funded from the Reserve for Doubtful Accounts:

1. Donald Cookson - \$656.25

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

Date: December 14, 2020
To: Mayor Harrison and Members of Council
From: Chelsea Van de Cappelle, Chief Financial Officer
Subject: Uncollectible Accounts Receivable

Recommendation:

THAT: The 2020 Budget in the 2020 - 2024 Financial Plan be amended to record the following accounts receivable as bad debts funded from the Reserve for Doubtful Accounts:

1. Donald Cookson - \$656.25

Background:

There is one (1) accounts receivable which should be recorded as bad debts. It is recommended that the 2020 Budget be amended to fund the above noted bad debt from the Reserve for Doubtful Accounts.

1. Donald Cookson (January 2019) - \$656.25
Attempts have been made to collect payment for this invoice which is for yearly ground rental fees at the Shuswap Regional (Salmon Arm) Airport for the year 2019. Mr. Donald Cookson has since claimed insolvency and this unsecured debt is very likely uncollectable. Given this, it is not recommended that the debt be forwarded to a Collection Agency.



Chelsea Van de Cappelle, CPA

Item 9.5

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the 2020 Budget contained in the 2020 – 2024 Financial Plan Bylaw be amended to reflect additional funding for the purchase of the 'Mechanics Service Truck' in the amount of \$7,500.00 which includes the additional funds, PST, and miscellaneous costs for radio purchase/installation, etc., reallocated from funds from the Equipment Reserve Fund;

AND THAT: Council approve the purchase of the replacement of Unit #55 – Mechanics Service Truck, from Metro Motors Ltd. for the quoted amount of \$96,325.00 plus taxes as applicable.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

File: ENG 2020-00-04

TO: His Worship the Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Darin Gerow, Manager of Roads & Parks

DATE: December 7, 2020

SUBJECT: **PURCHASE RECOMMENDATION FOR REPLACEMENT OF UNIT #55
MECHANICS SERVICE TRUCK**

STAFF RECOMMENDATION

THAT: The 2020 Budget contained in the 2020 – 2024 Financial Plan Bylaw be amended to reflect additional funding for the purchase of the 'Mechanics Service Truck' in the amount of \$7,500.00 which includes the additional funds, PST, and miscellaneous costs for radio purchase/installation, etc. reallocated from funds from the Equipment Reserve Fund.

AND THAT: Council approve the purchase of the replacement of Unit #55 – Mechanics Service Truck, from Metro Motors Ltd for the quoted amount of \$96,325.00 plus taxes as applicable.

BACKGROUND

The City of Salmon Arm Public Works Department requires to replace our mechanics service truck which enables and provides opportunity for our mechanics to bring their services and tools to job sites where equipment typically breaks down. This can save time and money where the crew doesn't run into issues attempting to bring broken down equipment back to our works yard. The Service truck will consist of a regular cab one ton truck with a service box, including: space for tools, inverter to run power tools, on demand air compressor to run air tools.

A Request for Proposal was advertised on BC Bid and City webpage for the supply & delivery of a Mechanics Service Truck. Two (2) companies quoted, and were received on Thursday December 3, 2020, as follows:

Company	Model	Sub-Total Price	Price Incl. Tax
Metro Motors Ltd.	2021 Ford F-350	\$ 102,325.00	\$ 114,604.00
** Metro Motors Ltd	2021 Ford F-350	\$ 96,325.00	\$ 107,884.00
Abbotsford Chrysler Dodge Jeep Ram Ltd.	2021 Ram 3500	\$ 106,969.00	\$ 119,803.88

** Price after removal of Lift Tailgate

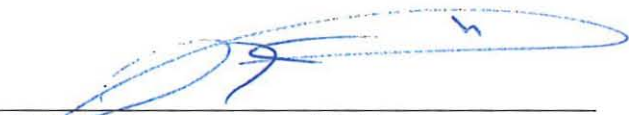
Staff had specified many detailed aspects of the truck, which all have been met in the quote submissions. These specifications range from dimensions of the truck & service box, GVWR & GCWR, lighting, mounting locations, etc. All specifications were set from our experience with existing equipment and history and involvement from operators.

As both quotes came in over budget we opened negotiations with the lowest bidder and concluded that with the removal of the Lift Tail Gate there would be a savings of \$6,000.00. Unfortunately, there are no other items that we could remove. In addition, it seems that production due to COVID have affected the purchases of vehicles & equipment, and we figure this is the reason for higher pricing and extended delivery dates.

Metro Motors is based out of Port Coquitlam, BC and has supplied units to the City of Salmon Arm with much success and other municipalities.

The approved funding for this purchase is \$100,000 from the 2020 Machinery & Equipment Capital Budget. We recommend the 2020 Budget contained in the 2020 – 2024 Financial Plan Bylaw be amended to reflect additional funding for the purchase of the 'Mechanics Service Truck' in the amount of \$7,500.00 which includes the additional funds, PST, and miscellaneous costs for radio purchase/installation, etc. reallocated from funds from the Equipment Reserve Funds and that the truck be awarded to Metro Motors Ltd, for the quoted price of \$96,325.00 plus taxes as applicable.

Respectfully submitted,



Robert Niewenhuizen, AScT
Director of Engineering and Public Works

Cc Chelsea Van de Cappelle, CFO

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Item 9.6

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: Council approve the SMS Implementation & Airport Staff Training for Quality Assurance Audit Compliance to Stantec Consulting Ltd. for the total quoted price of \$33,880.00 plus taxes as applicable;

AND THAT: the 2020 Budget contained in the 2020 to 2024 Financial Plan be amended to reflect additional funding in the amount of \$35,000.00 for the Airport Training and Quality Assurance Audit be transferred from Airport Major Maintenance Reserve;

AND THAT: the City's Purchasing Policy No. 7.13 be waived to authorize sole sourcing of same to Stantec Consulting Ltd.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

TO: His Worship Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

DATE: December 7, 2020

SUBJECT: **SHUSWAP REGIONAL AIRPORT – TRAINING AND QUALITY ASSURANCE AUDIT**

STAFF RECOMMENDATION

THAT: Council approve the SMS Implementation & Airport Staff Training for Quality Assurance Audit Compliance to Stantec Consulting Ltd for the total quoted price of \$33,880.00. plus taxes as applicable;

AND THAT: The 2020 Budget contained in the 2020 to 2024 Financial Plan be amended to reflect additional funding for the Airport Training and Quality Assurance Audit be transferred from Airport Major Maintenance Reserve;

AND THAT: The City's Purchasing Policy No. 7.13 be waived to authorize sole sourcing of same to Stantec Consulting Ltd. .

BACKGROUND

On October 1, 2020 Transport Canada (TC) carried out a Process Inspection (PI) at the Shuswap Regional Airport. The purpose of the PI was to verify that the Salmon Arm Airport has the systems in place to ensure on-going compliance with regulatory requirements. The scope of the PI includes an evaluation of the Airports Quality Assurance & Internal Audit Planning process.

The finding of the inspection indicated that some Airport processes do not comply with the Canadian Aviation Regulations (CARs). As part of the Airport's Corrective Action Plan (CAP) to comply with these findings, we must undertake the following:

- City staff require appropriate training in Airport regulation, standards and how this relates to the implementation of the new SMS & AOM documentation.
- Perform an internal and external Airport Quality Assurance Audit

Staff have received an extension until January 4, 2021 from TC for the submission of the CAP; however once the plan is submitted, we have 90 days to comply. There is a very short time frame to comply with the TC finding and for that reason; Staff have reached out to Stantec Consulting Ltd for their assistance. Stantec has provided a proposal, which we feel, will satisfy our training and auditing need.


Earlier this year we hired Stantec Consulting Ltd to assist with the updating of the Airport's Safety Management System (SMS) and Operations Manuals (AOM). This is nearing completion. Once complete the manuals will be submitted to TC for review and approval. As part of this work plan Stantec reviewed the Airport documents and are very familiar with the operations of the Airport.

Staff are recommending that the funding for this project be taken from the Airport Major Maintenance Reserve, which has an approx. balance of \$286,000.00.

STAFF COMMENTS

As mentioned, Stantec Consulting Ltd, are currently working to finalize the update of the Airport Operations documents, we feel that they are best suited to assist us with the training and auditing requirements. They have the expertise in this area and are familiar with our Airport and both the old and new operational documentation. For these reasons, staff are recommending a sole source to Stantec Consulting Ltd.

Respectfully submitted,



Robert Niewenhuizen, ASCT
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, CFO

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Item 9.7

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the 2020 contained in the 2020 - 2024 Financial plan Bylaw be amended to include allocation for the replacement of City Computers in the amount of \$160,000.00 funded from the following:

AND THAT: Council award the supply of Lenovo Computers to SkySail Technologies in accordance with their quote in the amount of \$149,742.74 plus applicable taxes.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

TO: His Worship Mayor Harrison and Members of Council
 FROM: Erin Jackson, Director of Corporate Services
 PREPARED BY: Sue Wood, Manager of Human Resources
 DATE: December 10, 2020
 SUBJECT: **PROJECT AWARD – COMPUTER UPGRADE 2021**

STAFF RECOMMENDATION

THAT: The 2020 Budget contained in the 2020 - 2024 Financial Plan Bylaw be amended to include an allocation for the replacement of City Computers in the amount of \$160,000.00 funded from the following:

Cemetery Wages & Benefits – Clerical (Digitization)	\$30,000.00
General – COVID-19 Grant Reserve	60,000.00
General – Future Expenditure Reserve	60,000.00
General – Contingencies Reserve	11,000.00
	\$161,000.00

AND THAT: Council award the supply of Lenovo Computers to SkySail Technologies in accordance with their quote in the amount of \$149,742.74 plus applicable taxes.

BACKGROUND

The City is scheduled to replace workstations in 2021. There are concerns with securing inventory given the current economic environment along with ensuring the current quote remains in effect into the new year. The hardware is due for replacement, the support on the operating system software ended December 31, 2019 and all warranty has expired. All workstations will be provided with webcams and speakers to allow for remote meetings and training, which has recently become a necessary business tool.

The project also includes servers to replace the WTP and WWTP SCADA and Historian servers that run the Water Treatment and Waste Water Treatment plants.

It is proposed to fund the replacement computers as follows:

- Cemetery Wages & Benefits – Clerical (Digitization) - \$30,000.00. The City is currently working on the digitization of cemetery records and has implemented a new Cemetery software platform and successfully migrated current online cemetery records. The digitization of paper records is yet to be completed, however it has been determined that any further requirement of staff can be utilized in the existing wage budgets and therefore the aforementioned budget is no longer required.
- General – COVID-19 Grant Reserve - \$60,000.00. The City was fortunate to receive a \$3,598,000.00 grant as part of the COVID-19 Safe Restart Program. Computer and technology costs although capital in nature are considered eligible if they are incurred as a result of COVID-19 pressures.

- General – Future Expenditure Reserve - \$60,000.00. The balance in this reserve is \$64,000.00 and has been established to offset unanticipated future expenditures.
- General – Contingencies - \$11,000.00. The balance in this reserve is \$256,000.00 and has been established to offset unanticipated expenditures.

While there are funds available in both the Technologies, Equipment and Software Reserve (\$40,000.00) and the Server/Workstation Software Upgrade Reserve (\$7,700.00), it is not recommended to draw on these reserves at this time. The 2021 Budget will be presented in January and there are a number of other IT related requests and requirements coming forward in both 2021 and 2022.

Quotes were requested from three (3) suppliers and are as follows:

Company	Total Quote Amount (excl. taxes)
Lenovo (SkySail Technologies)	\$ 149,742.74
Dell (online representative)	\$ 154,404.97
HP (SkySail Technologies)	\$ 198,647.13

Staff recommend that Council approve the Computer Upgrade project from Lenovo (SkySail Technologies) as per the quote received of \$149,742.74 plus applicable taxes.

Respectfully submitted,


Erin Jackson
Director of Corporate Services

cc. Chelsea Van de Cappelle, Chief Financial Officer

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Item 10.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Land Use Contract Termination Bylaw No. 4430 be read a first and second time;

AND THAT: final reading be withheld subject to Ministry of Transportation and Infrastructure approval.

[LUC N54304; Abacus Cities Ltd.; Units 101 - 506, 1449 - 1 Avenue NE; Units 302 - 806, 1451 - 1 Avenue NE; 130 - 230 - 15 Street NE; 1480 - 1570 - 1 Avenue NE; 1451 - 1531 Okanagan Avenue NE]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: November 23, 2020

Subject: Land Use Contract Termination and Zoning Bylaw Amendment – Abacus Cities Ltd.

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would terminate the following Land Use Contract N54304 for the parcels legally described as:

028-875-656	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	201, 1449 1 Avenue NE
028-875-664	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	202, 1449 1 Avenue NE
028-875-672	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	203, 1449 1 Avenue NE
028-875-681	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	204, 1449 1 Avenue NE
028-875-699	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	205, 1449 1 Avenue NE
028-875-702	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	206, 1449 1 Avenue NE
029-092-736	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	101, 1449 1 Avenue NE
029-092-744	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	102, 1449 1 Avenue NE
029-092-752	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	103, 1449 1 Avenue NE
029-092-761	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	104, 1449 1 Avenue NE
029-092-779	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	105, 1449 1 Avenue NE
029-092-787	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	106, 1449 1 Avenue NE
029-501-237	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	301, 1449 1 Avenue NE
029-501-245	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	302, 1449 1 Avenue NE
029-501-253	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	303, 1449 1 Avenue NE
029-501-261	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	304, 1449 1 Avenue NE
029-501-270	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	305, 1449 1 Avenue NE
029-501-288	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	306, 1449 1 Avenue NE
029-686-121	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	401, 1449 1 Avenue NE
029-686-130	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	402, 1449 1 Avenue NE
029-686-148	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	403, 1449 1 Avenue NE
029-686-156	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	404, 1449 1 Avenue NE

029-686-164	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	405 1449 1 Avenue NE
029-686-172	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	406, 1449 1 Avenue NE
029-775-698	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	501, 1449 1 Avenue NE
029-775-701	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	502, 1449 1 Avenue NE
029-775-710	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	503, 1449 1 Avenue NE
029-775-728	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	504, 1449 1 Avenue NE
029-775-736	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	505, 1449 1 Avenue NE
029-775-744	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	506, 1449 1 Avenue NE
002-206-854	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	603, 1451 1 Avenue NE
002-206-862	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	601, 1451 1 Avenue NE
002-206-871	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	604, 1451 1 Avenue NE
002-206-897	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	602, 1451 1 Avenue NE
002-206-901	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	503, 1451 1 Avenue NE
002-206-919	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	501, 1451 1 Avenue NE
002-206-927	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	504, 1451 1 Avenue NE
002-206-935	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	502, 1451 1 Avenue NE
002-206-943	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	703, 1451 1 Avenue NE
002-206-951	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	701, 1451 1 Avenue NE
002-206-960	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	704, 1451 1 Avenue NE
002-206-978	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	702, 1451 1 Avenue NE
002-206-986	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	405, 1451 1 Avenue NE
002-206-994	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	403, 1451 1 Avenue NE
002-207-001	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	401, 1451 1 Avenue NE
002-207-010	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	406, 1451 1 Avenue NE
002-207-028	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	404, 1451 1 Avenue NE
002-207-036	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	402, 1451 1 Avenue NE
002-207-044	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	805, 1451 1 Avenue NE
002-207-052	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	803, 1451 1 Avenue NE
002-207-061	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	801, 1451 1 Avenue NE
002-207-079	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	806, 1451 1 Avenue NE
002-207-087	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	804, 1451 1 Avenue NE

002-207-095	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	802, 1451 1 Avenue NE
002-207-109	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	305, 1451 1 Avenue NE
002-207-117	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	303, 1451 1 Avenue NE
002-207-125	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	301, 1451 1 Avenue NE
002-207-133	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	306, 1451 1 Avenue NE
002-207-141	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	304, 1451 1 Avenue NE
002-207-150	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	302, 1451 1 Avenue NE
003-248-429	Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	131 15 Street NE
003-248-437	Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	161 15 Street NE
003-248-453	Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	191 15 Street NE
003-248-461	Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	211 15 Street NE
003-248-470	Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	230 15 Street NE
003-248-488	Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	210 15 Street NE
003-248-496	Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	190 15 Street NE
003-248-500	Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	160 15 Street NE
003-248-518	Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	130 15 Street NE
003-248-526	Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	1570 1 Avenue NE
003-248-551	Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1540 1 Avenue NE
003-248-569	Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1500 1 Avenue NE
003-248-577	Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1480 1 Avenue NE
025-681-401	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1451 Okanagan Avenue NE
025-681-419	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1453 Okanagan Avenue NE
018-189-661	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1481 Okanagan Avenue NE
018-189-679	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1491 Okanagan Avenue NE
017-800-943	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1521 Okanagan Avenue
017-800-951	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1531 Okanagan Avenue

AND THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303, 1995 rezoning Strata Lots 1 to 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507 and Strata Lots 1 to 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227 and Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054 from R1 – Single Family Residential to R4 – Medium Density Residential, as shown on 'Schedule A';

AND FURTHER THAT: Final reading of the zoning amendment bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PURPOSE

To provide background in the early termination of Land Use Contract (LUC) N54304 for the area governing the Orchard Terrace multifamily development and surrounding single family and duplex units on Okanagan Avenue, 1st Avenue NE and 15th St NE. To rezone those multi-family properties of the LUC area that are currently zoned R1 (Single-Family Residential) to R4 (Medium Density Residential) to reflect the existing development(s).

BACKGROUND

LUC N54304 between the City and Abacus Cities Ltd. permitted an eighteen (18) lot subdivision, including seventeen (17) R1 – Single Family Residential lots, one (1) R-4 Multi Family Residential lot of eleven (11) multiple family residential buildings containing a maximum of sixty (60) units, to be developed as per Zoning Bylaw 1180, 1976. In 1988, the contract was amended to permit the development of three (3) duplex units along Okanagan Avenue. In 2015, the City discharged LUC N54304 from the title of Lot 14, in conjunction with a R8 rezoning application, to permit the development of a secondary suite on the property. Appendix 1 illustrates the boundary of the LUC area.

The subject property includes sixty (60) multifamily dwellings (KAS507 and EPS740), three (3) duplexes along Okanagan Avenue (KAS2541, KAS1227 and KAS1054) and seventeen (17) single-family dwellings (Plan 33113). With regard to the multi-family development, the first phase of the development with six buildings (Phase 1, KAS507). In 2007 a developer completed the development to the specifications of the LUC, adding five (5) multifamily buildings (EPS740), completing Phase 2 of Orchard Terrace. The site servicing for water, sewer, roads and lighting at the conclusion of the last phase of the multifamily development met the standards set out in the LUC.

The Official Community Plan (OCP) designates the subject property as Medium Density Residential (MDR) and High Density Residential (HDR) (Appendix 2). The area governed by the LUC is currently zoned R1 – Single Family Residential in Zoning Bylaw 2303, 1995 (Appendix 3). While the R1 zoning appropriately captures the existing single family dwellings constructed on 1 Avenue NE and 15 Street NE, the zoning does not accurately reflect the duplex unit developments on Okanagan Avenue or the multi-family strata development of the Orchard Terrace. In conjunction with the LUC Termination Bylaw staff are recommending to rezone those portions of the multifamily developments to accurately reflect the existing land uses. Appendix 4 shows the proposed areas to be rezoned.

COMMENTS

Engineering Department

The Engineering Department is unaffected by the proposed LUC termination and rezoning.

Under the current Subdivision and Servicing Bylaw No. 4163 a future development proposal of similar scale would, likely, be required to meet different standards with regard to street lighting, sidewalks and other off-site works. However, the existing condition of the services and associated rights-of way are consistent with other developments of a similar age and the proposed change in zoning does not trigger the modernizing of off-site works in the area.

Building Department

No comments.

Fire Department

No comments.

BC Assessment

The referral package sent to BC Assessment included the proposed LUC Termination and proposed rezoning. After a review from available information, BC Assessment concluded that the current property assessments would remain relatively unchanged.

Planning Department

Rezoning From R1 to R4: 1449 and 1451 1 Avenue NE (Orchard Terrace Strata – Phases 1 and 2)

Staff are recommending that the Orchard Terrace development be rezoned from R1 (Single Family Residential) to R4 (Medium Density Residential). The R4 zone allows for 'multiple family dwellings', consistent with the existing buildings. Given parking requirements, setbacks and legal implications of amending an existing strata plan it is unlikely the amendment and rezoning would result in additional units.

Rezoning from R1 to R4: 1451-1531 Okanagan Avenue NE (Duplex Units)

The duplex units along Okanagan Avenue developed in the early 1990's and were the result of approvals for an amendment to the LUC in order to permit duplexes. The existing R1 zone does not permit duplexes; therefore, the zoning for those three properties along Okanagan Avenue would become non-conforming by the reverting to the R1 zone at the termination of the LUC. Staff are recommending that the duplex properties be rezoned to R4 to reflect the existing development (see Appendix 4). There are no known setback issues with the rezoning of these properties to R4. An OCP Amendment would not be required because the R4 zone is consistent with Medium Density Residential (MDR) OCP designation.

The R4 zone would support the conversion of the duplexes to four-plexes. Should an owner request to convert a duplex to add additional units, the site would have to meet additional parking and BC Building Code requirements. In addition, the owner would have to pay Development Cost Charges (DCC) for new units at the DCC rate applicable at the time of the conversion.

No Rezoning Needed: 1480 – 1570 1 Avenue NE & 130 – 230 15 St NE (Single Family Dwellings)

The MDR designation in the OCP and the R1 zone is appropriate for those single family units in the LUC area. The termination of the LUC for these properties would not result in a non-conforming status; therefore, staff are not recommending any changes to the zoning for these properties.

Notification

As part of the LUC Early Termination project, owners of land affected by a LUC received information letters in advance of the process beginning. Letters sent on October 9, 2020 advised all property owners that the LUC Early Termination process was to begin and they would receive further information as staff progressed through a list of outstanding LUC areas. In addition to letters, staff have created a "Land Use Contract – Early Termination" page on the City's website that provides more information to property owners.

On November 27, 2020, the City sent a second information letter to owners specific to this LUC Termination and rezoning proposal. A third letter, pursuant to Section 466 (5) of the *Local Government Act*, are to be mailed to all property owners and tenants within the LUC area and ads placed in the newspaper advising of the LUC termination. Given that there are more than 10 properties affected by the rezoning of the lands, notices are not required to be mailed to adjacent property owners for the rezoning component; however, newspaper ads are required advising of the proposed rezoning.

Conclusion

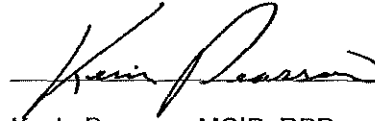
In 2014 amendments were enacted to the *Local Government Act* that established June 30, 2024 as the expiry date for all LUCs in the province. After that date, the LUCs no longer have force or effect. The same amendments included the establishment of an 'early termination' process for Local Governments to address the discharge of the LUCs and consider how or if the other development tools need to be utilized to ensure properties governed by LUCs are conforming to existing bylaws in the absence of the LUC. The benefits of the early termination process is that, rather than relying on existing rules which may not adequately capture the provisions of the LUC, the City and landowners have an opportunity to consider the introduction of zoning or variances that might better reflect currently permitted uses and density. The zoning presently overlaid, in this situation, does not capture the existing uses for some properties and termination of the LUC without rezoning renders the uses on those properties lawfully non-conforming.

Typically, with the completion of the last phase of the development to the satisfaction of the terms within the LUC, the City and developer would have initiated the termination or discharge of the LUC. The six outstanding

LUCs did not go through the discharge process. Given the changes in legislation setting an expiry date for LUCs, consistency with OCP designation and appropriate zoning, staff are supportive of the termination of LUC N54304. For reference LUC No. N54304 is included as Attachment 5.

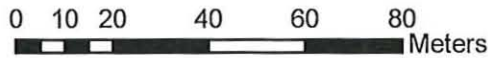


Melinda Smyrl, MCIP, RPP
Planner

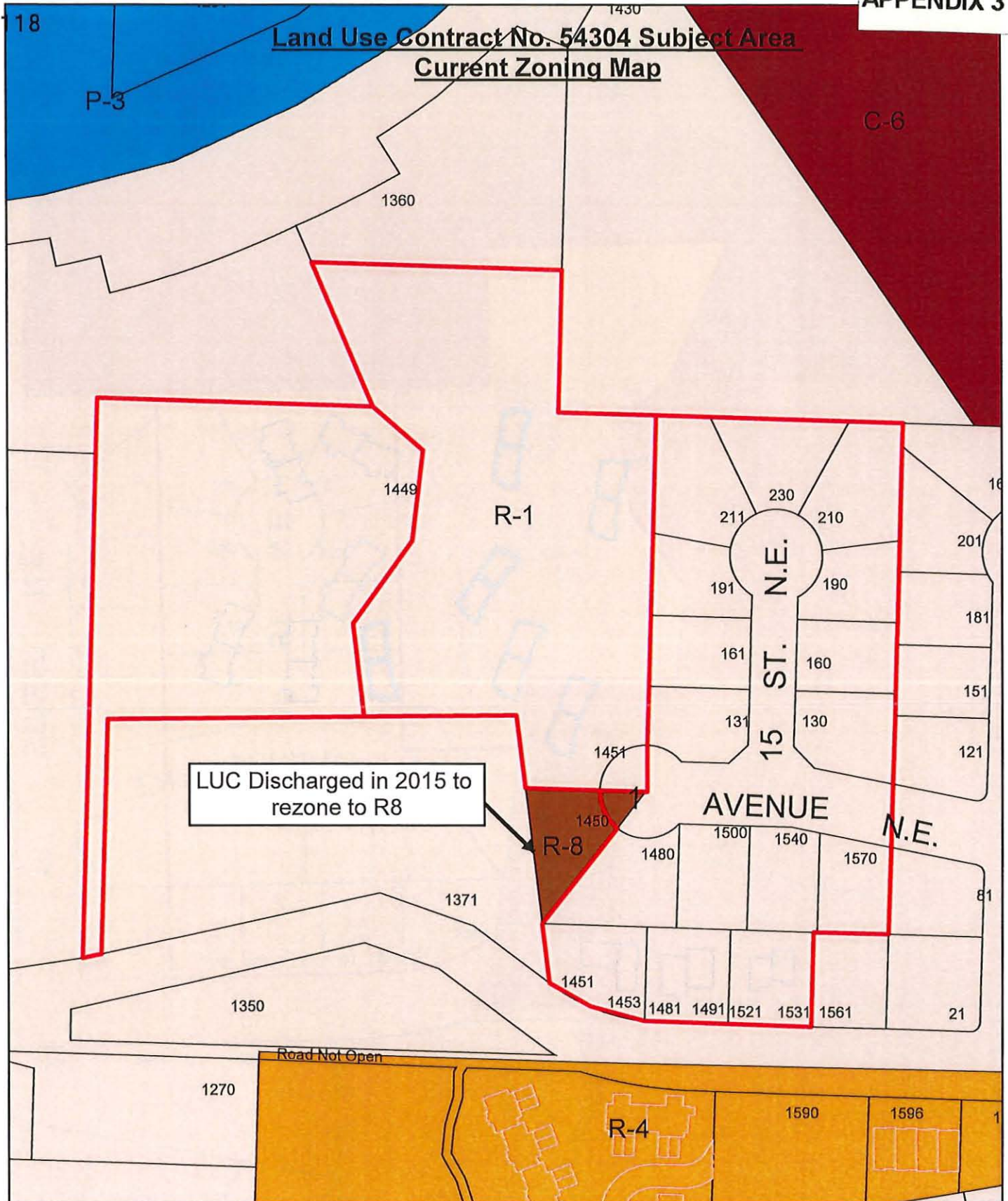


Kevin Pearson, MCIP, RPP
Director of Development Services

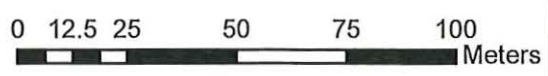
Land Use Contract No. N54304 Subject Area



 Subject Property (LUCs)

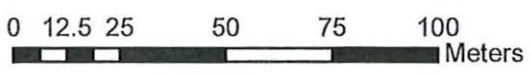
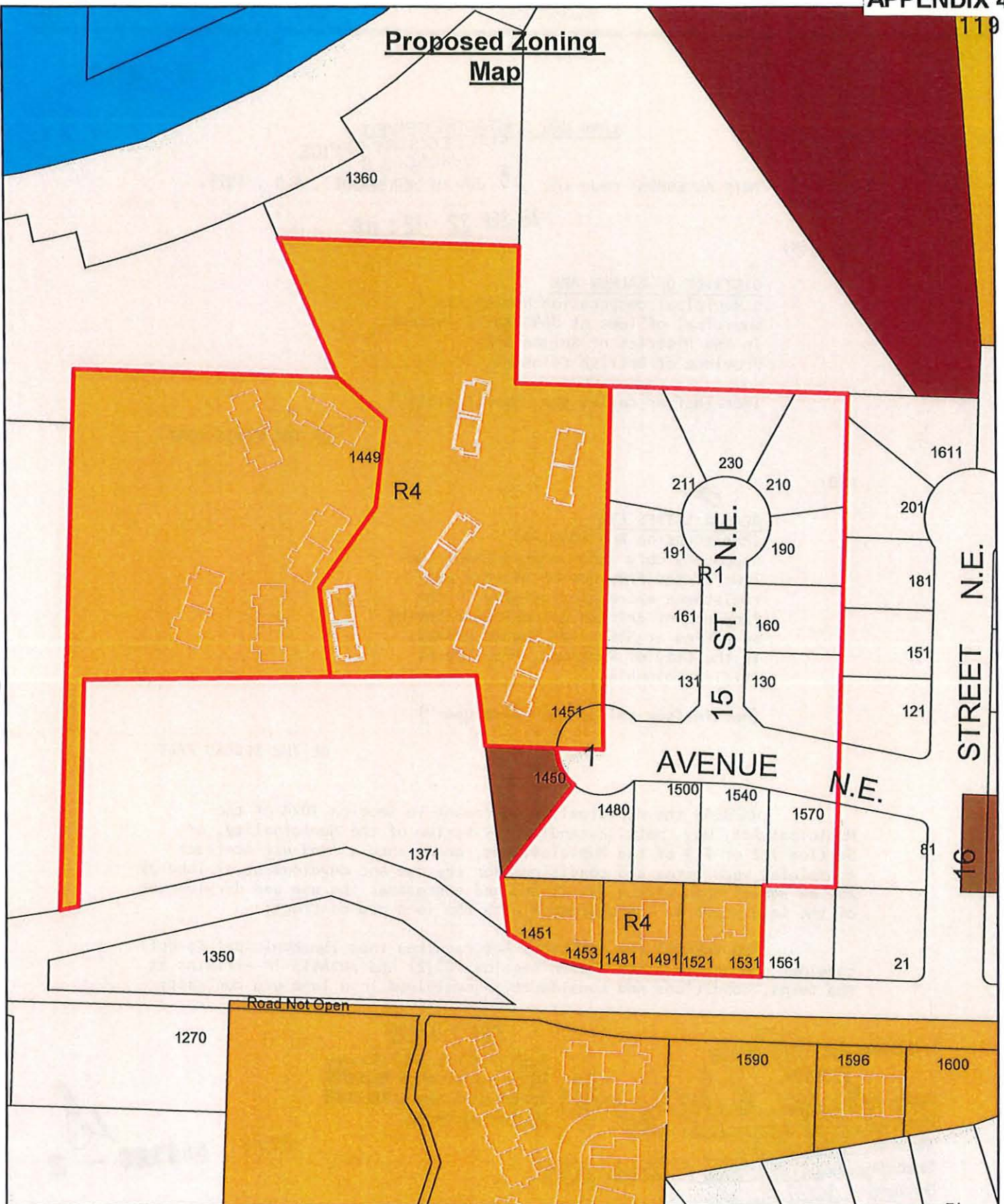


LUC Discharged in 2015 to rezone to R8



Subject Property	Zoning
LUC Area	C-6
P-3	R-4
R-8	R-1

Proposed Zoning Map



- Subject Property (LUC) Zoning
- Proposed Zone (LUC)
- C-6
- P-3
- R-1
- R-4
- R-8

N 54304

LAND USE CONTRACT RECEIVED
LAND REGISTRY OFFICE
KAMLOOPS B.C.

THIS AGREEMENT made the 11th day of September, A.D., 1978.

'78 SEP 22 12:08

BETWEEN:

DISTRICT OF SALMON ARM
a municipal corporation having its
municipal offices at 8640 Harris Street,
in the District of Salmon Arm,
Province of British Columbia

(hereinafter called the "Municipality")

OF THE FIRST PART

AND:

ABACUS CITIES LTD.
(Registration No. 10491-A)
a company duly incorporated under the
laws of the Province of Alberta and
registered extra provincially in the
Province of British Columbia and having
an office at 510 - 175 Second Avenue,
in the City of Kamloops, Province of
British Columbia

(hereinafter called the "Developer")

OF THE SECOND PART

WHEREAS the Municipality, pursuant to Section 702A of the
Municipal Act, may, notwithstanding any by-law of the Municipality, or
Section 712 or 713 of the Municipal Act, enter into a land use contract
containing such terms and conditions for the use and development of land as
may be agreed upon with a developer, and thereafter the use and development
of the land shall be in accordance with the land use contract;

AND WHEREAS the Municipal Act requires that the Municipal Council
consider the criteria set out in Section 702(2) and 702A(1) in arriving at
the terms, conditions and consideration contained in a land use contract;

Substitute - Forms 'A', 'C', 'D' & 'E'
Particulars

Applicant: Robert Hunter & Co
Address: 1530 Seymour St
Phone No.: 372-5542
Solicitor/Agent for: Abacus Cities Ltd.
Declared Value: Nominal
Nature of Document/Charge: land use contract
Forward duplicate C/T to applicant
(Yes or No)
Signature of Applicant/Solicitor/Agent: Barbara Hunter

SEP 25 1978
Registered the Day of
10 On Application Received
at the time Written or Stamped
On the Application.

3644 000500
JUD
27 SEP 78

-2-

AND WHEREAS the Developer has presented to the Municipality a scheme of use and development of the within described lands and premises that would be in contravention of a by-law of the Municipality, of Section 712 or 713 of the Municipal Act, or both, and has requested that the Council of the Municipality enter into this contract under the terms, conditions and for the consideration hereinafter set forth;

AND WHEREAS the Council of the Municipality, having given due consideration to the criteria set forth in Sections 702(2) and 702A(1) of the Municipal Act, have agreed to the terms, conditions and consideration herein contained;

AND WHEREAS if the land is within a radius of one-half mile of the intersection of a controlled access highway and another highway, the approval of the Minister of Highways to the terms hereof must be obtained;

AND WHEREAS the land is within a development area of the Municipality;

AND WHEREAS the Municipality and the Developer both acknowledge that the Council of the Municipality could not enter into this Agreement, until the Council held a public hearing in relation to this Agreement, and considered any opinions expressed at such hearing, and unless a majority of all of the members of the Council present at the meeting at which the vote is taken and entitled to vote on the by-law, voted in favour of the by-law authorizing the Municipality to enter into this Contract;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the conditions and covenants hereinafter set forth, the Municipality and the Developer covenant and agree as follows:

OWNER

1. The Developer is the registered owner of an estate in fee simple of ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the District of Salmon Arm, in the Province of British Columbia and being more particularly known and described as:

✓ Lot "A"
Section 13
Township 20
Range 10
West of the 6th Meridian
Kamloops Division Yale District
Plan 28106

(hereinafter called the "Land")

Handwritten signatures: "MCD" and "Sal"

Handwritten initials: "HD"

CONSENTS

2. The Developer has obtained the consent of all persons having a registered interest in the Land to the use and development set forth herein which consents are attached hereto as Schedule "G".

SUBDIVISION

3. The Land may be subdivided by a plan of subdivision registered in the Land Registry Office at Kamloops creating thereby eighteen (18) lots each having a configuration and a size and in a location in accordance with the sketch plan attached hereto as Schedule "A" hereof (hereinafter called the "Subdivision").

USE

4. The use and development of Lots 1 to 17 inclusive of the Subdivision shall be regulated by and the Developer in respect thereof shall comply with the provisions of the R-1 Zone of "The Salmon Arm Zoning By-law 1976 No. 1180" as amended from time to time.

5. Lot 18 of the Subdivision and any and all buildings and structures erected thereon, thereover or therein may be used for the purposes of comprehensive residential use and for no other purposes and in developing Lot 18 for the permitted use thereof the Developer, subject to paragraph 6 hereof, shall comply with the provisions of the R-4 Zone of "The Salmon Arm Zoning By-law 1976 No. 1180" as amended from time to time.

DEVELOPMENT OF LOT 18

6. Subject always to the terms and conditions hereinafter appearing:

(a) Lot 18 of the Subdivision may be developed to accommodate eleven (11) multiple family residential buildings containing therein a maximum of sixty (60) single family residential dwelling units sited on Lot 18 in essentially the locations specified in Schedule "B" hereof and in any event sited in compliance with the provisions of the R-4 Zone of Zoning By-law No. 1180;

(b) Lot 18 of the Subdivision may be subdivided by way of a two phased strata plan in accordance with the provisions of Part II of the Strata Titles Act.

7. The development and subdivision of Lot 18 of the Subdivision may be phased in accordance with the development plan attached hereto as Schedule "B" hereof and references to Phase 1 and Phase 2 hereinafter appearing shall be references to those phases as more particularly shown on Schedule "B" hereof.

JUD

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- COMPLETION 8. The parties acknowledge that it is the Developer's intent to complete Lots 1 to 17 inclusive of the Subdivision and Phase 1 of the Strata Plan Development in accordance with the terms of this Agreement by the 31st day of October, A.D., 1979 and to complete Phase 2 of the Strata Plan Development in accordance with the terms of this Agreement by the 31st day of October, A.D., 1981.
- SUBDIVISION
SERVICING 9. The Developer shall, at its sole cost, prior to obtaining the Approving Officer's approval of the plan of the Subdivision:
- (a) Construct, provide and install the services required within the Subdivision pursuant to and in strict compliance with the provisions of "District of Salmon Arm Subdivision Control By-law 1973 No. 1087" as amended from time to time and as specifically supplemented by the plans and specifications set out in Schedule "C" hereof;
 - (b) Construct, provide and install the sanitary and storm sewer works and services outside of the boundaries of the Subdivision and within the boundaries of Lot 18 of the Subdivision more particularly described in and in strict compliance with the plans and specifications set out in Drawing Nos. 1090-8-1-7, 1090-8-1-8 and 1090-8-1-9 of Schedule "D" hereof;
 - (c) Cause to be prepared by a British Columbia Land Surveyor a plan or plans of right-of-way in respect of any rights-of-way required over any lands for the construction, maintenance or repair of the works and services required to be installed by the Developer pursuant to paragraph 9(a) and (b) hereof, and:
 - (i) register such plans in the Land Registry Office at Kamloops;
 - (ii) acquire from the owners of the lands contained within such plans a registerable right-of-way agreement in favour of the Municipality in the form set out in Schedule "E" hereof together with such consents and priority agreements from the owners of any registered charges against such lands as the circumstances may in any particular case require;
 - (iii) deliver to the Municipality such agreements for registration, at the Developer's expense, in the Land Registry Office at Kamloops concurrently with the said plan of subdivision;

JED

- (d) Deposit with the Municipality as security for the Developer's covenant set out in paragraph 13 hereof, an unconditional irrevocable Letter of Credit drawn on a Canadian Chartered Bank in an amount equal to fifteen percent (15%) of the total cost, as certified by the Municipality, of the works and services required to be installed by the Developer pursuant to paragraphs 9(a) and (b) hereof for a term of not less than one (1) year and in the form set out in Schedule "F" hereof.

PAVING

10. Notwithstanding the provisions of paragraph 9(a) hereof the Developer may obtain approval of the plan of the Subdivision prior to paving the roads therein PROVIDED ALWAYS that in such event the Developer shall:

- (a) Deposit with the Municipality as security for the Developer's covenant set out in paragraph 10(b) hereof, an unconditional irrevocable Letter of Credit drawn on a Canadian Chartered Bank in an amount equal to one hundred and ten percent (110%) of the Municipality's estimate of the cost of providing such paving for a term of not less than one (1) year from the date of approval of the said plan and in the form set out in Schedule "F" hereof;
- (b) Complete the said paving in accordance with the provisions of this Agreement within eleven (11) months of the date of approval of the said plan.

INTERNAL
SERVICING OF
LOT 18

11. The Developer shall, at its sole cost, construct, provide and install the road works, water distribution works, sanitary sewer works, storm sewer works, street lighting, underground wiring and walkways more particularly described in and in accordance with the plans and specifications set out in Drawing Nos. 1090-8-1-4, 1090-8-1-5, 1090-8-1-6 of Schedule "D" hereof:

- (a) Within Phase 1 prior to:
 - (i) obtaining the Approving Officer's approval of any strata plan within Phase 1 or Phase 2; or
 - (ii) obtaining an occupancy permit in respect of any residential dwelling unit within any building in Phase 1 or Phase 2;
 whichever application shall sooner be made by the Developer;
- (b) Within Phase 2 prior to:
 - (i) obtaining the Approving Officer's approval of any strata plan within Phase 2; or
 - (ii) obtaining an occupancy permit in respect of any residential dwelling unit within any building in Phase 2
 whichever application shall sooner be made by the Developer.

JED

-6-

WATER MAIN
WITHIN LOT 18

11A. The Developer shall, prior to obtaining the approvals or permits in respect of Phase 1 and Phase 2 set out in paragraph 11 hereof:

- (a) Cause to be prepared by a British Columbia Land Surveyor the plan of right-of-way over and through Lot 18 of the Subdivision required for the construction, maintenance or repair of the water main works within Phase 1 or Phase 2, as the case may be, more particularly described in Drawing Nos. 1090-8-1-7, 1090-8-1-8, and 1090-8-1-9 of Schedule "D" hereof;
- (b) Deliver to the Municipality in registrable form a right-of-way agreement in the form set out in Schedule "E" hereof together with such consents and priority agreements from the owners of any registered charges against Lot 18 as the circumstances may require;
- (c) Deposit with the Municipality, as security for the Developer's covenants set out in paragraph 13 hereof, an unconditional irrevocable Letter of Credit drawn on a Canadian Chartered Bank in an amount equal to fifteen percent (15%) of the total cost as certified by the Municipality of the water main works and services contained within the said right-of-way for a term of not less than one (1) year and in the form set out in Schedule "F" hereof.

12. No person shall occupy any of the residential dwelling units constructed upon Lot 18 of the Subdivision unless and until the said works and services have been installed by the Developer as provided in paragraph 11 hereof.

MAINTENANCE
OF SERVICES

13. The Developer shall:

- (a) Maintain the works and services installed by the Developer pursuant to paragraphs 9(a) and (b) and those referred to in paragraph 11A hereof in complete repair for a period of one (1) year from the completion thereof to the satisfaction of the Municipal Engineer;
- (b) Remedy any defects appearing in the said works and services and pay for any damage to other property or works resulting therefrom for a period of one (1) year from completion of the said works and services save and except for defects caused by reasonable wear and tear, negligence of the Municipality, its servants or agents or acts of God.

JUD

USE OF SECURITY

14. In the event that the Developer fails to perform any of the covenants on its part to be performed pursuant to paragraphs 10 or 13 hereof within the time limited therein for performance the Municipality may call for and receive all funds secured by the Letter of Credit deposited by the Developer in respect of such covenants and may complete the work at the cost of the Developer and deduct from any such funds the costs of such completion and the balance of such funds, if any, without interest thereon shall be returned to the Developer, ~~less any administration fees required by the Municipality.~~ If there is insufficient money on deposit with the Municipality then the Developer shall pay such deficiency to the Municipality upon receipt of the Municipality's bill for completion. It is understood that the Municipality may do such work either by itself or by contractors employed by the Municipality. If the Developer performs the said covenants within the time limited for such performance by this Agreement the Municipality shall deliver up the Letters of Credit to the Developer for cancellation.

JCP

OWNERSHIP OF SERVICES

15. All works and services installed by the Developer pursuant to the provisions of paragraphs 9(a) and (b) and those referred to in paragraph 11A hereof, constructed, placed or carried out upon property that is now vested in the Municipality or located on highways presently dedicated or by this Agreement required to be dedicated as highways or within any rights-of-way in favour of the Municipality shall, upon their acceptance by the Municipality as hereinafter provided, become the property of the Municipality free and clear of any claim by the Developer or any person claiming through the Developer and the Developer shall save harmless the Municipality from any such claim.

AS-BUILT DRAWINGS and those referred to in Para 11A

16. The Developer shall, at its cost, prior to the acceptance of the works and services installed by the Developer pursuant to paragraph 9(a) and (b) hereof by the Municipality submit to the Municipality two (2) sets of reproducible as-built engineering drawings of such works and services as constructed.

JCP

ACCEPTANCE

17. The Municipality shall, upon the expiration of the one (1) year period referred to in paragraph 13 hereof and provided such works and services have been constructed and maintained in accordance with the provisions of this Agreement and are functioning property, accept the works and services referred to in paragraph 15 hereof and thereafter the Municipality shall be solely responsible for the operation, upkeep and maintenance thereof.

JCP

-8-

EXTRA OFF-SITE COSTS 18. It is acknowledged by the parties hereto that as a result of the Developer paying the funds hereinafter specified, the development proposed will not create an excessive cost to be borne by the Municipality. It is further acknowledged by the parties hereto that the impact of the proposed development on present and future public costs have been partially eliminated as a result of the Developer providing the funds hereinafter specified and carrying out the works provided for in this Agreement.

The Developer shall pay to the Municipality in cash at the time of final approval by the Approving Officer of the plan of the Subdivision, the sum of One Thousand One Hundred and Seventy-Five Dollars (\$1,175.00) for each of the seventeen (17) single family residential lots to be created thereby making together the total sum of Nineteen Thousand Nine Hundred and Seventy-Five Dollars (\$19,975.00).

The Developer shall pay to the Municipality in cash at the time of obtaining any building permit in respect of Lot 18 of the Subdivision, a sum equal to One Thousand One Hundred and Seventy-Five Dollars (\$1,175.00) (or such lower amount as may then be charged by the Municipality in respect of similar developments in the Municipality) multiplied by the number of single family residential dwelling units contained within any such building.

It is understood and agreed that the said sum of One Thousand One Hundred and Seventy-Five Dollars (\$1,175.00) is made up of Three Hundred and Seventy-Five Dollars (\$375.00) being the estimated additional cost to the Municipality of providing waterworks; Five Hundred Dollars (\$500.00) as the additional sum required by the Municipality for the provision of drainage work and Three Hundred Dollars (\$300.00) as the additional sum required by the Municipality for providing the park space required to properly service the subdivision.

- FEES 19. The Developer shall pay to the Municipality:
- (a) At the time of application for approval of the plan of the Subdivision or any strata plan in respect of any building on Lot 18, an inspection fee of Twenty Dollars (\$20.00) for each lot created thereby;
 - (b) Upon demand, any legal costs incurred by the Municipality in the preparation and registration of this Agreement.

JOD The developer, without payment of any further monies to the Municipality shall be entitled to connect with, or hookup to, all off-site utilities and services owned by the Municipality.

JOD

-9-

- COMPLIANCE 20. Except as herein specifically provided the Developer shall in its use and development of the Land comply with all of the by-laws of the Municipality.
- INCORPORATION 21. Schedules "A" to "G" hereof are hereby incorporated into and made part of this Agreement.
- REPRESENTATION 22. It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with the Developer and the Developer has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with the Municipality in either case other than those in this Agreement.
- REGISTRATION 23. This Agreement shall be construed as running with the Land and shall be registered in the Land Registry Office, Kamloops, British Columbia by the Municipality pursuant to the provisions of Section 702A(4) of the Municipal Act.
- INTERPRETATION 24. Whenever the singular or masculine is used herein the same shall be construed as meaning the plural, feminine, or body corporate or politic where the context or the parties so require.
25. Words, phrases and expressions not defined herein shall have the meaning and be construed and be read in light of the definitions of similar words, phrases and expressions set out in "The Salmon Arm Zoning By-law 1976 No. 1180" as amended from time to time.
- BINDING 26. Except as hereinafter provided this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, successors and assigns.
- DISCHARGE 27. It is further understood and agreed by the parties hereto that upon acceptance by the Municipality of the on-site and off-site services described in paragraphs 9 and 11A hereof, following the one (1) year maintenance period therefor, this Agreement shall be discharged by the Municipality at the Developer's cost by the registration in the Land Registry Office at Kamloops of a Quit Claim Deed referring to the registration of this Agreement; PROVIDED, HOWEVER, this Agreement may not be discharged by the Municipality if the discharge thereof will render any of the lands or improvements thereon non-conforming with the by-laws of the Municipality.

JED

-10-

A Public Hearing on this Agreement was held on the 17th day of August, A.D., 1978.

This Agreement was approved on the 11th day of SEPTEMBER, A.D., 1978 by a majority vote of all the members of the Council present at the meeting at which the vote was taken and entitled to vote on the authorizing by-law.

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals the day and year first above written.

THE CORPORATE SEAL OF THE DISTRICT OF SALMON ARM was hereunto affixed in the presence of:

Margaret Lund
Mayor

[Signature]
Clerk

THE CORPORATE SEAL OF ABACUS CITIES LTD. was hereunto affixed in the presence of its proper officers in that behalf:

John Donaldson
DIVISION GENERAL MANAGER

DISTRICT OF SALMON ARM

BY-LAW NO. 1260

Being a by-law to authorize the District of Salmon Arm to enter into a Land Use Contract.

WHEREAS it is considered desirable to enter into a Land Use Contract with Marrow Holdings Ltd., The Garden of Eatin Ltd., pertaining to the development of Lot A, Plan 28106, NW $\frac{1}{4}$ Section 13, Township 20, Range 10; AREA.

AND WHEREAS pursuant to Section 702A(3) of the Municipal Act the Council may, upon the application of an owner of land within the development area, or his agent, enter into a land use contract;

AND WHEREAS the public hearing required by Section 702A(6) of the Municipal Act was held on the 17th day of August, 1978;

NOW THEREFORE the Municipal Council of the District of Salmon Arm, in open meeting assembled, enacts as follows:-

1. The Mayor and Clerk are hereby authorized to execute the Land Use Contract with Marrow Holdings Ltd. et al attached hereto and marked Schedule "A".
2. The Clerk is hereby authorized to register the said Land Use Contract as a charge against the aforementioned property of Marrow Holdings Ltd. et al which shall have the force and effect of a restrictive covenant running with the land, and is further authorized to do all things necessary to complete registration in the Land Registry Office in Kamloops.
3. This by-law may be cited as "District of Salmon Arm Land Use Contract By-law No. 4, 1978".

READ A FIRST TIME this 14th day of August, 1978.


READ A SECOND TIME this 21st day of August, 1978.

READ A THIRD TIME this 21st day of August, 1978.

RECONSIDERED, FINALLY PASSED AND ADOPTED by the District Council on the 11th day of September, 1978.

I HEREBY CERTIFY the foregoing to be a true and correct copy of By-law No. 1260 cited as "District of Salmon Arm Land Use Contract By-law No. 4, 1978" as adopted by Council on the 11th day of September, 1978.

Dated at Salmon Arm, B.C. this 12th day of September, 1978.


Clerk

"L.M. Lund"
Mayor

"F.W. Spence"
Clerk

SCHEDULE "A"

PLAN OF THE 18 LOT SUBDIVISION

JED

SCHEDULE "B"

DEVELOPMENT PLAN PREPARED BY ABACUS CITIES LTD.
SHOWING THE TWO PHASES OF THE STRATA PLAN DEVELOPMENT

JUD

SCHEDULE "C"

SUPPLEMENTARY DESIGN DRAWINGS FOR THE SUBDIVISION SERVICES

JCP

SCHEDULE "D"

ENGINEERING DRAWINGS PREPARED BY STANLEY & ASSOCIATES

JOD

SCHEDULE "E"

FORM OF RIGHT-OF-WAY DOCUMENT

JW

SCHEDULE "F"
LETTER OF CREDIT

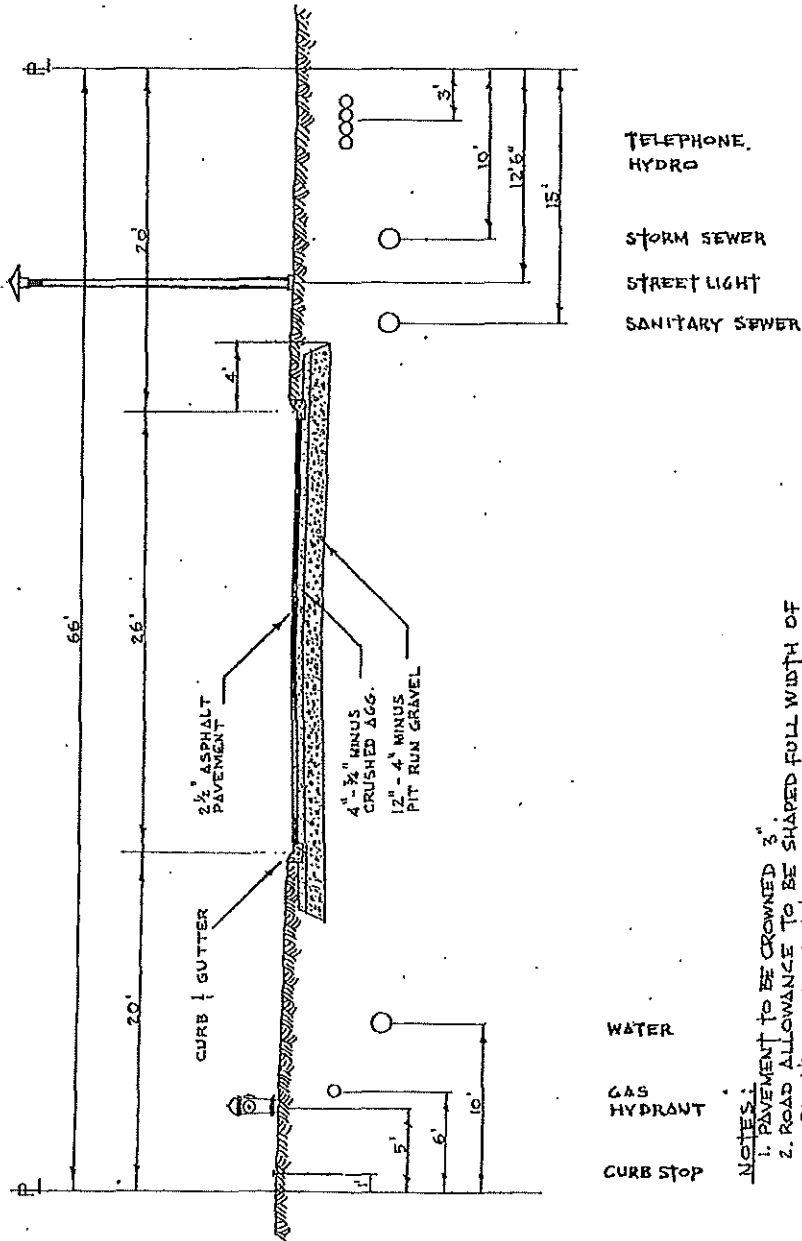
JLD

SCHEDULE "G"

CONSENTS

JAD

SCHEDULE "C"

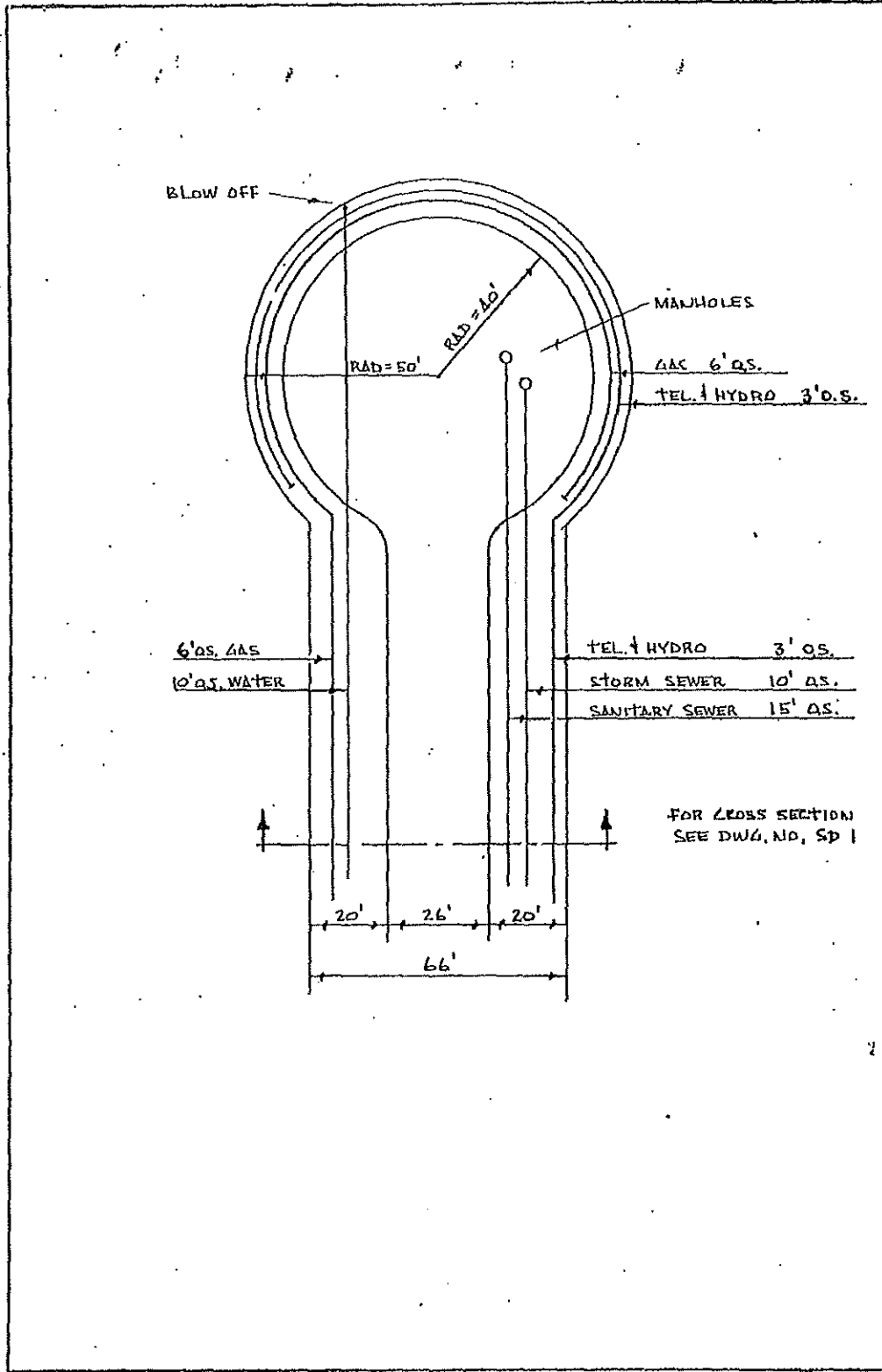


NOTES:
 1. PAVEMENT TO BE CROWNED 3".
 2. ROAD ALLOWANCE TO BE SHAPED FULL WIDTH OF RIGHT OF WAY. CUT & FILL SLOPES ON PRIVATE PROPERTY.
 3. ALL CUT & FILL SLOPES 1 - 1/2

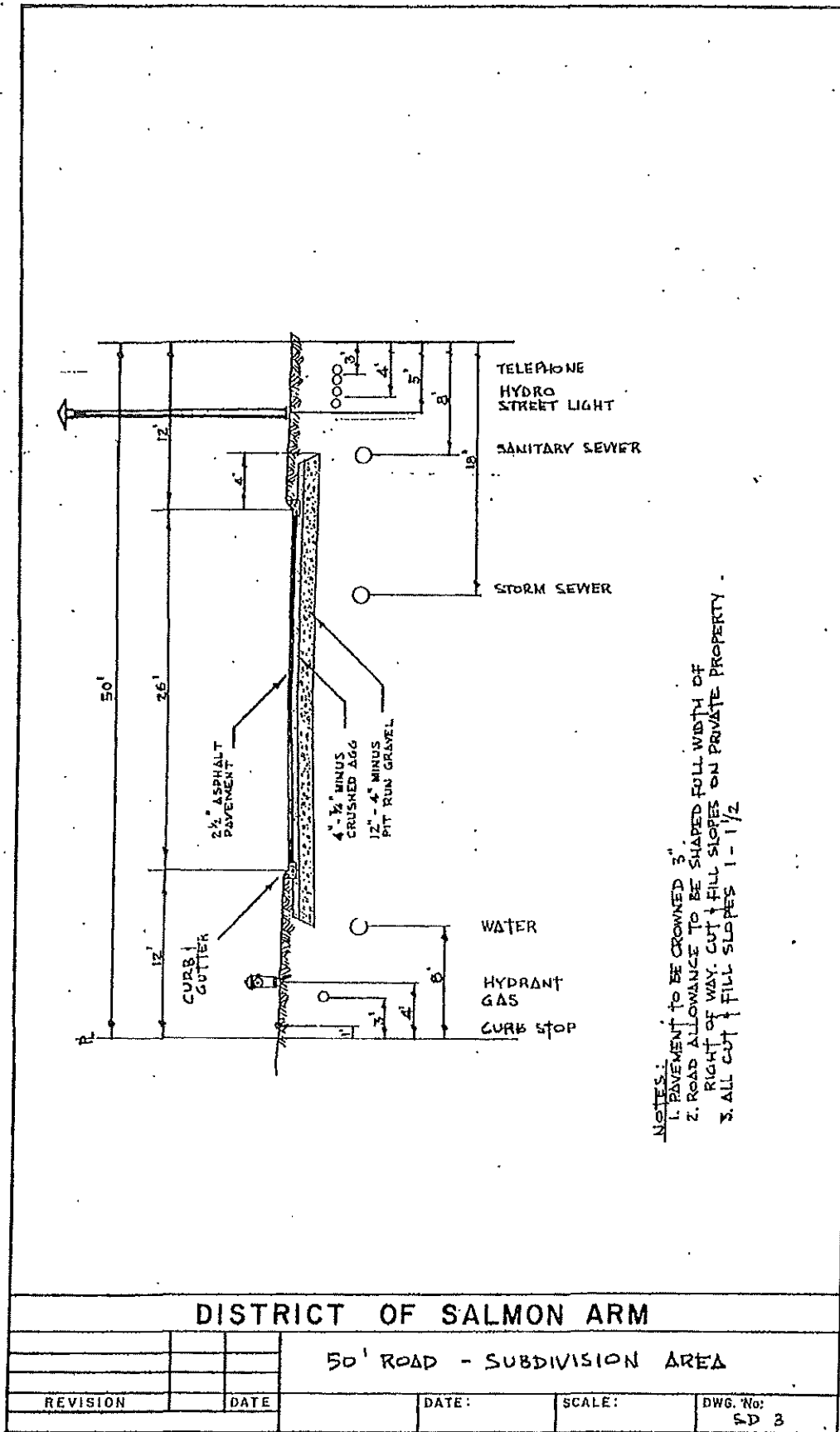
DISTRICT OF SALMON ARM

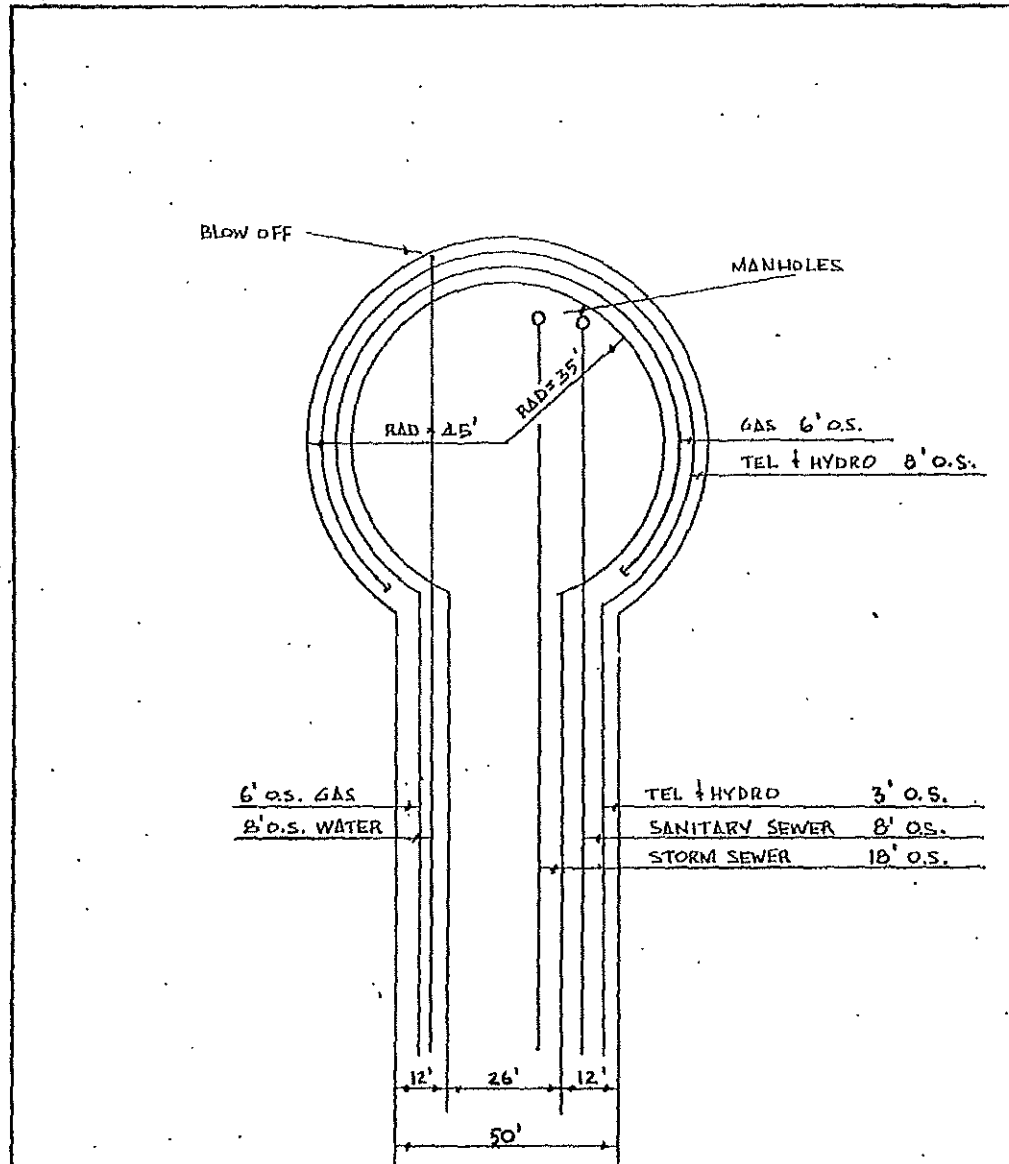
66' ROAD - SUBDIVISION AREA

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD - 1

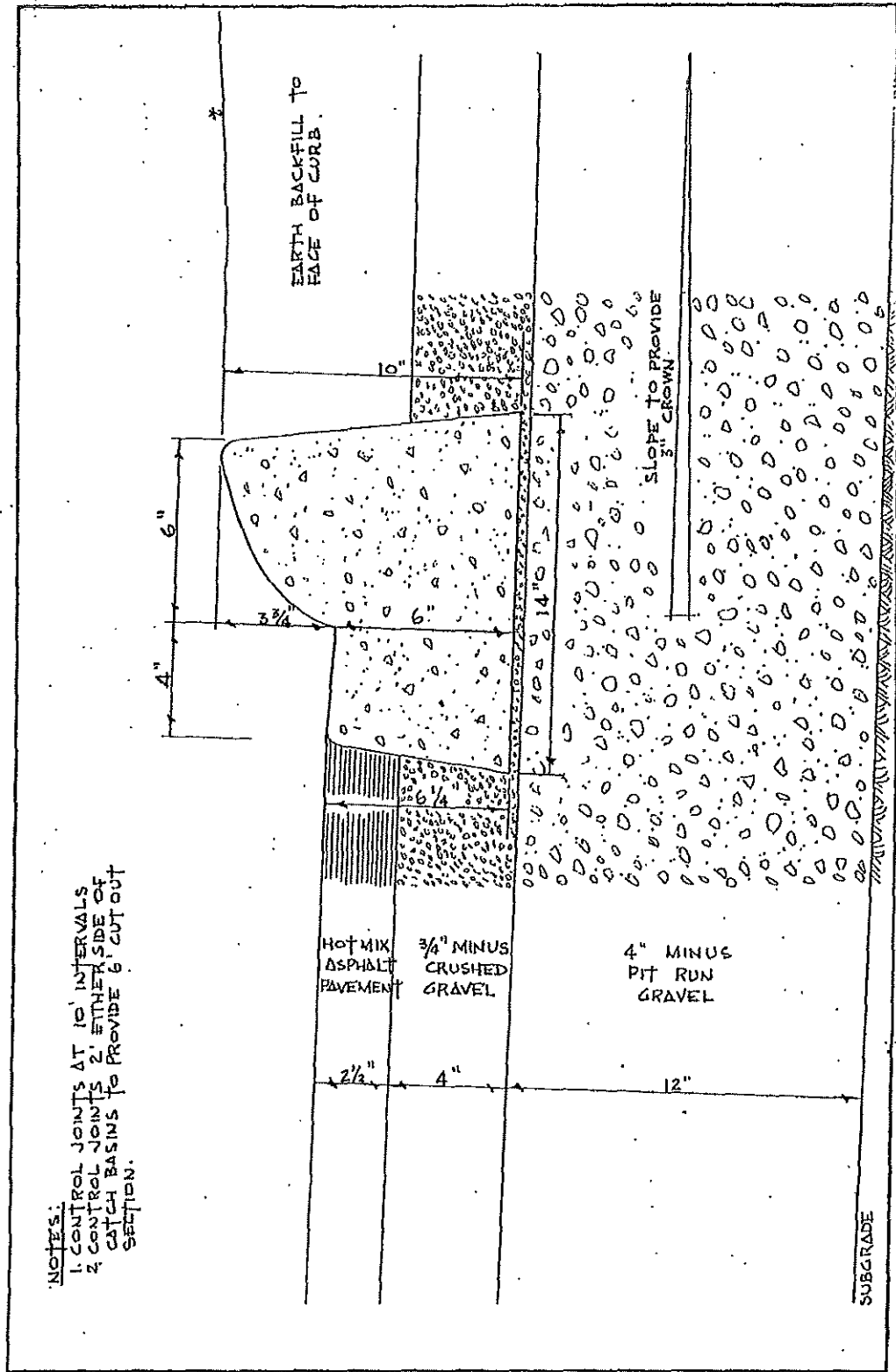


DISTRICT OF SALMON ARM			
SERVICING ARRANGEMENT - 66' ROAD & CUL DE SAC			
REVISION	DATE	DATE: MAR 77	SCALE: DWG. No: SP 2





DISTRICT OF SALMON ARM						
SERVICING ARRANGEMENT 50' ROAD + CUL DE SAC						
REVISION		DATE	DATE:	SCALE:	DWG. No:	SD 4

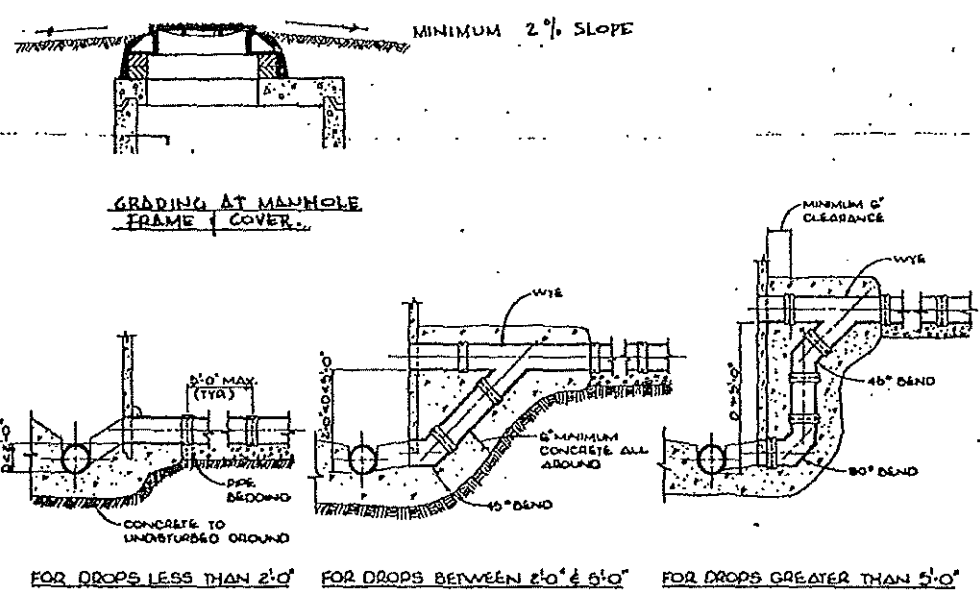
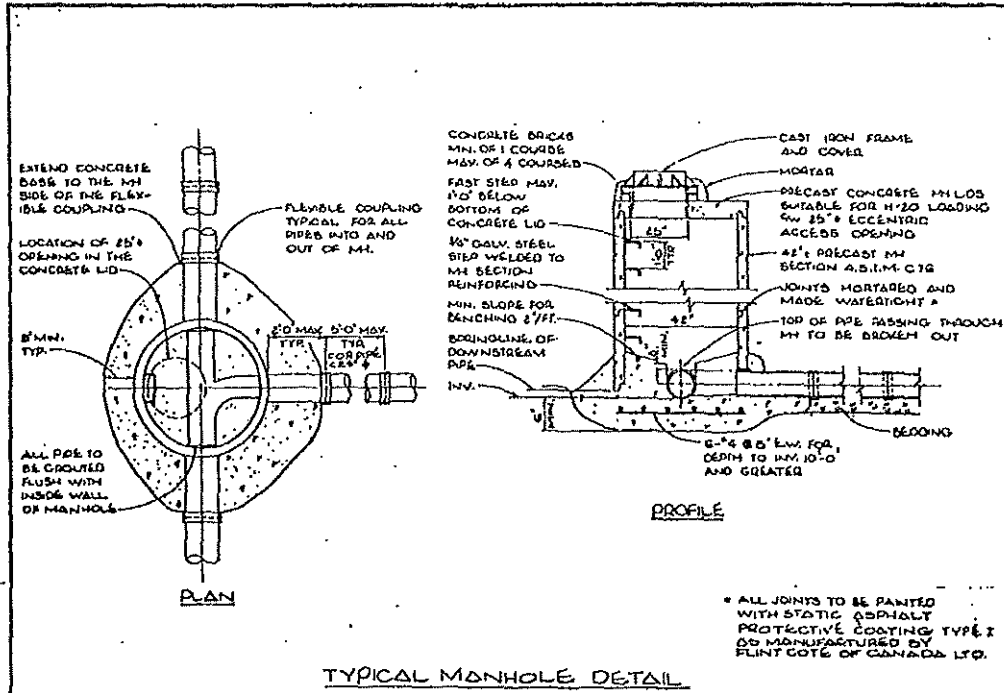


NOTES:
 1. CONTROL JOINTS AT 10' INTERVALS
 2. CONTROL JOINTS 2' EITHER SIDE OF CATCH BASINS TO PROVIDE 6' CUT OUT SECTION.

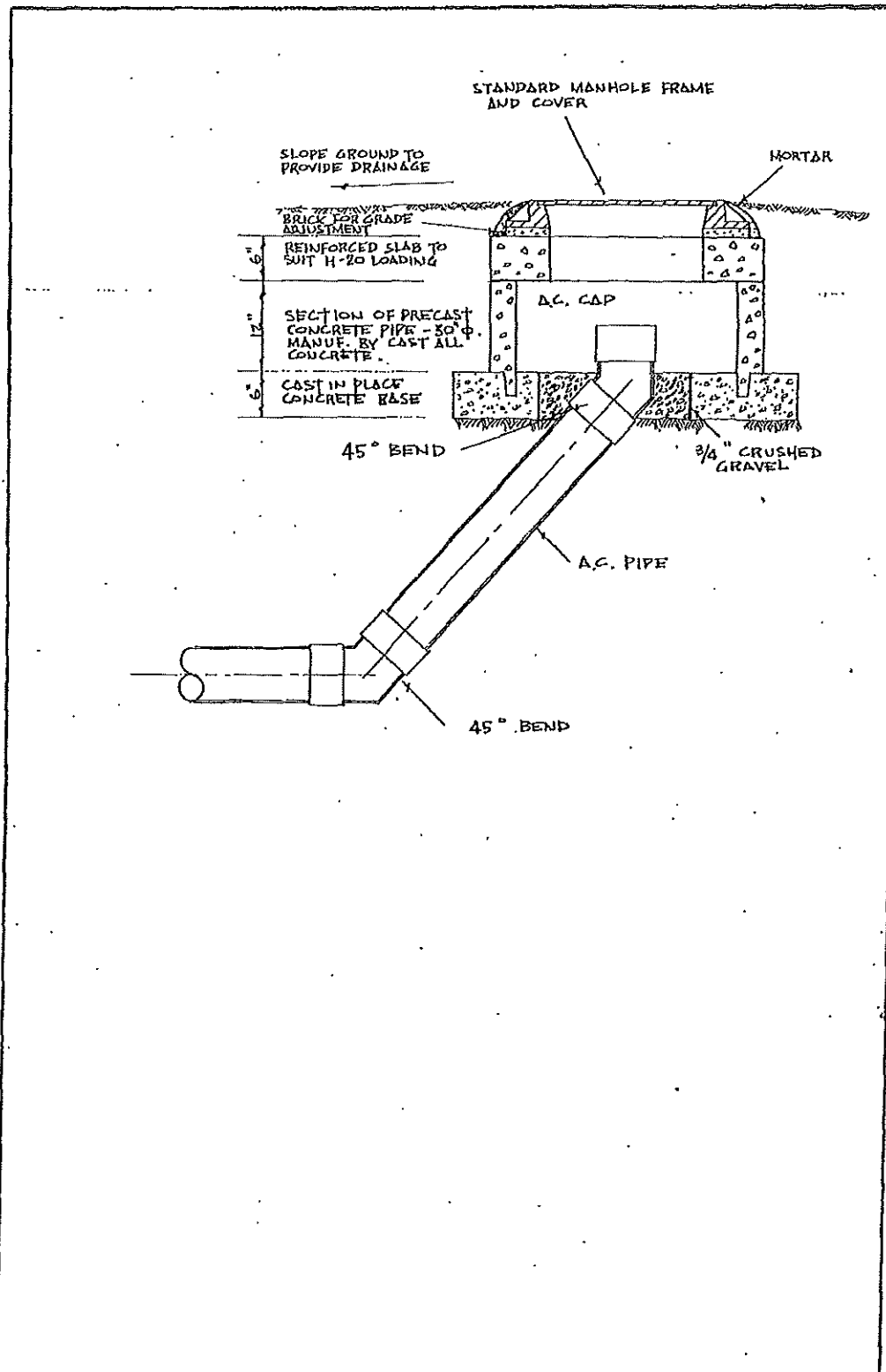
DISTRICT OF SALMON ARM

MONOLITHIC CURB + CUTTER

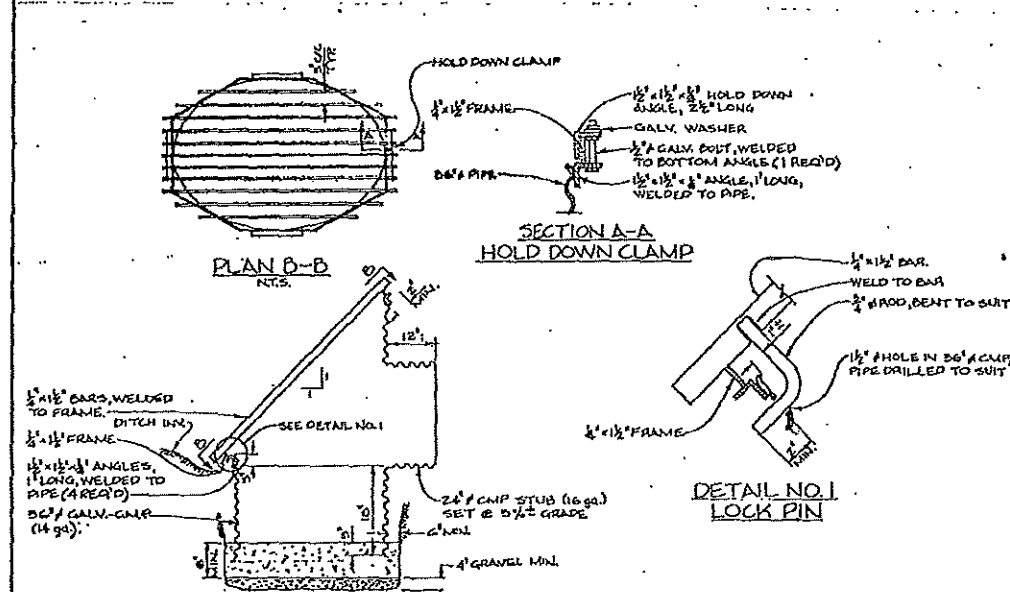
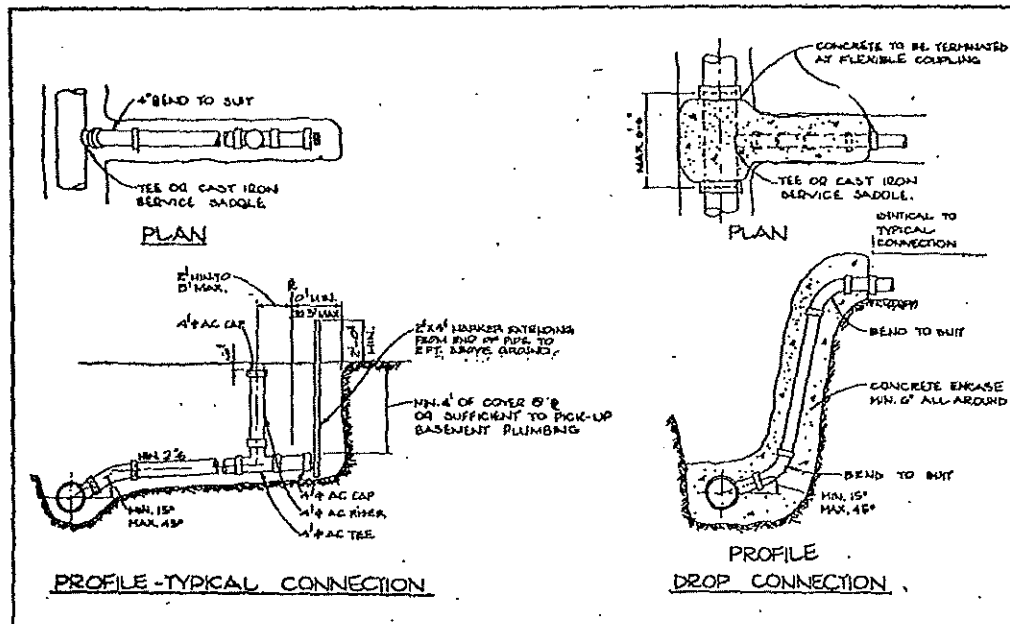
REVISION	DATE	DATE: MAR 77.	SCALE:	DWG. No: SP-6



DISTRICT OF SALMON ARM			
TYPICAL MANHOLE DETAILS			
REVISION	DATE	DATE:	SCALE:
		MAR 77	
			DWO. No: SD 31

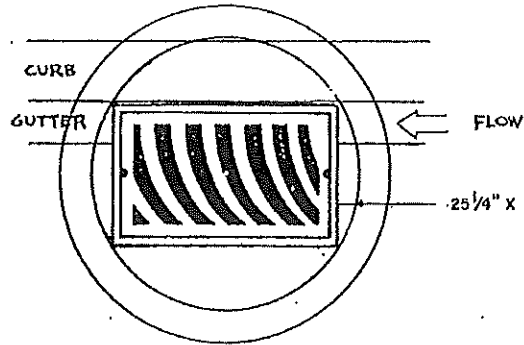


DISTRICT OF SALMON ARM			
TYPICAL CLEANOUT DETAIL			
REVISION	DATE	DATE: MAR 77	SCALE: DWG. No: SD 32



DISTRICT OF SALMON ARM

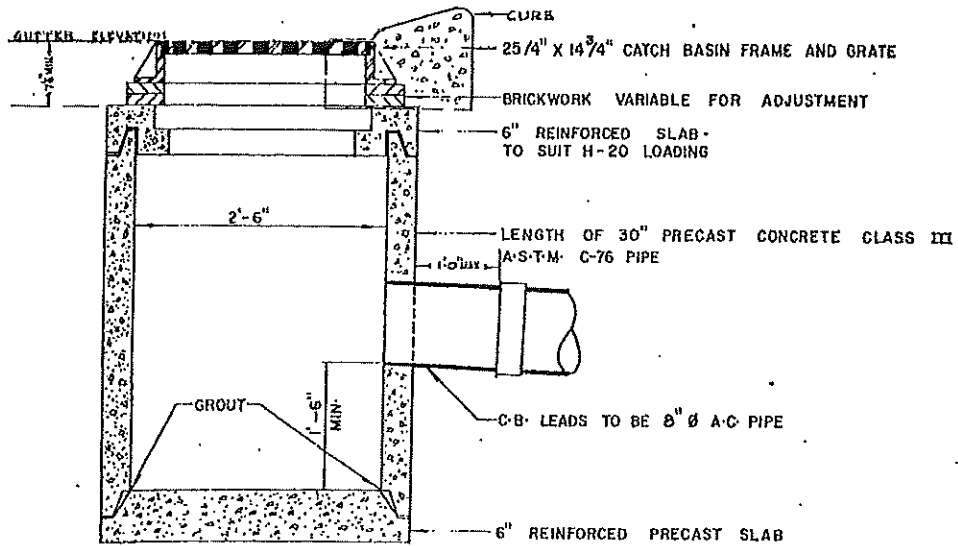
		SEWER SERVICE CONNECTION DETAILS		
		DITCH INLET STRUCTURE DETAILS		
REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD-32



- PLAN -

- .25 1/4" X 14 3/4" CATCH BASIN FRAME AND GRATE
- APPROVED PATTERNS
- 1- PEACH CITY FOUNDRY, PENTICTON, B.C.
- 2- MAINLAND FOUNDRY AND ENGINEERING LTD. VANCOUVER B.C.
- 3- DOBNEY FOUNDRY CO. LTD. NEW WESTMINSTER, B.C.

- NOTES:
- 1- APPROX. WT. - GRATE 150 LBS. FRAME 190 LBS.
 - 2- GRATES AVAILABLE IN BOTH LEFT AND RIGHT HAND

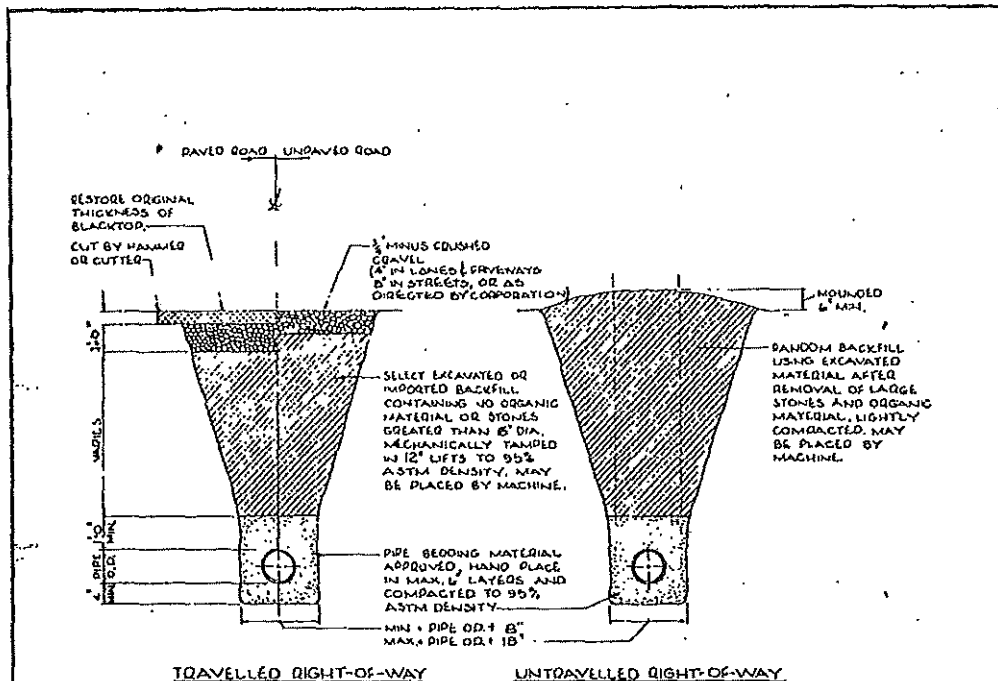


- SECTION -

DISTRICT OF SALMON ARM

TYPICAL CATCH BASIN DETAIL

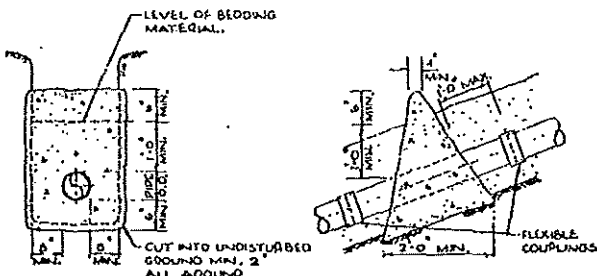
REVISION	DATE	DATE: MAR 77	SCALE:	DWG. No: SD 34



TRAVELLED RIGHT-OF-WAY UNTRAVELLED RIGHT-OF-WAY

TYPICAL TRENCH DETAILS

NOTE: ALL CONCRETE CLASS B. ALL CRADLES, ARCHES AND ENCASMENTS SHALL BE TERMINATED AT A FLEXIBLE COUPLING

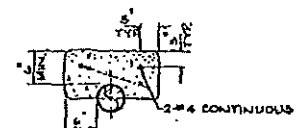


TRENCH DAM

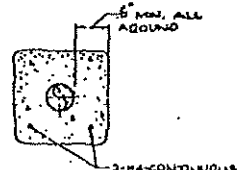
CONSTRUCT TRENCH DAMS: ON LATERALS HAVING 10% TO 14.9% SLOPE NOT MORE THAN 100 APART. ON LATERALS HAVING OVER 15% SLOPE NOT MORE THAN 50 APART OR AS ESTABLISHED IN THE FIELD BY THE CORPORATION



CONCRETE CRADLE



CONCRETE CAP

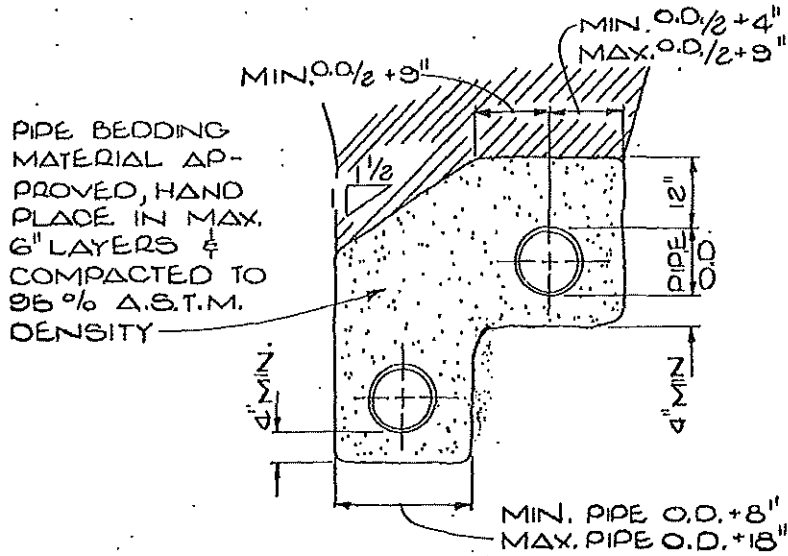


CONCRETE ENCASMENT

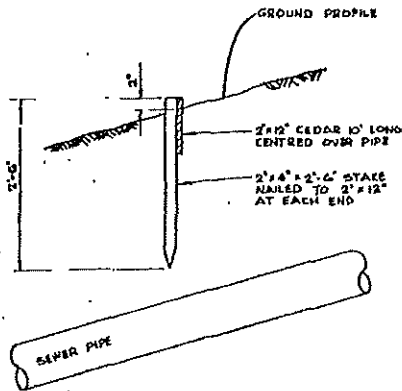
DISTRICT OF SALMON ARM

TYPICAL TRENCH DETAILS

REVISION	DATE	DATE: MAR 77	SCALE:	DWG. No: SD-35



COMMON TRENCH BEDDING AND PIPE COVER DETAIL

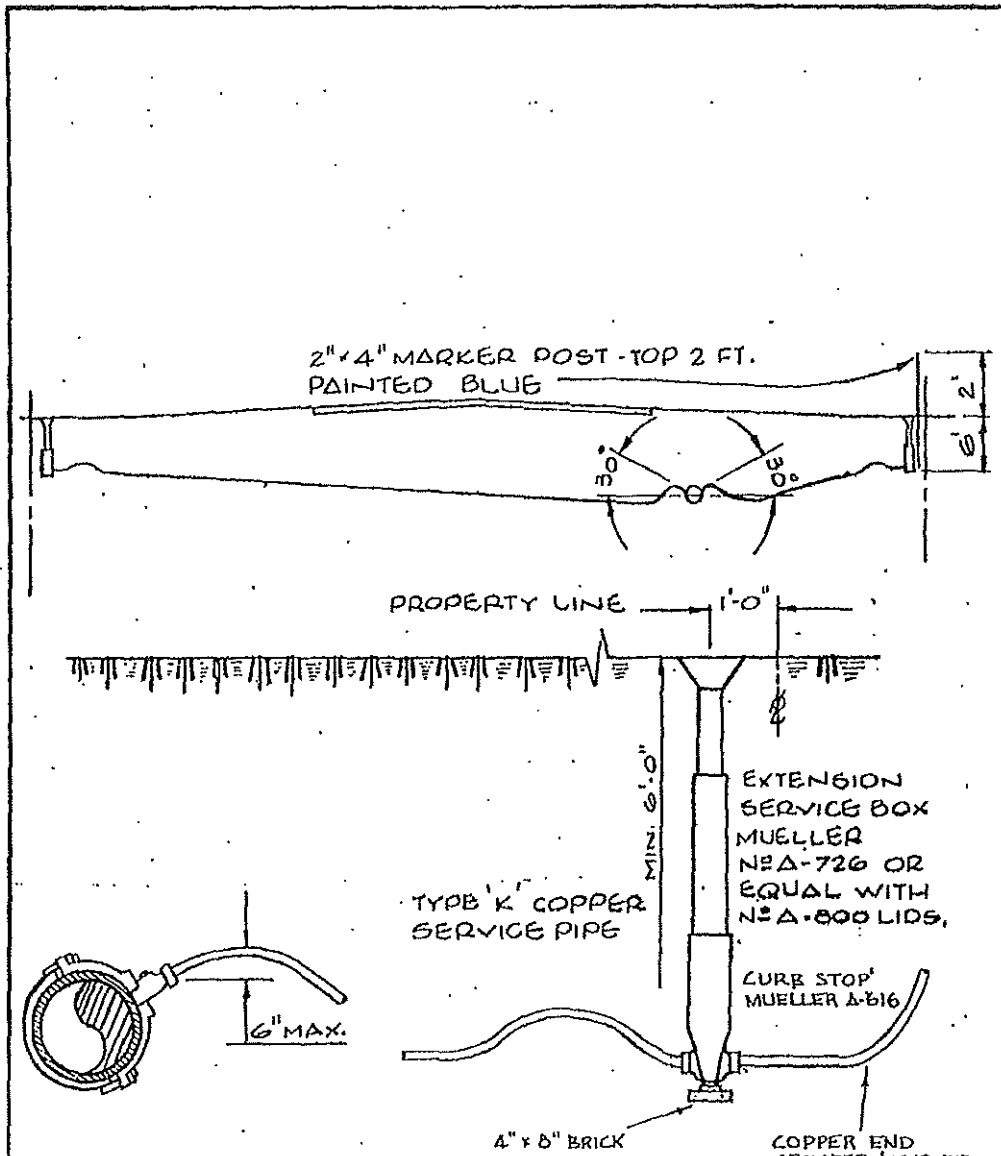


BATTER BOARD DETAIL
 FOR PREVENTION OF SLOPE SURFACE SCOUR.

DISTRICT OF SALMON ARM

- COMMON TRENCH BEDDING DETAIL.
- BATTER BOARD DETAIL.

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD 36

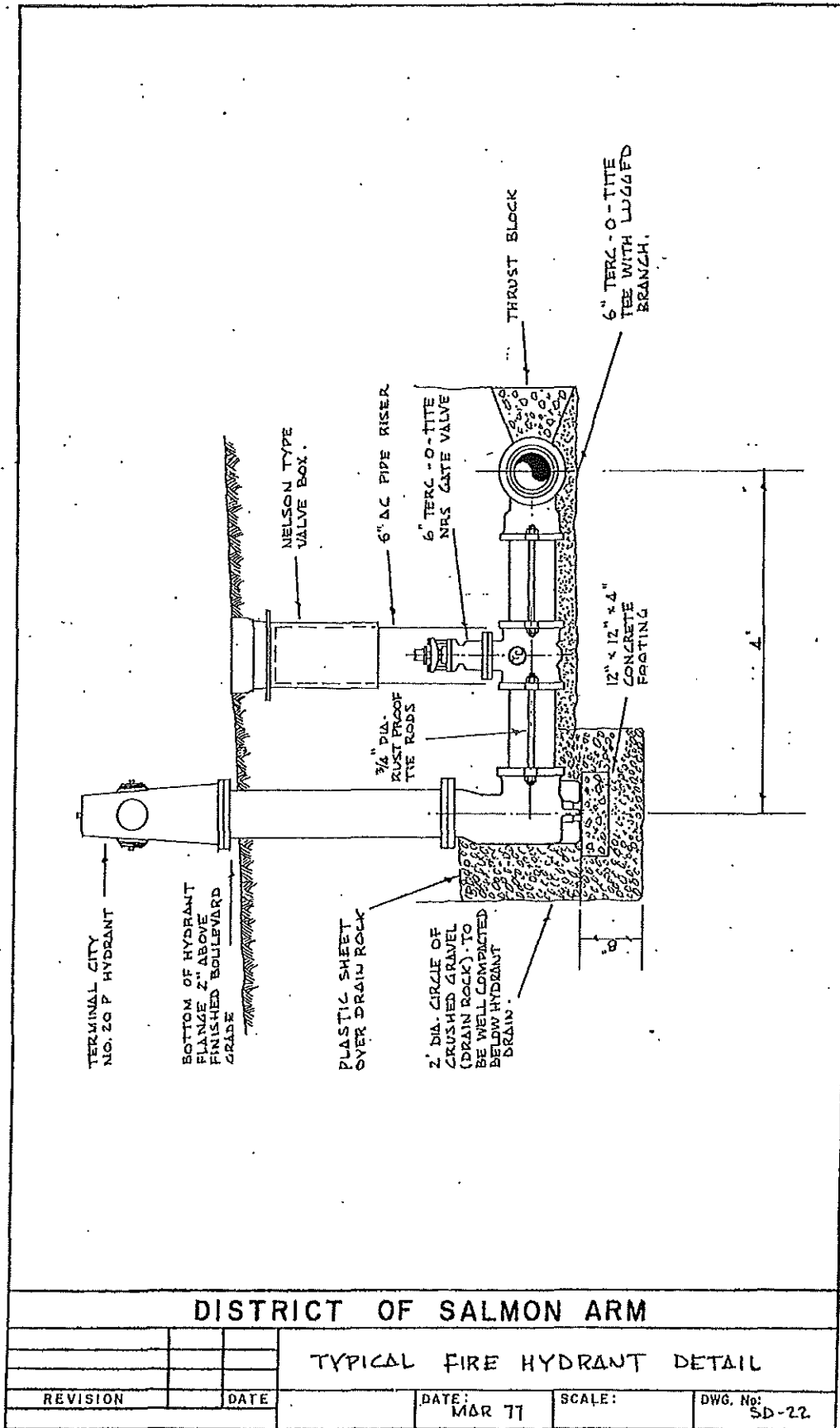


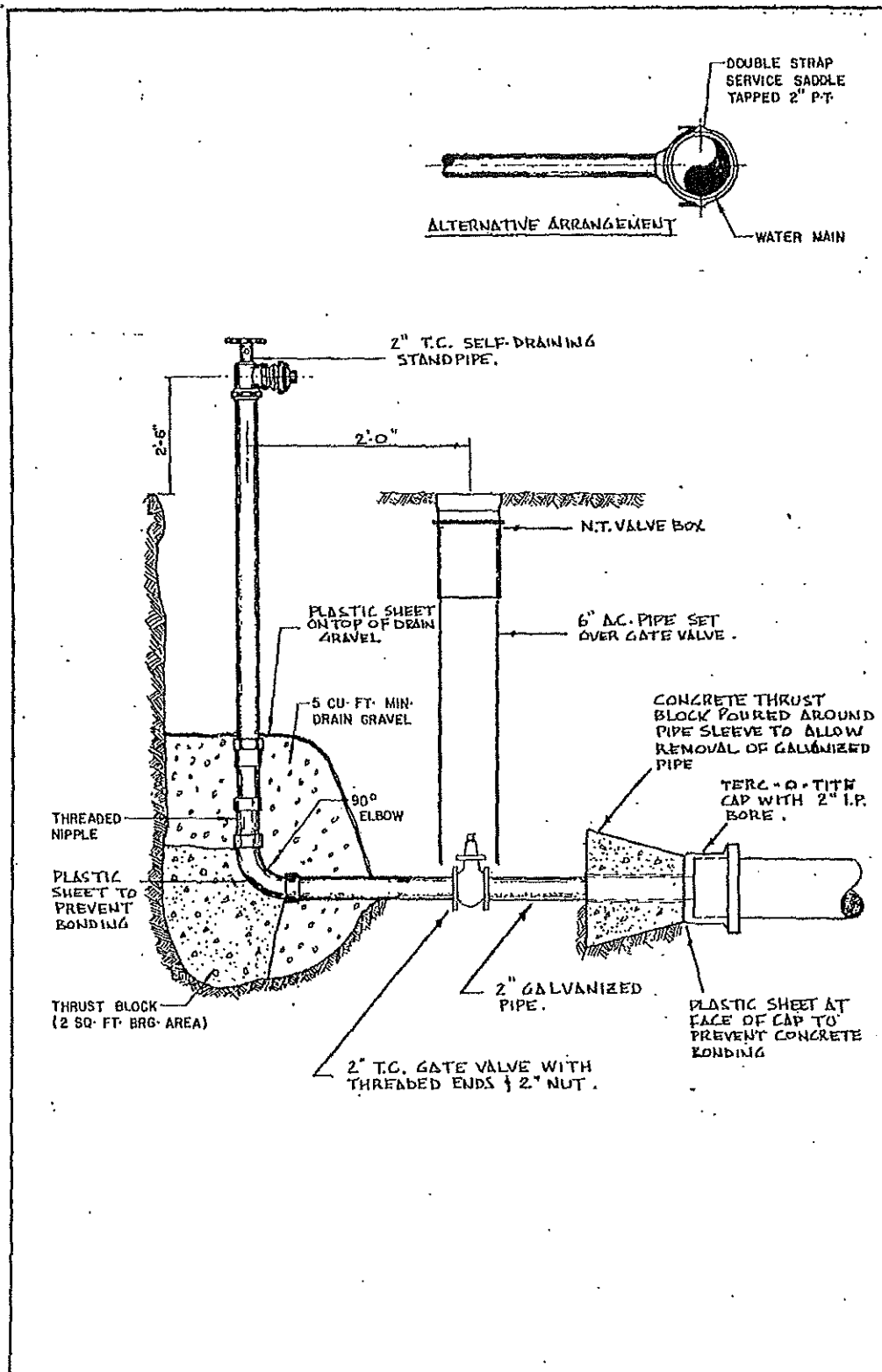
- NOTE:
1. SERVICE CONNECTIONS AT MAIN TO BE MINIMUM 3' APART.
 2. SERVICES TO RUN PERPENDICULAR FROM MAIN TO CENTRE OF LOT.
 3. EXCAVATIONS IN ROADWAY TO BE COMPACTED TO ROAD SURFACE.
 4. COPPER PIPE TO BE INSTALLED IN GOOSENECK SHAPE AT CORPORATION STOP & AT CURB STOP.
 5. COPPER PIPE BEDDING TO BE WELL COMPACTED AT ALL FITTINGS AND AT ALL GOOSENECKS. BEDDING TO BE SAND UNLESS OTHERWISE APPROVED BY DISTRICT.

DISTRICT OF SALMON ARM

WATER SERVICE CONNECTION

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD-21

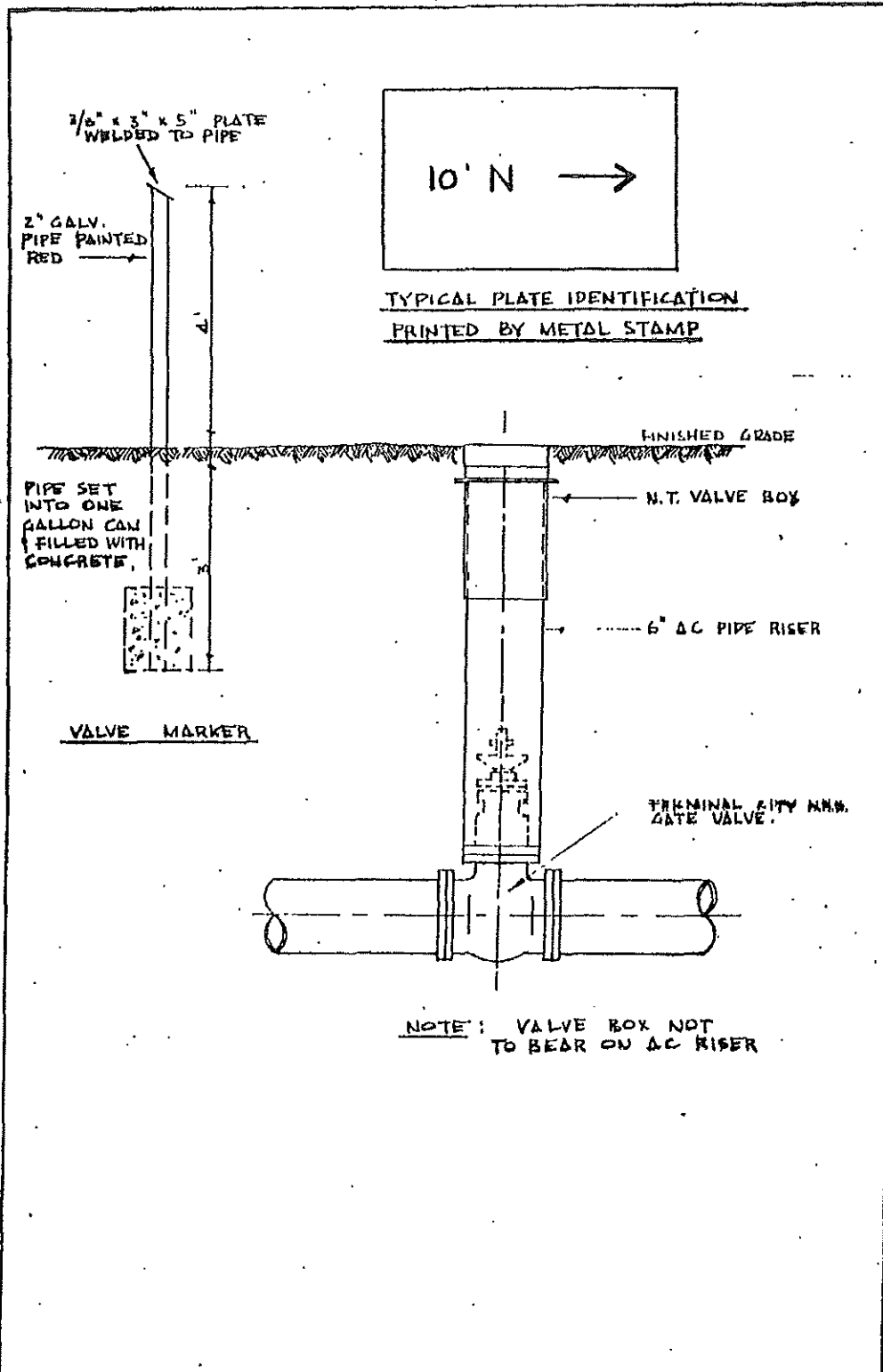




DISTRICT OF SALMON ARM

TYPICAL BLOW OFF ARRANGEMENT

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD-23



10' N →

TYPICAL PLATE IDENTIFICATION
PRINTED BY METAL STAMP

3/8" x 3" x 5" PLATE
WELDED TO PIPE

2" GALV.
PIPE PAINTED
RED

4'

FINISHED GRADE

N.T. VALVE BOX

PIPE SET
INTO ONE
GALLON CAN
FILLED WITH
CONCRETE

6" DC PIPE RISER

VALVE MARKER

TERMINAL CITY M.M.
GATE VALVE

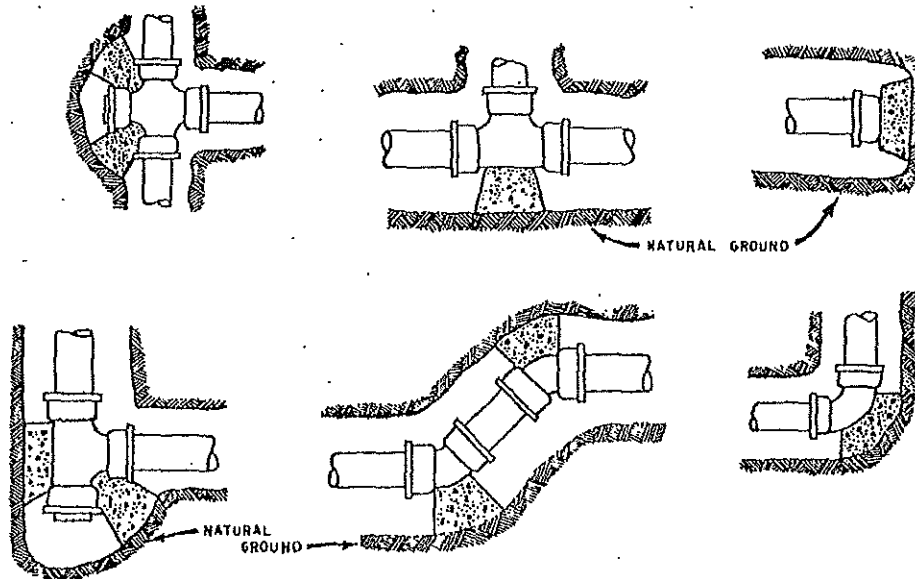
NOTE: VALVE BOX NOT
TO BEAR ON DC RISER

DISTRICT OF SALMON ARM

STANDARD VALVE BOX AND
MARKER INSTALLATION

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 71		SD 24

BLOCKING REQUIRED AT 150 PSI WATER PRESSURE								
FITTING SIZE	CAPS, PLUGS, TEES		90° ELBOWS		45° ELBOWS		22½° ELBOWS	
	THRUST LBS.	MINIMUM BLOCK BASE AREA SQ. FT.	THRUST LBS.	MINIMUM BLOCK BASE AREA SQ. FT.	THRUST LBS.	MINIMUM BLOCK BASE AREA SQ. FT.	THRUST LBS.	MINIMUM BLOCK BASE AREA SQ. FT.
4"	2,775	1.1	3,915	1.6	2,130	1.0	1,080	0.5
6"	5,700	2.3	8,555	3.3	4,365	1.8	2,205	1.0
8"	9,870	4.0	13,950	5.6	7,560	3.0	3,825	1.5
10"	16,125	6.5	22,800	9.1	12,360	5.0	6,255	2.5
12"	22,965	9.2	32,460	13.0	17,580	7.0	8,910	3.5



NOTE:

1. THRUST BLOCK AREAS BASED ON SAFE BEARING LOAD OF SOIL OF 2500 PSF. IN FIRM CLAY, SAND & GRAVEL. FOR SOILS OTHER THAN THESE DESIGN AREA TO BE CONFIRMED WITH DISTRICT OF SALMON ARM.
2. THRUST BLOCKS TO EXTEND INTO UNDISTURBED SOIL. UNSTABLE SOILS ARE TO BE REMOVED AND REPLACED WITH STABLE COMPACTED FILL OR A SPECIAL ANCHOR BLOCK AS DIRECTED BY THE DISTRICT.
3. CONCRETE STRENGTH TO BE 3000 PSI.
4. PLASTIC SHEETING TO BE PLACED OVER ALL FITTINGS TO PREVENT BONDING TO CONCRETE.

DISTRICT OF SALMON ARM

TYPICAL THRUST BLOCK REQUIREMENTS

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAR 77		SD-25

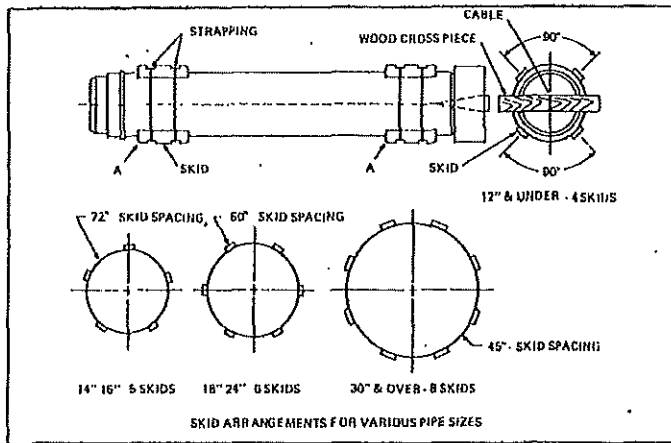


Table of Casing Sizes

Pipe Size (Diameter in inches)	Casing Size (Diameter in inches)
3	9
4	10
6	12
8	16
10	18
12	20
14	22
16	24
18	28
20	28
24	34

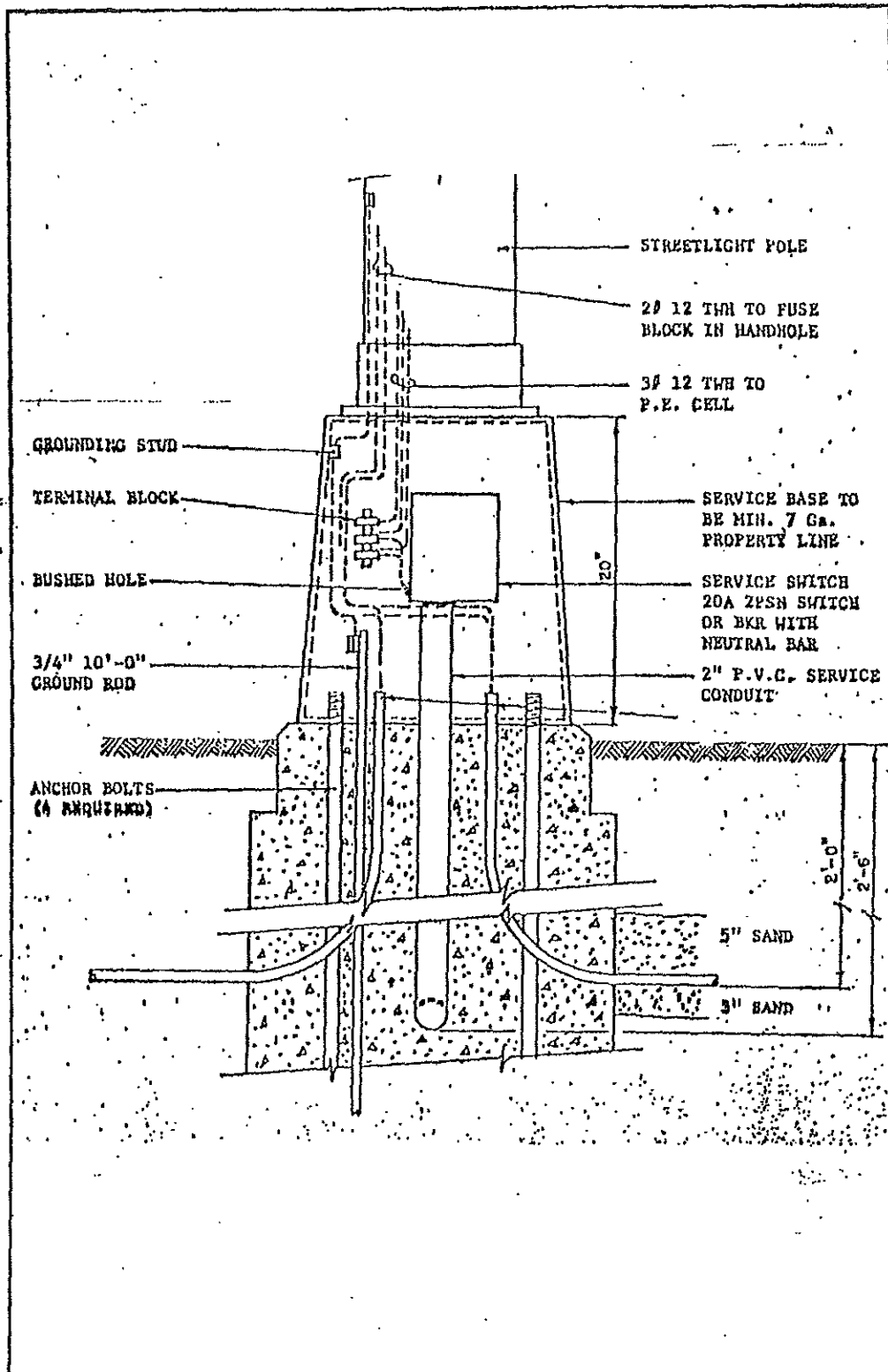
NOTE:

1. SKIDS TO BE TREATED WITH WOOD PRESERVATIVE.
2. INSTALLATION LUBRICANT TO BE "FLAX SOAP" OR EQUIVALENT. PETROLEUM PRODUCTS NOT TO BE USED.
3. SKIDS TO BE 24" - 30" LONG AND HIGH ENOUGH TO ALLOW FOR CLEARANCE BETWEEN COUPLINGS AND BOTTOM OF CASING.
4. SKIDS TO BE FASTENED SECURELY WITH HEAVY STEEL STRAPPING OR WIRE AND TO BE LOCATED AT POINTS 1/5TH PIPE LENGTH FROM EACH END.

DISTRICT OF SALMON ARM

TYPICAL PIPE CASING DETAIL

REVISION		DATE	DATE: MAR 77	SCALE:	DWG. No: SD-26



DISTRICT OF SALMON ARM

POLE BASE SERVICE

REVISION	DATE	DATE:	SCALE:	DWG. No:
		MAY 78	N.T.S.	SD40

DISTRICT OF SALMON ARM

UTILITY RECORD

ADDRESS _____

SUBDIVISION _____

LOT _____ PLAN _____

SECTION _____

WATER	STORM SEWER	LOCATION PLAN
Date Installed: _____ Installed By: _____ _____ Size: _____ Material: _____ Service Turn Off _____ Ft. From N E S W P.L. and _____ ft. from Lot Line.	Date Installed: _____ Installed By: _____ _____ Size: _____ Material: _____ Depth at P.L. _____ Tee Location _____ Ft. From N E S W P.L. and _____ ft. from Lot Line.	Scale: _____
SANITARY SEWER	NOTES	
Date Installed: _____ Installed By: _____ _____ Size: _____ Material: _____ Depth at P.L. _____ Tee Location _____ ft From N E S W P.L. and _____	 	

THIS INDENTURE made the _____ day of _____, 197

BETWEEN:

(hereinafter called the "Grantor")

OF THE FIRST PART

AND:

OF THE SECOND PART

WHEREAS the Grantor is the registered owner or is entitled to become the registered owner of an estate in fee simple of ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the _____ in the Province of British Columbia and being more particularly known and described as:

(hereinafter called the "Lands of the Grantor")

AND WHEREAS to facilitate the installation of a system of sewerage works, and/or water works, and/or drainage works, and/or gas works including all pipes, valves, fittings and facilities in connection therewith and/or hydro electric works including all wires, poles, conduits and other facilities in connection therewith;

(hereinafter called the "Works")

The Grantor has agreed to permit the construction by the Grantee of the aforementioned works on a portion of the said Land and to grant for that purpose the right-of-way hereinafter described;

-2-

NOW THEREFORE THIS INDENTURE WITNESSETH that in consideration of the sum of
Dollars
(\$) of lawful money of Canada, now paid by the Grantee to the
Grantor (the receipt and sufficiency of which is hereby acknowledged by the
Grantor), and in consideration of the covenants and conditions hereinafter
contained to be observed and performed by the Grantee and for other valuable
consideration:

1.0 THE GRANTOR DOTH HEREBY:

1.1 Grant, convey, confirm and transfer, in perpetuity, unto the Grantee
the full, free and uninterrupted right, license, liberty, privilege,
permission and right-of-way to lay down, install, construct, entrench,
operate, maintain, inspect, alter, remove, replace, bury, cleanse,
string, and otherwise establish one or more systems of Works upon,
over, under and across that part of the Land of the Grantor as shown
outlined in red on Right-of-Way Plan number

(hereinafter called the "Perpetual Right-of-Way")

1.2 Covenant and agree to and with the Grantee that for the purposes
aforesaid and upon, over, under and across the Perpetual Right-of-Way
the Grantee shall for itself and its servants, agents, workmen,
contractors and all other licensees of the Grantee together with
machinery, vehicles, equipment, and materials be entitled at all
times to enter, use, pass and repass, labour, construct, erect,
install, dig, carry away soil or other surface or subsurface materials,
clear of all trees, growth, buildings or obstruction now or hereafter
in existence, as may be necessary, useful, or convenient in connection
with the operations of the Grantee in relation to the Works;

1.3 Grant, convey, confirm and transfer unto the Grantee for itself, and
its servants, agents, workmen, contractors and all other licensees
of the Grantee together with machinery, vehicles, equipment and
materials the right at all reasonable times to enter upon and to pass
and repass over such of the Lands of the Grantor as may reasonably
be required for the purpose of ingress to and egress from the
Perpetual Right-of-Way;

1.4 Grant, convey, confirm and transfer unto the Grantee for itself, and
its servants, agents, workmen, contractors and all other licensees
of the Grantee together with machinery, vehicles, equipment and
materials for a period of days only from the date of
this Agreement, the full, free and uninterrupted right, license, liberty,
privilege, permission and right-of-way to enter upon, pass and repass,
clear, labour, and use for the purpose of ingress and egress to and
from the Perpetual Right-of-Way and for the purpose of storing machinery,

-3-

vehicles, equipment, material or supplies used or to be used in connection with the construction of the Works herein described, and for the purpose of placing or storing the surface or subsurface material to be excavated from the Perpetual Right-of-Way upon and over, but not under that part or parts of the Lands of the Grantor, shown outlined in green on Right-of-Way Plan number

(hereinafter called the "Working Right-of-Way")

Provided always, and it is hereby agreed that nothing herein contained shall permit the Grantee to dig, trench or otherwise disturb the subsurface of the Working Right-of-Way and the Grantee shall only clear such trees and growth and interfere and disturb the surface of the Working Right-of-Way in a manner that is reasonably necessary in the conduct of its operations thereon;

- 2.0 THE GRANTOR HEREBY COVENANTS TO AND AGREES WITH THE GRANTEE, as follows:
- 2.1 That the Grantor will not, nor permit any other person to erect, place, install or maintain any building, structure, mobile home, concrete driveway or patio, pipe, wire or other conduit on, over or under any portion of the Perpetual Right-of-Way so that it in any way interferes with or damages or prevents access to, or is likely to cause harm to Works authorized hereby to be installed in or upon the Perpetual Right-of-Way;
- 2.2 That the Grantor will not do nor knowingly permit to be done any act or thing which will interfere with or injure the said Works and in particular will not carry out any blasting on or adjacent to the Perpetual Right-of-Way without the consent in writing of the Grantee, provided that such consent shall not be unreasonably withheld;
- 2.3 That the Grantor will not substantially diminish the soil cover over any of the Works installed in the Perpetual Right-of-Way and in particular, without in any way limiting the generality of the foregoing, will not construct open drains or ditches along or across any of the Works installed in the Perpetual Right-of-Way;

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- 2.4 That the Grantor will from time to time and at all times upon every reasonable request and at the cost of the Grantee do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the rights hereby granted.
- 3.0 THE GRANTEE HEREBY COVENANTS TO AND AGREES WITH THE GRANTOR, as follows:
- 3.1 That the Grantee will not bury any debris or rubbish of any kind in excavations or backfill, and will remove shoring and like temporary structures as backfilling proceeds;
- 3.2 That the Grantee will thoroughly clean all lands to which it has had access hereunder of all rubbish and construction debris created or placed thereon by the Grantee and will leave such lands in a neat and clean condition;
- 3.3 That the Grantee will, as soon as weather and soil conditions permit, and so often as it may exercise its right of entry hereunder to any of the Lands of the Grantor, replace the surface soil as nearly as may be reasonably possible to the same condition as it was prior to such entry, in order to restore the natural drainage to such lands. PROVIDED HOWEVER that nothing herein contained shall require the Grantee to restore any trees or other surface growth but the Grantee shall leave such lands in a condition which will not inhibit natural regeneration of such growth;
- 3.4 That the Grantee will, as far as reasonably possible, carry out all work in a proper and workmanlike manner so as to do as little injury to the Lands of the Grantor as possible;
- 3.5 That the Grantee will make good at its own expense all damage or disturbance which may be caused to the surface soil of the Lands of the Grantor in the exercise of its rights hereunder;
- 3.6 The Grantee will, as far as reasonably possible, restore any fences, lawns, flower beds, at its cost as nearly as may be reasonably possible to the same condition that they were in prior to any entry by the Grantee upon the Lands.

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- 4.0 THE PARTIES HERETO EACH HEREBY COVENANT TO AND AGREE WITH THE OTHER, as follows:
- 4.1 The said Works referred to above, together with all pipes, valves, conduits, wires, casings, fittings, lines, meters, appliances, facilities, attachments or devices used in connection therewith shall constitute the Works;
- 4.2 Notwithstanding any rule of law or equity to the contrary, the Works brought on to, set, constructed, laid, erected in, upon or under the Perpetual Right-of-Way by the Grantee shall at all times remain the property of the Grantee notwithstanding that the same may be annexed or affixed to the freehold and shall at any time and from time to time be removable in whole or in part by the Grantee;
- 4.3 In the event that the Grantee abandons the Works or any part thereof the Grantee may, if it so elects, leave the whole or any part thereof in place;
- 4.4 That no part of the title in fee simple to the soil shall pass to or be vested in the Grantee under or by virtue of these presents and the Grantor may fully use and enjoy all of the Lands of the Grantor subject only to the rights and restrictions herein contained;
- 4.5 That the covenants herein contained shall be covenants running with the land and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands of the Grantor, and with respect only to that portion of the Lands of the Grantor of which the Grantor shall be seised or in which he shall have an interest, but that the Lands of the Grantor; nevertheless, be and remain at all times charged therewith;
- 4.6 If at the date hereof the Grantor is not the sole registered owner of the Lands of the Grantor, this Agreement shall nevertheless bind the Grantor to the full extent of his interest therein, and if he shall acquire a greater or the entire interest in fee simple, this Agreement shall likewise extend to such after-acquired interests;

4.7 Where the expression "Grantor" includes more than one person, all covenants herein on the part of the Grantor shall be construed as being several as well as joint;

4.8 This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors and assigns as the case may be and wherever the singular or masculine is used, it shall be construed as if the plural or the feminine or neuter, as the case may be, had been used, where the parties or the context hereto so require and the rest of the sentence shall be construed as if the grammatical and terminological changes thereby rendered necessary had been made.

IN WITNESS WHEREOF the parties hereto have executed these presents in the manner and on the date hereinafter appearing.

SIGNED, SEALED AND DELIVERED
by the Grantor this
day of 197
in the presence of:

(Se

Signature of Witness

Address

Occupation
(as to all signatures of
Grantor)

The Corporate Seal of the
Grantor was hereunto affixed
this day of
197 in the presence of:

(Se

The Corporate Seal of the
was hereunto
affixed this day of
197
in the presence of:

(Se

Mayor

Clerk

SCHEDULE "F"

The Corporation of the District of Salmon Arm
Salmon Arm, B.C.

Dear Sirs:

IRREVOCABLE COMMERCIAL LETTER OF CREDIT NO.

We hereby authorize you to draw on
, for account of
up to an aggregate amount of
available by drafts at sight for 100% of value.

COVERING SERVICES TO PART OF LOT , PLAN , SECTION
TOWNSHIP , RANGE , W6M, K.D.-Y.D.

1. Drawings are to be made in writing to
2. Partial drawings may be made.
3. The bank will not inquire as to whether or not the Corporation has a right to make demand on the Letter of Credit.
4. This Letter of Credit is irrevocable up to the expiry date.

DRAFTS MUST BE DRAWN AND NEGOTIATED NOT LATER THAN

The drafts drawn under this credit are to be endorsed hereon and shall state on their face that they are drawn under Letter of Credit No.

Countersigned,

Yours truly,

SCHEDULE "B" *BB*

CONSENT

KNOW ALL MEN by these presents that:

_____ of
_____ being

the holder of a charge by way of _____ registered
in the Land Registry Office at _____ under
Number _____ against all and singular that certain parcel or
tract of land and premises being in the _____
in the Province of British Columbia and known and described as:

In consideration of the sum of One Dollar (\$1.00) hereby agrees and consents
to the registration of a Land Use Contract, made between the registered owner
of the said Lands and the _____ dated
the _____ day of _____ 1976, against the aforementioned Lands in priority
to the said charge in the same manner and to the same effect as if it had been
dated and registered prior to the said charges.

CONSENT TO GRANT OF RIGHT-OF-WAY

KNOW ALL MEN BY THESE PRESENTS that

is the registered holder of a charge by way of
against the within described property which said
charge is registered in the Land Registry Office, City of Kamloops,
under number , for and in consideration of the sum of One
Dollar (\$1.00) paid by the to the said Chargeholder
(the receipt whereof is hereby acknowledged), agrees with the
its successors and assigns, that the within Right-of-Way
shall be an encumbrance upon the within described property in priority
to the said charge in the same manner and to the same effect as if it
had been dated and registered prior to the said charge.

IN WITNESS WHEREOF the parties hereto have caused these
presents to be signed, sealed and delivered in the presence of or in
the presence of its duly authorized officers this day of
, 197

SIGNED, SEALED AND DELIVERED
by the Grantor this
day of 197
in the presence of:

Signature of Witness

Address

Occupation
(as to all signatures of
Grantor)

The Corporate Seal of the
Grantor was hereunto affixed
this day of
197 in the presence of:

(Seal)

(Seal)

Status: Registered

Doc #: N54304

RCVD: 1978-09-22 RQST: 2020-10-14 08.47.19

MACK PRINTERS AND STATIONERS LTD., VANCOUVER, B.C. ©
LAW AND COMMERCIAL STATIONERS FORM No. 92

Acknowledgment of Officer of a Corporation

I HEREBY CERTIFY that, on the _____ day of _____, 1978 ,
 at Salmon Arm _____, in the Province of British Columbia,
 (whose identity has been proved by the evidence on
 oath of _____, who is) personally known to me,
 appeared before me and acknowledged to me that he is the _____ of
 DISTRICT OF SALMON ARM _____, and that he is the person
 who subscribed his name to the annexed instrument as _____ of the said
 DISTRICT OF SALMON ARM _____ and affixed the seal of the
 DISTRICT OF SALMON ARM _____
 to the said Instrument, that he was first duly authorized to subscribe his name as aforesaid, and affix the said seal
 to the said Instrument, and that such corporation is legally entitled to hold and dispose of land in the Province of
 British Columbia.

IN TESTIMONY whereof I have hereunto set my Hand and Seal of Office,
 at Salmon Arm _____ in the Province of
 British Columbia, this _____ day of _____
 one thousand nine hundred and seventy-eight.

 A Notary Public in and for the Province of British Columbia.
 A Commissioner for taking Affidavits for British Columbia.

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MACK PRINTERS AND STATIONERS LTD., VANCOUVER, B.C. ©
LAW AND COMMERCIAL STATIONERS FORM No. 92

Acknowledgment of Officer of a Corporation

I HEREBY CERTIFY that, on the KAMLOOPS 13th day of September, 1978,
at KAMLOOPS, in the Province of British Columbia,
JOHN DONALDSON (whose identity has been proved by the evidence on
oath of ABACUS CITIES LTD., who is) personally known to me,
appeared before me and acknowledged to me that he is the REGIONAL GENERAL MANAGER
who subscribed his name to the annexed instrument as REGIONAL GENERAL MANAGER
ABACUS CITIES LTD., and that he is the person
ABACUS CITIES LTD. of the said
to the said Instrument, that he was first duly authorized to subscribe his name as aforesaid, and affix the said seal
to the said Instrument, and that such corporation is legally entitled to hold and dispose of land in the Province of
British Columbia, and affixed the seal of the

IN TESTIMONY whereof I have hereunto set my Hand and Seal of Office,
at KAMLOOPS in the Province of
British Columbia, this 13th day of September
one thousand nine hundred and seventy-eight.

M. D. H.
A Notary Public in and for the Province of British Columbia
A Commissioner for taking

DATED

BETWEEN:

DISTRICT OF SALMON ARM

AND:

ABACUS CITIES LTD.

LAND USE CONTRACT

WILSON, BAUMANN
Barristers & Solicitors

202 - 215 Lawrence Avenue
Kelowna, B.C. V1Y 6L2

CITY OF SALMON ARM

BYLAW NO. 4430

A bylaw to terminate Land Use Contracts in the City of Salmon Arm

WHEREAS pursuant to section 548 of the *Local Government Act* the City of Salmon Arm may address early termination of a land use contract that is entered into and registered in a land title office subject to the terms and conditions therein set out;

AND WHEREAS mandatory notice required under section 466(5) of the *Local Government Act* for a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on _____ at the hour of 7:00 p.m. and was published in _____ and _____ issues of the Salmon Arm Observer and delivered at least 10 days prior of all parcels, any part of which is subject to the land use contract that the bylaw will terminate or is within a distance specified by bylaw from that part of the area that is subject to that land use contract;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. That "District of Salmon Arm Land Use Contract Bylaw No. 1260, 1978", registered in the Kamloops Land Title Office under document number N54304 against title to the lands in the table below and further shown on Schedule 'A', is terminated:

028-875-656	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	201, 1449 1 Avenue NE
028-875-664	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	202, 1449 1 Avenue NE
028-875-672	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	203, 1449 1 Avenue NE
028-875-681	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	204, 1449 1 Avenue NE
028-875-699	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	205, 1449 1 Avenue NE
028-875-702	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	206, 1449 1 Avenue NE
029-092-736	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	101, 1449 1 Avenue NE
029-092-744	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	102, 1449 1 Avenue NE
029-092-752	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	103, 1449 1 Avenue NE

029-092-761	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	104, 1449 1 Avenue NE
029-092-779	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	105, 1449 1 Avenue NE
029-092-787	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	106, 1449 1 Avenue NE
029-501-237	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	301, 1449 1 Avenue NE
029-501-245	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	302, 1449 1 Avenue NE
029-501-253	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	303, 1449 1 Avenue NE
029-501-261	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	304, 1449 1 Avenue NE
029-501-270	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	305, 1449 1 Avenue NE
029-501-288	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	306, 1449 1 Avenue NE
029-686-121	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	401, 1449 1 Avenue NE
029-686-130	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	402, 1449 1 Avenue NE
029-686-148	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	403, 1449 1 Avenue NE
029-686-156	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	404, 1449 1 Avenue NE
029-686-164	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	405, 1449 1 Avenue NE
029-686-172	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	406, 1449 1 Avenue NE
029-775-698	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	501, 1449 1 Avenue NE
029-775-701	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	502, 1449 1 Avenue NE
029-775-710	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	503, 1449 1 Avenue NE
029-775-728	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	504, 1449 1 Avenue NE
029-775-736	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	505, 1449 1 Avenue NE
029-775-744	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS740	506, 1449 1 Avenue NE
002-206-854	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	603, 1451 1 Avenue NE
002-206-862	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	601, 1451 1 Avenue NE
002-206-871	Strata Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	604, 1451 1 Avenue NE
002-206-897	Strata Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	602, 1451 1 Avenue NE

002-206-901	Strata Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	503, 1451 1 Avenue NE
002-206-919	Strata Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	501, 1451 1 Avenue NE
002-206-927	Strata Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	504, 1451 1 Avenue NE
002-206-935	Strata Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	502, 1451 1 Avenue NE
002-206-943	Strata Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	703, 1451 1 Avenue NE
002-206-951	Strata Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	701, 1451 1 Avenue NE
002-206-960	Strata Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	704, 1451 1 Avenue NE
002-206-978	Strata Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	702, 1451 1 Avenue NE
002-206-986	Strata Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	405, 1451 1 Avenue NE
002-206-994	Strata Lot 14, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	403, 1451 1 Avenue NE
002-207-001	Strata Lot 15, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	401, 1451 1 Avenue NE
002-207-010	Strata Lot 16, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	406, 1451 1 Avenue NE
002-207-028	Strata Lot 17, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	404, 1451 1 Avenue NE
002-207-036	Strata Lot 18, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	402, 1451 1 Avenue NE
002-207-044	Strata Lot 19, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	805, 1451 1 Avenue NE
002-207-052	Strata Lot 20, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	803, 1451 1 Avenue NE
002-207-061	Strata Lot 21, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	801, 1451 1 Avenue NE
002-207-079	Strata Lot 22, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	806, 1451 1 Avenue NE
002-207-087	Strata Lot 23, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	804, 1451 1 Avenue NE
002-207-095	Strata Lot 24, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	802, 1451 1 Avenue NE
002-207-109	Strata Lot 25, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	305, 1451 1 Avenue NE
002-207-117	Strata Lot 26, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	303, 1451 1 Avenue NE
002-207-125	Strata Lot 27, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	301, 1451 1 Avenue NE
002-207-133	Strata Lot 28, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	306, 1451 1 Avenue NE
002-207-141	Strata Lot 29, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	304, 1451 1 Avenue NE

002-207-150	Strata Lot 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507	302, 1451 1 Avenue NE
003-248-429	Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	131 15 Street NE
003-248-437	Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	161 15 Street NE
003-248-453	Lot 3, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	191 15 Street NE
003-248-461	Lot 4, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	211 15 Street NE
003-248-470	Lot 5, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	230 15 Street NE
003-248-488	Lot 6, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	210 15 Street NE
003-248-496	Lot 7, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	190 15 Street NE
003-248-500	Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	160 15 Street NE
003-248-518	Lot 9, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	130 15 Street NE
003-248-526	Lot 10, Section 13, Township 20, Range 10, W6M, KDYD, PLAN 33113	1570 1 Avenue NE
003-248-551	Lot 11, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1540 1 Avenue NE
003-248-569	Lot 12, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1500 1 Avenue NE
003-248-577	Lot 13, Section 13, Township 20, Range 10, W6M, KDYD, Plan 33113	1480 1 Avenue NE
025-681-401	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1451 Okanagan Avenue NE
025-681-419	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541	1453 Okanagan Avenue NE
018-189-661	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1481 Okanagan Avenue NE
018-189-679	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227	1491 Okanagan Avenue NE
017-800-943	Strata Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1521 Okanagan Avenue
017-800-951	Strata Lot 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054	1531 Okanagan Avenue

3. The Mayor and Corporate Office are hereby authorized to execute any documents necessary to terminate, release and discharge the Land Use Contracts above mentioned.

4. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

5. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

7. EFFECTIVE DATE

This bylaw shall come into full force and effective one year and one day from the date of adoption.

8. CITATION

This bylaw may be cited as "City of Salmon Arm Land Use Contract Termination Bylaw No. 4430"

READ A FIRST TIME THIS DAY OF 2020

READ A SECOND TIME THIS DAY OF 2020

READ A THIRD TIME THIS DAY OF 2021

APPROVED PURSUANT TO SECTION 52 (3) OF THE TRANSPORTATION ACT ON THE DAY OF 2021

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2021

MAYOR

CORPORATE OFFICER

Item 10.2

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4431 be read a first and second time;

AND THAT: final reading be withheld subject to Ministry of Transportation and Infrastructure approval.

[ZON-1196; Abacus Cities Ltd.; Units 101 - 506, 1449 - 1 Avenue NE; Units 302 - 806, 1451 - 1 Avenue NE; 1451 - 1531 Okanagan Avenue NE; R1 - R4]

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4431

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on _____ at the hour of 7:00 p.m. was published in the _____ and _____, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Strata Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29 and 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan EPS370; Strata Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29 and 30, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS507; Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS2541; Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1227; Strata Lots 1 and 2, Section 13, Township 20, Range 10, W6M, KDYD, Strata Plan KAS1054 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone), shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4431"

READ A FIRST TIME THIS DAY OF 2020

READ A SECOND TIME THIS DAY OF 2020

READ A THIRD TIME THIS DAY OF 2021

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF 2021

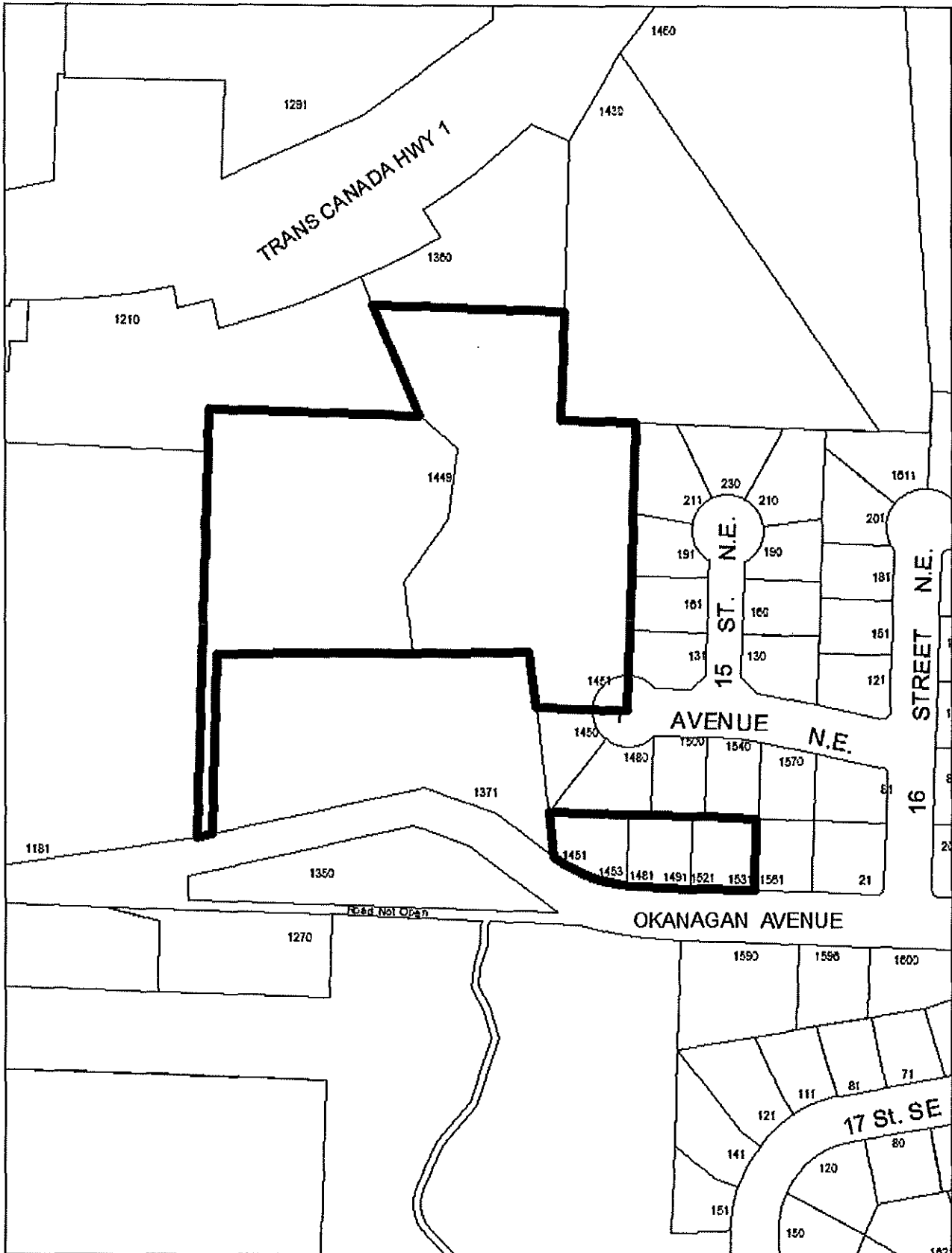
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2021

MAYOR

CORPORATE OFFICER

SCHEDULE "A"



Item 10.3

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4421 be read a first and second time;

AND THAT: final reading be withheld subject to Ministry of Transportation and Infrastructure approval.

[ZON-1191 Brentwell Construction Ltd./Crevier, L. & S.; 31 - 4 Street SE; R-1 to R-5/Text Amendment R5 Zone]

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

TO: His Worship Mayor Harrison and Members of Council

DATE: November 27, 2020

SUBJECT: **Zoning Bylaw Amendment Application No. 1191**
Development Variance Permit Application No. 521

Legal: Lot 3, Block 1, Section 14, Township 20, Range 10, W6M KDYD, Plan 936

Civic: 31 – 4 street SE

Owner/Applicant: Brentwell Construction Ltd, Crevier, L. A. & S. P.

MOTION FOR CONSIDERATION

THAT: A Bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by:

- 1) rezoning Lot 3, Block 1, Section 14, Township 20, Range 10, W6M KDYD, Plan 936 from R-1 (Single-Family Residential) to R-5 (High Density Residential); and
- 2) adding "Duplex" as a permitted use under Section 10.3 of the R-5 (High Density Residential) zone.

AND THAT: Final Reading of the Bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

AND THAT: Development Variance Permit No. 521 be authorized for issuance for Lot 3, Block 1, Section 14, Township 20, Range 10, W6M KDYD, Plan 936 to vary the provisions of Zoning Bylaw No. 2303 as follows:

- 1) Section 10.9.3 – R-5 High Density Residential Zone – reduce the minimum setback from an interior side parcel line from 2.4 m (7.8 ft) to 2.0 m (6.6 ft) for the north parcel line; and
- 2) Section 10.9.3 – R-5 High Density Residential Zone – reduce the minimum setback from an interior side parcel line from 2.4 m (7.8 ft) to 2.0 m (6.6 ft) for the south parcel line.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject parcel is located at 31 – 4 Street SE, just south of Fletcher Park (Appendices 1 and 2). It is designated High Density Residential (HR) in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 and 4). The parcel dates back to 1911, is approximately 460 square metres in area, and is currently vacant (site photos attached as Appendix 5).

The purpose of this application is to rezone the subject parcel to accommodate the development of a duplex.

The Zoning Map attached shows the mix of zones in the immediate area, predominantly Residential (R-1, R-5 and R-8), with nearby Institutional and Commercial zones further to the north, west and east. Land uses adjacent to the subject parcel include the following:

- North: Residential land (R-1 Single Family Residential)
- South: Residential land (R-5 Multi Family Residential)
- East: Road (4 Street SE) and P-3 (Institutional) land beyond
- West: Residential land (R-1 Single Family Residential)

A detailed preliminary site plan and building designs (Appendix 6) have been submitted to illustrate the development proposal. Staff note that under Section 8.4.46 of the OCP, *duplex* development that is not part of a multiple family development is exempt from a form and character residential development permit application.

OCP POLICY

Within the OCP, the subject parcel is designated High Density Residential (HR) and is in Residential Development Area A, considered the highest priority for development. The proposed zoning amendment would align with the OCP's Urban Residential Objectives listed in Section 8.2 and the Urban Residential Policies listed in Section 8.3, including providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears aligned with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

COMMENTS

Ministry of Transportation & Infrastructure

MOTI has granted preliminary approval (Appendix 7).

Engineering Department

No Concerns. Servicing information provided to applicant in advance of development (Appendix 8).

Planning Department

The surrounding neighbourhood has been undergoing slow redevelopment with a mix of old and new single family housing, newer multi-family development, as well as institutional and commercial development. The subject parcel is located in an area well-suited for higher density residential development featuring sidewalks and transit routes, within close walking distance of the City Centre.

At present, the subject parcel presents some challenges for a high density development, considering the relative small size of the parcel. As noted, the Residential – High Density (HD) designation in the City's Official Community Plan (OCP) supports the proposed development scenario, which in the opinion of staff aligns with broad OCP policies.

The maximum residential density permitted under R-5 zoning is 100 dwelling units per hectare of land. As the subject property is 0.046 hectares in area, the maximum permitted density would be 4 dwelling units assuming: 1) the present gross areas of the subject parcel; and 2) no density bonus. With a density bonus under R-5 zoning, the maximum density is 130 units per hectare, or 5 units on 0.046 hectares, with a height increase to 15 m. All that being said, the constraints presented by the small parcel area of the subject parcel limits the development potential to less than 5 units.

Table 1 – R-5 Zoning Analysis (0.046 hectare area)

	R-5 Permitted/Required	R-5 with Bonus	Proposed
Density	4 units	5 units	2 units
Height	12 m	15 m	8.8 m
Parcel Coverage	55 %	70 %	35%
Setback – front	5 m	5 m	8.8 m
Setback – interior side	2.4 m	2.4 m	2.0 m
Setback – rear	5 m	5 m	5.6 m
Parking	5	5/6	4
Small Car Spaces	20 % (1)	20 % (1)	n/a

The minimum residential density currently permitted under R-5 zoning is 3 units in the form of a triplex. The applicant is currently proposing a 2-unit duplex development, and has requested the addition of "Duplex" as a permitted use in the R-5 Zone. Duplex is defined in the Zoning Bylaw as "any *building* divided into two *dwelling units*." Staff consider the addition of *Duplex* use to the R-5 Zone to be a positive option, allowing an additional housing option and increased density on smaller high density residential designated parcels, which would otherwise require some form of consolidation with adjacent parcels in order to achieve a developable minimum parcel area.

Duplex development is permitted in the R-2 and R-4 zones. Historically, duplexes and single family dwellings have not been permitted in the R-5 zone, in order to mandate and encourage higher density built forms in that zone. Given trends over the past 20 years and the small lot sizes in the High Density Residential designated city centre area, staff believe it is reasonable to allow duplex developments on smaller lots, which may not have realistic or timely potential for consolidation to larger parcel sizes.

Considering the proposed development concept, a 2-unit development within the R-5 Zone would be required to provide 3 parking stalls. 4 parking spaces are proposed. The provision of on-site parking is practical and necessary, as the opportunity for on-street parking at this site is very limited. Any future redevelopment to add additional dwelling units may be limited by parking requirements. Staff note that parking areas are required to meet the standards specified in the Zoning Bylaw, including hard surfacing, grading, drainage, and delineation (painted lines) of parking spaces.

Considering the requested interior side parcel line variances from 2.4 m to 2m, staff are not concerned as this request aligns with the typical 2 m setback required for a Duplex in the R-2 Duplex zone.

Staff are of the opinion that the proposed development should align well with the residential development to the north, south, and west. Staff have discussed the proposal with the applicant and given the detailed information the applicant has provided to date and their diligent approach. Staff are comfortable with the concept as proposed at this stage.

CONCLUSION

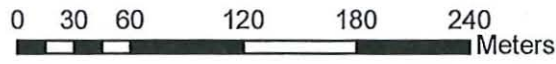
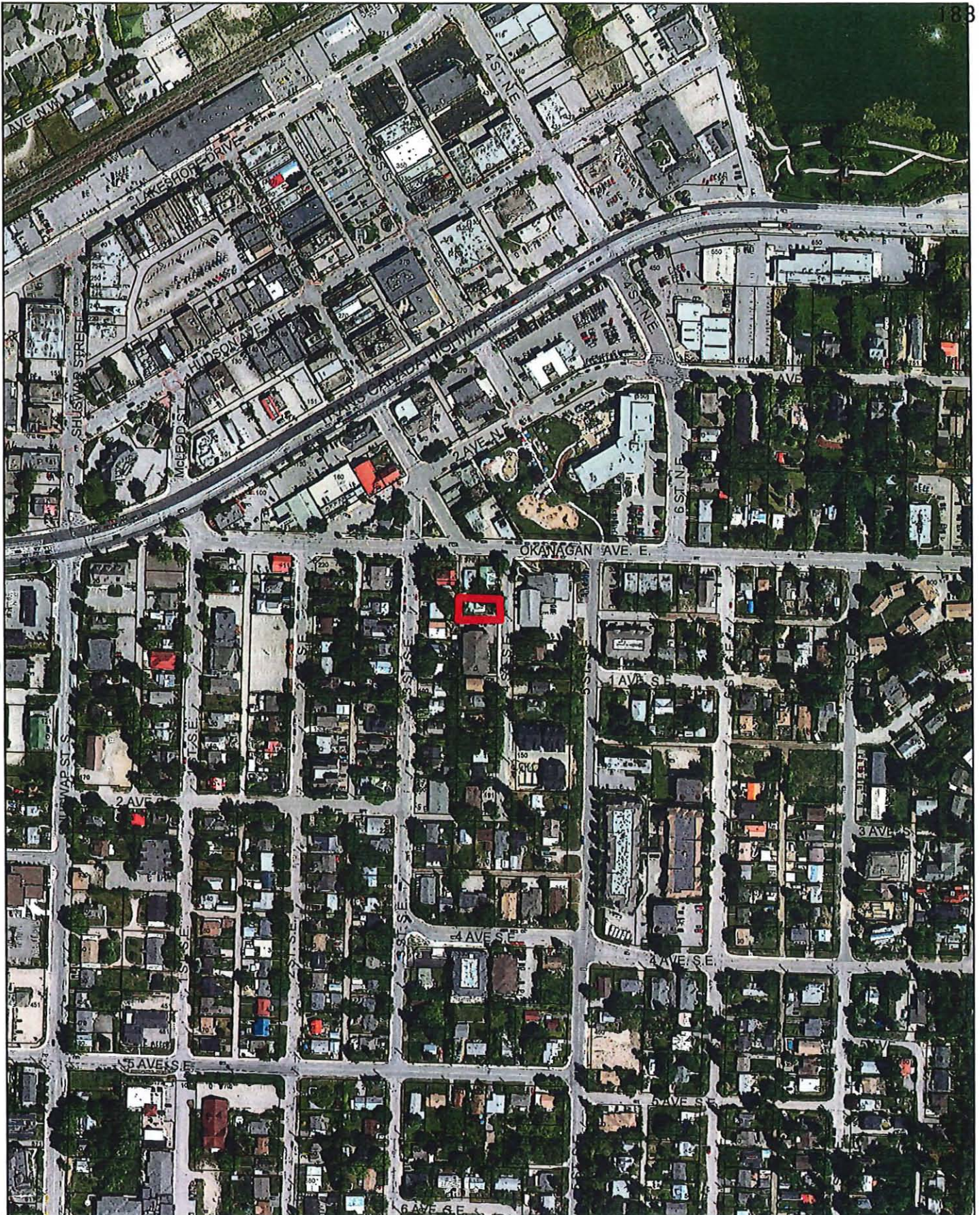
The proposed R-5 zoning of the subject properties is consistent with OCP residential policy and is therefore supported by staff.




Prepared by: Chris Larson, MCIP, RPP
Senior Planner



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



 Subject Parcel



84

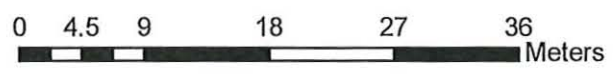
320

370

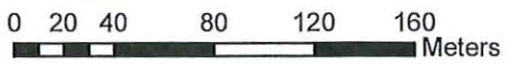
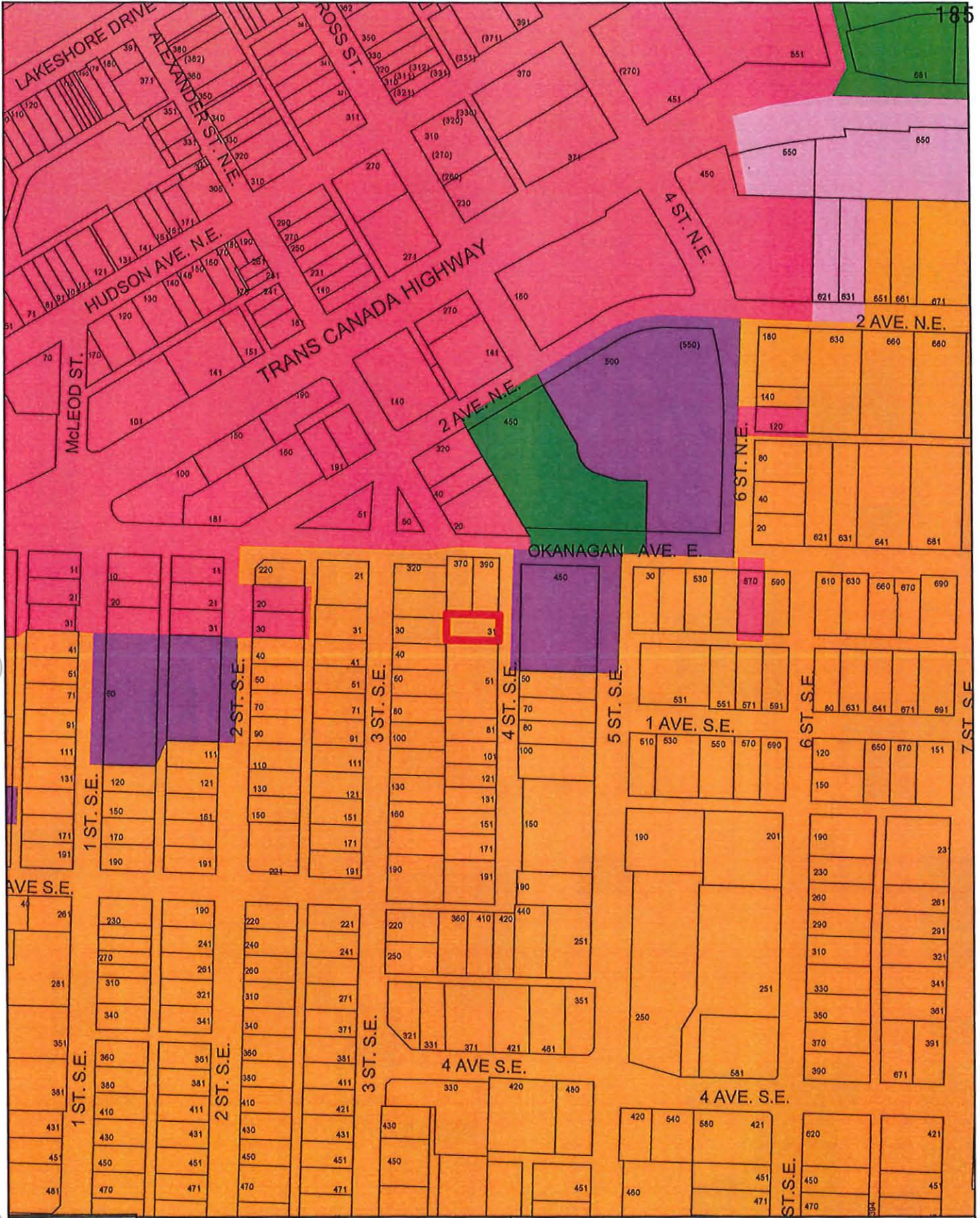
OK






4 ST S E

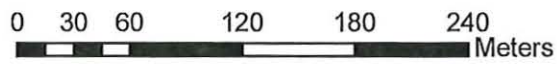
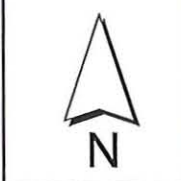
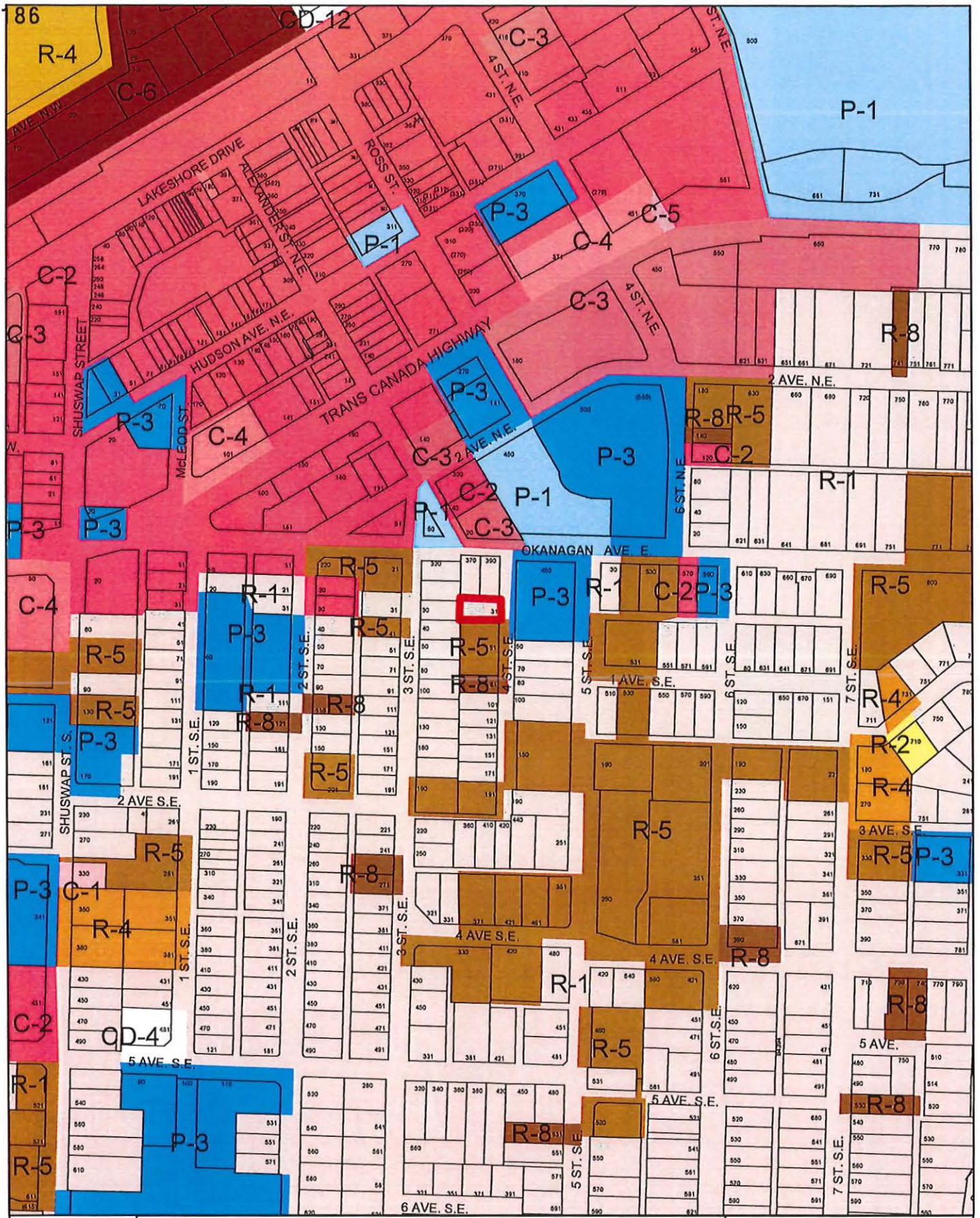
380




 Subject Parcel



- | | | | |
|---|----------------|---|--------------------------|
|  | Subject Parcel |  | Residential High Density |
|  | Institutional |  | Highway S/T Commercial |
|  | Park |  | City Centre Commercial |



 Subject Parcel



View of subject parcel southwest from 4 Street SE.



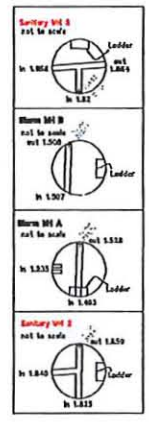
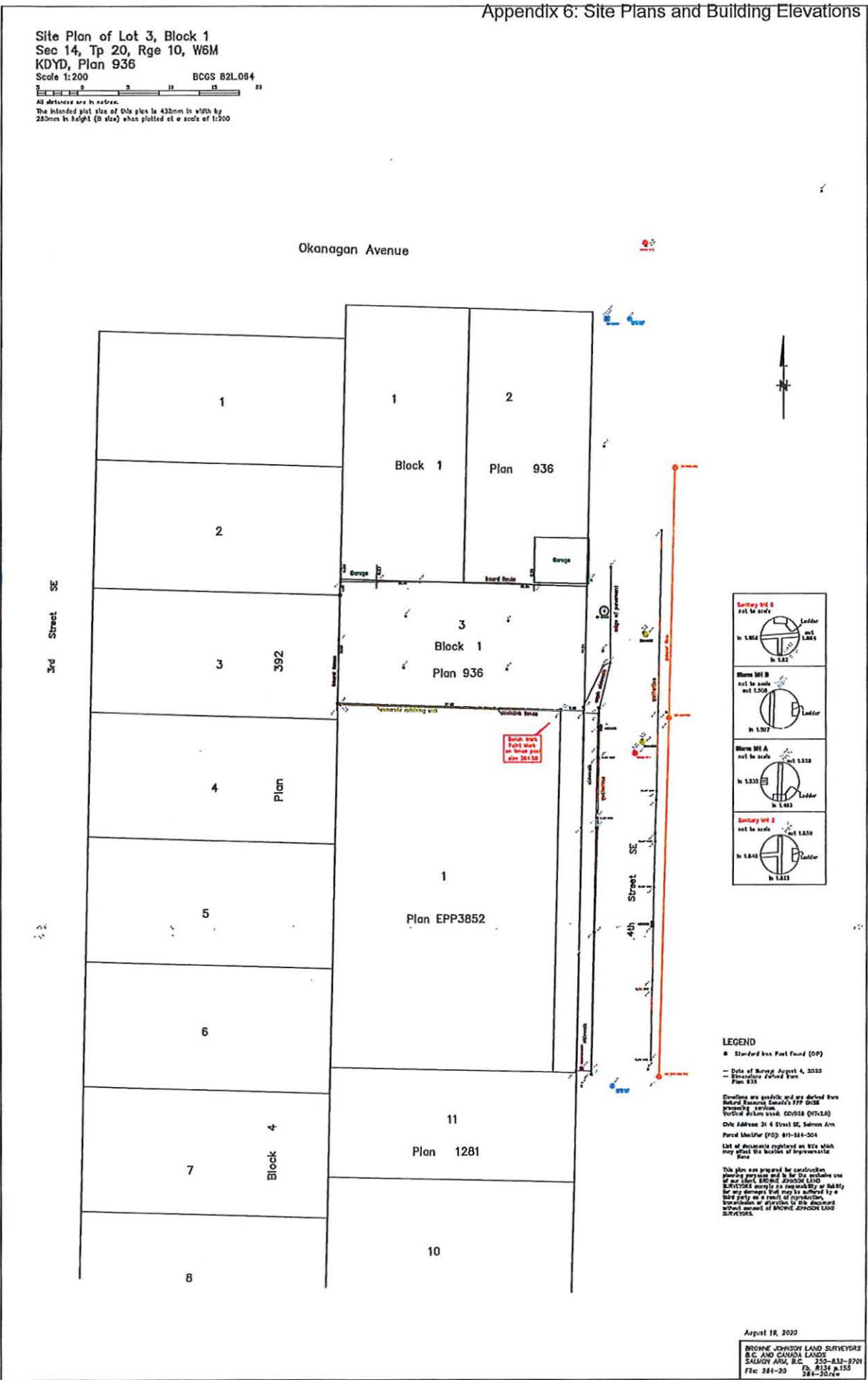
View of subject parcel northwest from 4 Street SE.

Site Plan of Lot 3, Block 1
 Sec 14, Tp 20, Rge 10, W6M
 KDYD, Plan 936

Scale 1:200 BCGS B2L084



All distances are in metres.
 The intended plot size of this plot is 432m in width by
 285m in height (B size) when plotted at a scale of 1:200



LEGEND

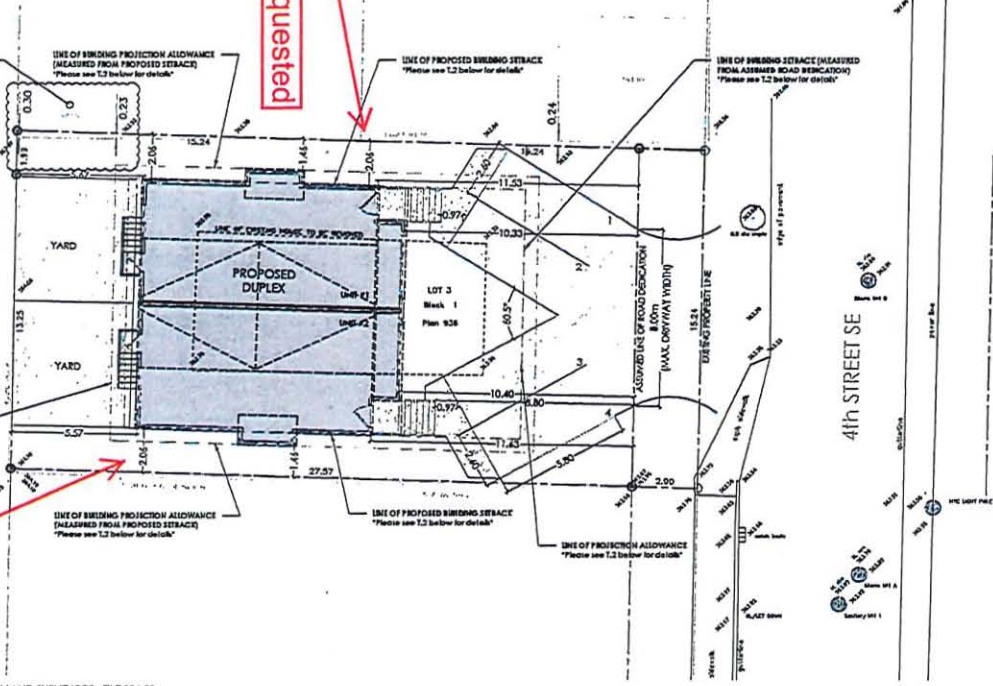
- Standard Iron Post Found (SP)
- Date of Survey August 4, 2020
- Boundary defined from Plan 936

Dimensions are graphic and are derived from
 Federal Reference Canada's 1997 GNSS
 primary station.
 Vertical datum used: CGVD98 (HTV2.0)
 City Address: 31 4 Street SE, Salmon Arm
 Parcel Identifier (PID): 811-84-004
 List of documents registered on this which
 may affect the location of improvements:
 None

This plan was prepared for construction
 showing precise and to be the exclusive use
 of our firm, BROME, JOHNSON LAND
 SURVEYORS except for the liability of liability
 for any damages that may be suffered by a
 third party as a result of reproduction,
 translation or alteration of this document
 without consent of BROME, JOHNSON LAND
 SURVEYORS.

A.1 SITE PLAN
SCALE: 1/8" = 1'-0"

NOTE: Calling Neighboring Garage & "Board Fence" Encroachment on Property



SITE PLAN PROVIDED BY BROWNE-JOHNSON LAND SURVEYORS - FILE 204-20

SHEET LIST

SHEET 1.0:
A.1 - Proposed Site Plan
T.1-T.4 - General Notes & Information

SHEET 2.0:
A.2 - Basement Floor Plan
SHEET 3.0:
A.3 - Main Floor Plan
SHEET 4.0:
A.4 - Upper Floor Plan
SHEET 5.0:
E.1-E.2 - Elevations
SHEET 6.0:
E.3-E.4 - Elevations

T.4 - AREAS OF BUILDING
ALL AREAS LISTED IN SQUARE FEET

	TOTAL PER FLOOR
BASEMENT LEVEL	
UNIT 1	699.50
UNIT 2	699.50
TOTAL FLOOR	1,399.0
MAIN FLOOR	
UNIT 1	699.50
UNIT 2	699.50
TOTAL FLOOR	1,399.0
UPPER FLOOR	
UNIT 1	611.58
UNIT 2	611.58
TOTAL FLOOR	1,223.16
UNIT 1 TOTAL FINISHED LIVING AREA	1,990.58
UNIT 2 TOTAL FINISHED LIVING AREA	1,990.58
TOTAL FINISHED LIVING AREA	3,981.16

Variance requested

Variance requested

T.1 - PROPERTY AND BUILDING INFORMATION

31 4TH STREET SE- ZONING R5
LEGAL DESCRIPTION: LOT 3, BLK 1, PLAN 936,
RANGE 10, TOWNSHIP 20, MERIDIAN 6
PID 011-894-504

SITE DENSITY:

ALLOWED:	4.21 UNITS (40.5 UNITS PER ACRE)
PROPOSED:	2 UNITS

SITE COVERAGE: (420.25m²)

BUILDINGS: 129.99m ²	= 30.93%
ENTRY STEPS & SIDEWALKS: 20.20m ²	= 4.81%
DRIVEWAY & PARKING: 79.02m ²	= 18.80%
TOTAL COVERAGE: 217.57m²	= 54.54% (MAX 55%)

PARKING REQUIREMENTS:

DUPLEX	@ 2.00 SPACES PER UNIT	= 4.0
PARKING REQUIRED		= 4.0
PARKING PROVIDED		= 4.0

T.2 - BUILDING SETBACKS / PROJECTIONS INTO YARDS / BUILDING HEIGHT (BYLAW 2303):

RS - HIGH DENSITY RESIDENTIAL SETBACKS	ALLOWED	PROPOSED	VARIANCE REQUESTED
FRONT YARD	5.00	8.80	NO
REAR YARD	5.00	5.57	NO
SIDE YARDS	2.40	2.00	YES

RS - HIGH DENSITY RESIDENTIAL PROJECTIONS:	ALLOWED	PROPOSED	VARIANCE REQUESTED
FRONT YARD	0.60	N/A	NO
REAR YARD	0.60	0.60	NO
SIDE YARDS	0.60	0.60	NO
MAXIMUM AREA OF PROJECTIONS (EACH YARD)	1.60M ²	<1.60M ²	NO
MAXIMUM BUILDING HEIGHT	12.00	8.846	NO

FIRE DEPARTMENT RESPONSE 10,10,15,3 (RBCBC):
NOTE: THE BELOW CALCULATIONS HAVE BEEN COMPLETED UNDER THE ASSUMPTION THAT THE PROPERTY IS LOCATED WITHIN A 10 MINUTE FIRE RESPONSE TIME AREA; THE BELOW CALCULATIONS HAVE BEEN COMPLETED ACCORDINGLY

T.3 - RBCBC BUILDING REQUIREMENTS

GLAZED OPENINGS Table 9.10.15.4.					CONSTRUCTION REQUIREMENTS 9.10.15.5.			
EXPOSING FACE	LIMITING DISTANCE ACTUAL (m)	LIMITING DISTANCE FOR CALC (m)	AREA OF FACE (m ²)	MAX ALLOW. GLAZING %	PROPOSED GLAZING %	MIN. REQ'D FIRE RESISTANCE RATING	TYPE OF CONSTRUCTION REQUIRED	TYPE OF CLADDING REQUIRED
EAST FACING	19.62	19.62	72.56	100	>100	N/A	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE
SOUTH FACING	1.46	1.46	71.92	7	6.27	N/A	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE
WEST FACING	5.57	5.57	77.22	28	14.92	N/A	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE
NORTH FACING	1.46	1.46	71.92	7	6.27	N/A	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE

BUILD BY:
BRENTWELL CONSTRUCTION

DESIGN BY:
JADE BAY
Design Co.

4108 Evans Street
Ottawa, B.C. V4V 2V9
1.203.632.7272
e.design@brentwellconstruction.com

project:
BRENTWELL CONSTRUCTION
DUPLEX

31
4th STREET SE
SALMON ARM, B.C.

revision:
1: 08.27.2020 - FOR PAREING REVIEW
2: 09.21.2020 - REVISED LAYOUT
3: 10.02.2020 - FOR REDONING

note:
*ALL MEASUREMENTS SHOWN IN METERS UNLESS OTHERWISE INDICATED

date drawn:
AUGUST 25th, 2020

date issued:
OCTOBER 2nd, 2020

scale:
1/8" = 1'-0"

drawing:
A.1 - SITE PLAN
T.1 - PROPERTY & BLDG INFO
T.2 - BLDG SETBACKS AND PROJECTIONS
T.3 - RBCBC REQUIREMENTS

sheet:
1.0 OF 6.0

D.2 WALL CONSTRUCTION DETAILS
3.0

TYPICAL EXTERIOR WALL CONSTRUCTION
 -1/2" Drywall Board
 -1/2" Insulation Board (Green Board)
 -2x4 Studs @ 16" O.C.
 -1/2" Water-Resistive Membrane
 -2x2 F.O. Batt Insulation
 -1/2" Sheetrock (Drywall)
 -Plumbing (where)
 -Interior Cladding (where)
 -Sill Seal (where) (S.D.)

W101 TYPICAL EXTERIOR WALL

TYPICAL PARTY WALL CONSTRUCTION
 -1/2" Type X Drywall Board
 -2x4 Studs @ 16" O.C.
 -1/2" F.O. Batt Insulation
 -1/2" Sheetrock
 -1/2" F.O. Batt Insulation
 -2x4 Studs @ 16" O.C.
 -1/2" Type X Drywall Board
 -1/2" Sheetrock Board

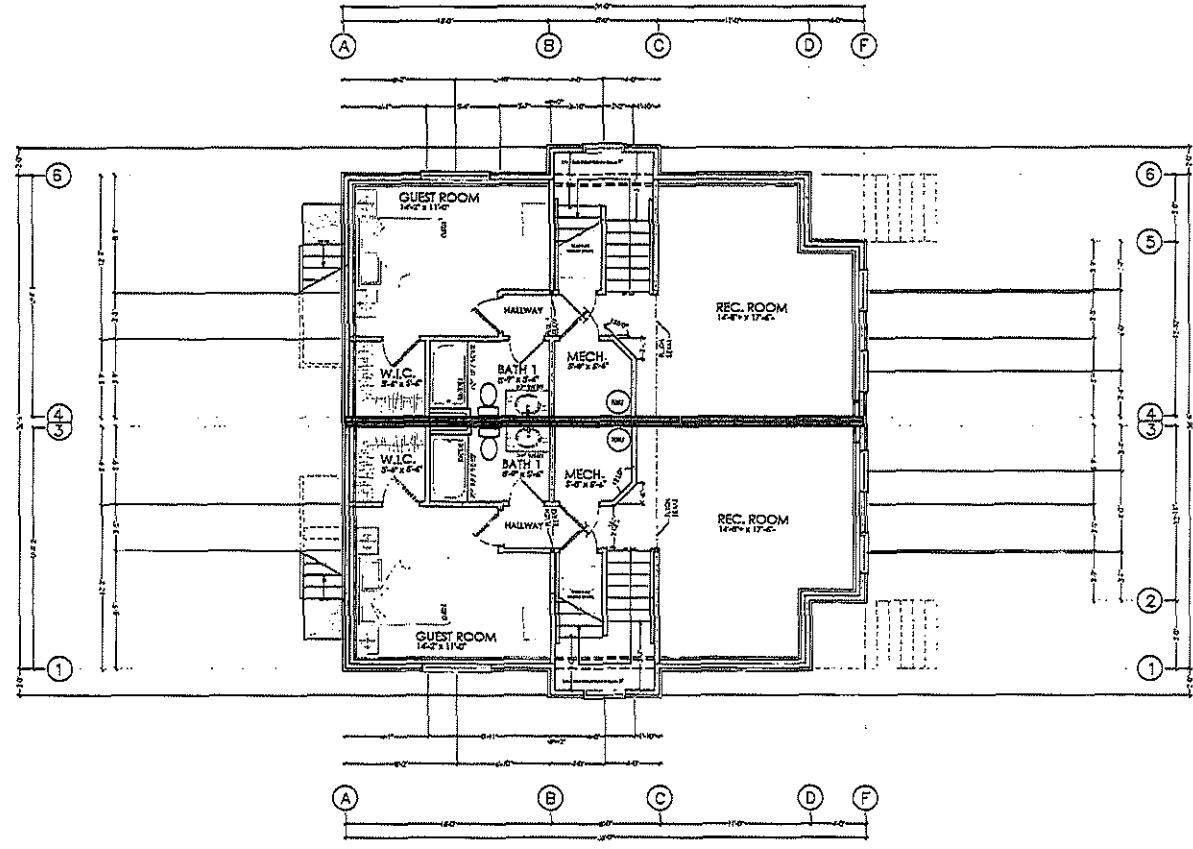
W102 TYPICAL PARTY WALL

TYPICAL INTERIOR WALL CONSTRUCTION
 -1/2" Drywall Board
 -2x4 Studs @ 16" O.C.
 -1/2" Sheetrock Board

W103 TYPICAL INTERIOR WALL

TYPICAL INTERIOR BEARING WALL CONSTRUCTION
 -1/2" Drywall Board
 -2x4 Studs @ 16" O.C.
 -1/2" Sheetrock Board
 -1/2" F.O. Batt Insulation
 -2x4 Studs @ 16" O.C.
 -1/2" Type X Drywall Board
 -1/2" Sheetrock Board

W104 TYPICAL BEARING WALL



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
A.2
2.0



BUILD BY:
 BREITWELL
 CONSTRUCTION

DESIGN BY:
 B JADE BAY
 Design Consultant

Project:
 BREITWELL
 CONSTRUCTION
 DUPLEX
 31
 4th STREET
 SALMON ARM, B.C.

Revision:
 1: 08.27.2020 - FOR
 PARKING REVIEW
 2: 09.21.2020 - REVIEW
 LAYOUT
 3: 10.02.2020 - FOR
 REZONING

note:
 -ALL CEILING 8'-0"
 -AFF = ABOVE FINISHED
 FLOOR
 *CONFIRM ALL FIXTURE
 LOCATIONS WITH SUPPLIER
 *SEE FLOOR JOIST PLAN
 FOR JOIST DIRECTION

date drawn:
 SEPTEMBER 22nd, 2020

date issued:
 OCTOBER 2nd, 2020

scale:
 1/4" = 1'-0"

drawing:
 A.2 - BASEMENT FLOOR
 PLAN

sheet:
 2.0 OF 4.0

Appendix 6: Site Plans and Building Elevations

ENCLOSURE 2020 PART 111 CONSTRUCTION

D.2 WALL CONSTRUCTION DETAILS

3.0

TYPICAL EXTERIOR WALL CONSTRUCTION
 - 2" Orysum board
 - 1/2" rigid foam (Warm Side)
 - 2x4 Studs @ 16" O.C.
 - 2x4 Posts nailed to floor joists below
 - 2x2 F.O. Mem Insulation
 - 2" Tackled Sheathing
 - Siding Veneer
 - Exterior Cladding System
 - 2x2 Valve (Access) 4x7

EW TYPICAL EXTERIOR WALL

TYPICAL PARTY WALL CONSTRUCTION
 - 1" RIGID FIBER SEPARATION
 - 2" Orysum board
 - 2x4 Studs @ 16" O.C.
 - 1/2" F.O. Mem Insulation
 - 2" Tackled Sheathing
 - 2" F.O. Mem Insulation
 - 2x4 Studs @ 16" O.C.
 - 1" RIGID FIBER SEPARATION
 - 2x2 DRAIN, 2x4x4 SILENT JOINT

PW TYPICAL PARTY WALL

TYPICAL MEMOR WALL CONSTRUCTION
 - 2" Orysum board both Sides
 - 2x4 Studs @ 16" O.C.
 - 2x4 Studs @ 16" O.C. as required for plumbing / venting

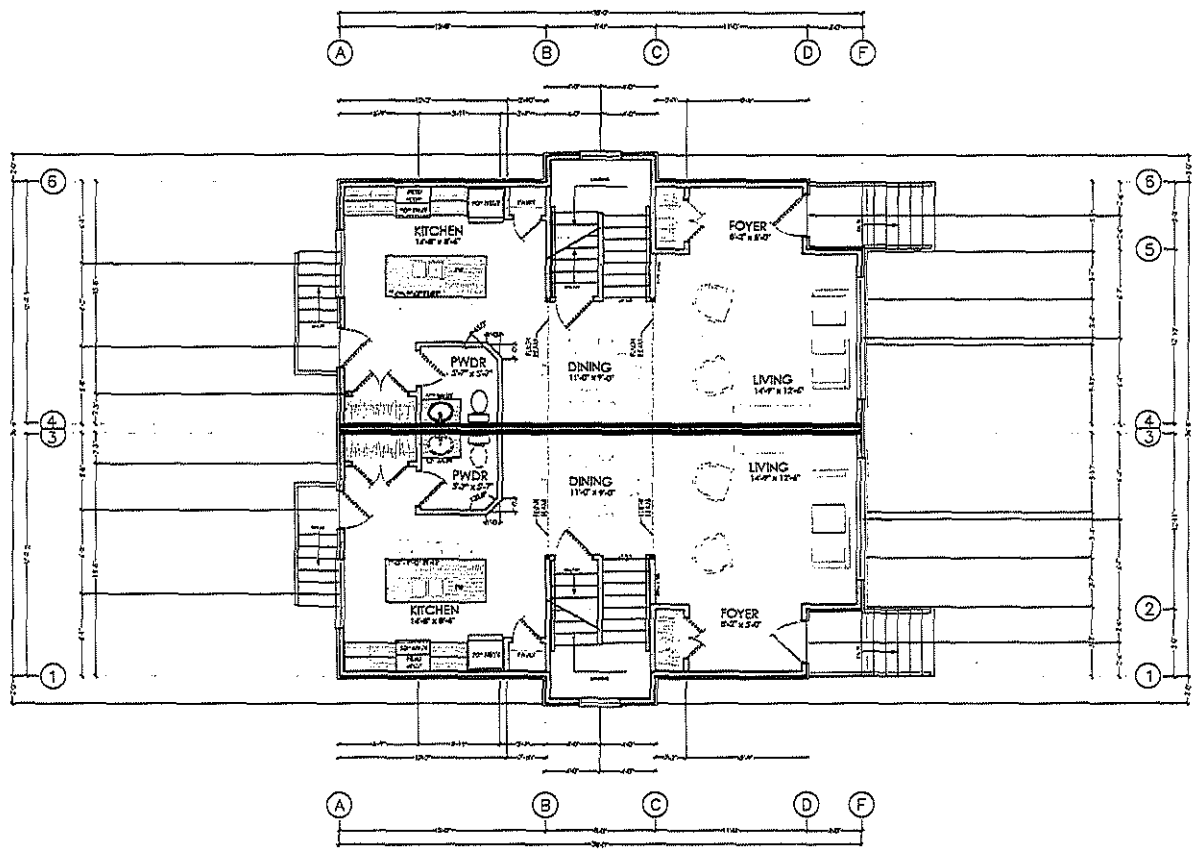
WM TYPICAL MEMOR WALL

TYPICAL INTERIOR PARTITION CONSTRUCTION
 - 2" Orysum board both Sides
 - 2x4 Studs @ 16" O.C.
 - 2x4 Studs @ 16" O.C. as required for plumbing / venting

WP TYPICAL INTERIOR PARTITION

TYPICAL INTERIOR BEARING WALL CONSTRUCTION
 - 2" Orysum board both Sides
 - 2x4 Studs @ 16" O.C.
 - 2x4 Studs @ 16" O.C. as required for plumbing / venting

WB TYPICAL INTERIOR BEARING WALL



MAIN FLOOR PLAN A.3 3.0 1/4" = 1'-0"



BUILD BY:
 BRENTWELL CONSTRUCTION

DESIGN BY:
 B | JADE BAY Group, Contractor

4108 Duvern Road
 Coquitlam, B.C. V3Q 5V9
 L 783-148-3742
 E. bren@brentwellconstruction.com

Project:
 BRENTWELL CONSTRUCTION
 DUPLEX
 31
 4th STREET
 SALMON ARB. B.C.

revision:
 1: 08.27.2020 - FOR PERMING REVIEW
 2: 09.21.2020 - REVISED LAYOUT
 3: 10.02.2020 - FOR REZONING

note:
 - ALL CEILING 9'-0" EXCEPT WHERE SHOWN AS REQUIRED FOR HVAC
 - AFF = ABOVE FINISHED FLOOR
 - CONFIRM ALL FIXTURE LOCATIONS WITH SUPPLIER
 - USE ROOF PLAN FOR THE DIRECTION

date drawn:
 SEPTEMBER 18th, 2020

date issued:
 OCTOBER 2nd, 2020

scale:
 1/4" = 1'-0"

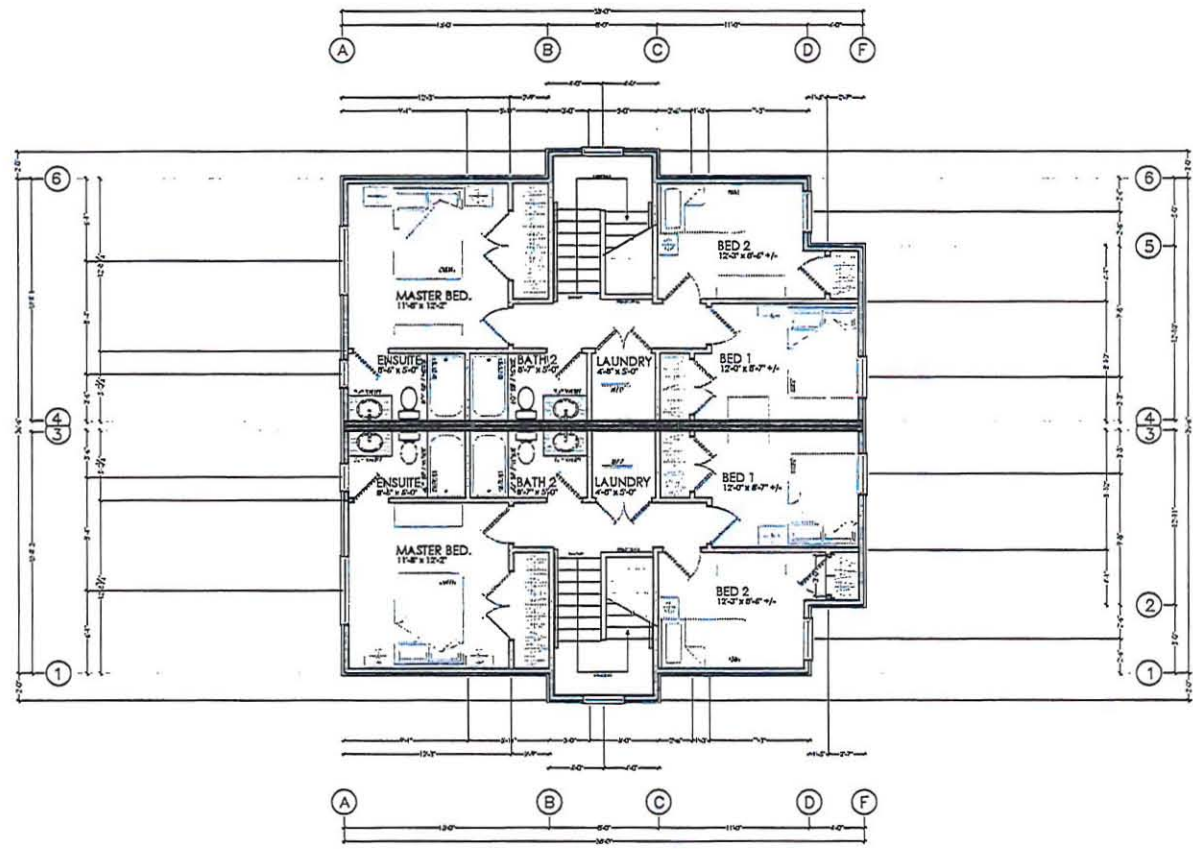
drawing:
 A.3 - MAIN FLOOR PLAN

sheet:
 3.0 OF 6.0

Appendix 6: Site Plans and Building Elevations

D.2 WALL CONSTRUCTION DETAILS
3.0

- TYPICAL EXTERIOR WALL CONSTRUCTION
 - 1/2" Gypsum Board
 - 1/2" Insulation (Styrofoam)
 - 2x4 Stud @ 24" O.C.
 - 2x4 Filler nailed to floor system below
 - 1/2" R.O. Insulation
 - 1/2" Exterior Sheathing
 - Building Wrap
 - Exterior Cladding (Siding)
 - 2x4 V-Join (Thickness) 4x7
- EW1 TYPICAL EXTERIOR WALL
- TYPICAL PARTY WALL CONSTRUCTION
 - 1/2" Gypsum Board
 - 1/2" Insulation
 - 2x4 Stud @ 24" O.C.
 - 1/2" R.O. Insulation
 - 1/2" Air Space
 - 1/2" R.O. Insulation
 - 2x4 Stud @ 24" O.C.
 - 1/2" Type X Gypsum Board
 - SEE DETAILS & SCHEDULES
- WP10 TYPICAL PARTY WALL
- TYPICAL INTERIOR WALL CONSTRUCTION
 - 1/2" Gypsum Board on Stud
 - 2x4 Stud @ 24" O.C. as required for partitioning / walling
- WI1 TYPICAL INT. PARTITION



UPPER FLOOR PLAN A.4
SCALE: 1/4" = 1'-0"

BUILD BY:
BRENTWELL CONSTRUCTION

DESIGN BY:
JADE BAY Design Consult.

4108 Dwyer Road
Oryme, B.C. V4V 2K9
1.780.54.2119
o.doray@brentwellconstruction.ca

project:
BRENTWELL CONSTRUCTION
DUPLEX
31
4th STREET SE
SALMON ARM, BC

revision:
1: 08.27.2020 - FOR PARKING REVIEW
2: 09.21.2020 - REVISED LAYOUT
3: 10.02.2020 - FOR REZONING

note:
- ALL CEILING 8'-0"
- AFF = ABOVE FINISHED FLOOR
- CONFIRM ALL FIXTURE LOCATIONS WITH SUPPLIER
- SEE ROOF PLAN FOR TRUE DIRECTION

date drawn:
SEPTEMBER 22nd, 2020

date issued:
OCTOBER 2nd, 2020

scale:
1/4" = 1'-0"

drawing:
A.4 - UPPER FLOOR PLAN

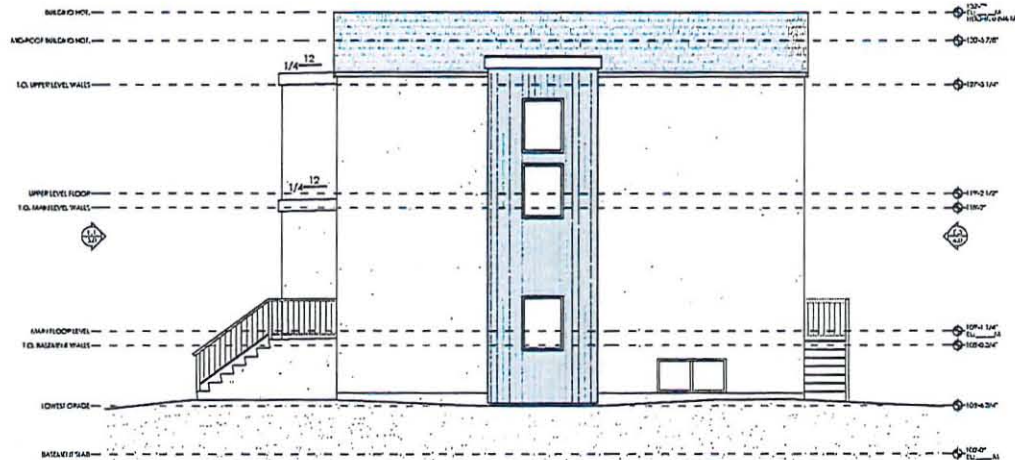
sheet:
4.0 OF 6.0

Appendix 6: Site Plans and Building Elevations


© 2020 BRENTWELL CONSTRUCTION



E.1
S.O.
ELEVATION 1 - EAST
SCALE: 1/4" = 1'-0"



E.2
S.O.
ELEVATION 2 - NORTH
SCALE: 1/4" = 1'-0"

BUILD BY:
 BRENTWELL
 CONSTRUCTION

DESIGN BY:
 JB | JADE BAY
 Design Center

41885 Evans Road
 Dumas, S.C. 29529
 878.264.2287
 A. design@jadesbayconstruction.com

project:
 BRENTWELL
 CONSTRUCTION
 DUPLEX

31
 4th STREET
 SALMON ARM, SC

revision:
 1: 08.27.2020 - FOR
 PARKING REVIEW
 2: 09.21.2020 - REVISED
 LAYOUT
 3: 10.02.2020 - FOR
 REZONING

note:
 ALL NECESSARY
 FLASHINGS APPLIED TO
 CURRENT BCBC
 STANDARDS; COLORS
 MATCH NEAREST
 CLADDING MATERIAL

date drawn:
 SEPTEMBER 22nd, 2020

date issued:
 OCTOBER 2nd, 2020

scale:
 1/4" = 1'-0"

drawing:
 E.1 - E2 - ELEVATION

sheet:
 S.O. OF 4.0

Appendix 6: Site Plans and Building Elevations



Your File #: ZON-1191
eDAS File #: 2020-05044
Date: Oct/19/2020

City of Salmon Arm
Development Services
500 2nd Avenue NE
PO Box 40
Salmon Arm, BC, V1E 4N2
Canada

Attention: City of Salmon Arm Development Services

**Re: Proposed Bylaw 4421 for:
LOT 3 BLOCK 2 14-20-10 W6M KDYD PLAN 936**

Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

If you have any questions please feel free to call Tara Knight at (250) 833-3374.
Yours truly,

Tara Knight
Development Officer

Local District Address
Salmon Arm Area Office Bag 100 850C 16th Street NE Salmon Arm, BC V1E 4S4 Canada Phone: (250) 712-3660 Fax: (250) 833-3380

**CITY OF
SALMON ARM****Memorandum from the
Engineering and Public
Works Department**

TO: Kevin Pearson, Director of Development Services
DATE: November 26, 2020
PREPARED BY: Matt Gienger, Engineering Assistant
APPLICANT: **Brentwell Construction Ltd., 1009 Kalamalka Lake Road,
Vernon, B.C., V1T 6V4**
SUBJECT: **ZONING AMENDMENT NO. ZON-1191
VARIANCE APPLICATION FILE VP-521**
LEGAL: Lot 3, Block 1, Section 14, Township 20, Range 10, W6M KDYD, Plan 936
CIVIC: **31 – 4 Street SE**

Further to your referral dated October 15, 2020, we provide the following servicing information. **The following comments and servicing requirements are not conditions for Rezoning or Variance application; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:**

Engineering Department does not have any concerns related to the Re-zoning or Variance application and recommends that they be approved.

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.

ZONING AMENDMENT NO. ZON-1191
VARIANCE APPLICATION FILE VP-521
November 26, 2020
Page 2

7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement and relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of building permit the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
9. For the off-site improvements at the time of building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 4 Street SE, on the subject property's eastern boundary, is designated as an Urban Local Road standard, requiring 18.0m road dedication (9.0m on either side of road centerline). Available records indicate that 2.902m of additional road dedication is required (to be confirmed by a BCLS). Low traffic volume and historic requirements of development on this area of 4 Street SE indicates that a 20.0m ROW is not required (RD-2) and 18.0m is suitable for demand.
2. 4 Street SE is currently constructed to an Interim Local Paved Road standard. Upgrading to an Urban Paved Local Road standard is required, in accordance with Specification Drawing No. RD-1. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs.
3. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
4. Accesses shall be designed by keeping to a minimum number. Only one (1), 8.0m wide curb letdown and driveway access will be permitted onto 4 Street SE. Owner / Developer responsible for all associated costs.

Water:

1. The subject property fronts a 200mm diameter Zone 1 watermain on 4 Street SE. No upgrades will be required at this time.

ZONING AMENDMENT NO. ZON-1191
VARIANCE APPLICATION FILE VP-521
November 26, 2020
Page 3

2. Records indicate that the existing property is serviced by a 19mm service from the 200mm diameter watermain on 4 Street SE. Due to the size of the existing service, upgrading to a new metered service (minimum 25mm) will be required. Owner / Developer is responsible for all associated costs.
3. The subject property is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). Water meter will be supplied by the City at the time of building permit, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
4. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
5. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property fronts a 200mm diameter sanitary sewer on 4 Street SE. No upgrades will be required at this time.
2. The subject parcel is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary sewer on 4 Street SE. No upgrades are required at this time, provided the existing service is adequately size for the proposed development.
4. Owner/Developer's engineer may need to confirm the downstream sanitary main can accommodate additional capacity of the proposed development, subject to the approval of the City Engineer. Owner/Developer is responsible for all associated costs.

Drainage:

1. The subject property fronts a 250mm diameter storm sewer on 4 Street SE. No upgrades will be required at this time.
2. Records indicate that the existing property is not currently connected to City storm sewer.
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.

**ZONING AMENDMENT NO. ZON-1191
VARIANCE APPLICATION FILE VP-521**
November 26, 2020
Page 4

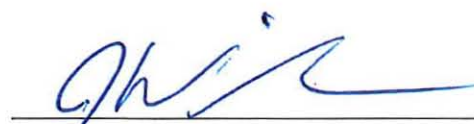
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The subject parcel shall be serviced by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



Matt Glenger
Engineering Assistant



Jenn Wilson P.Eng., LEED® AP
City Engineer

CITY OF SALMON ARM

BYLAW NO. 4421

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on _____ at the hour of 7:00 p.m. was published in the _____ and _____, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:
 - 1) Rezone Lot 3, Block 1, Section 14, Township 20, Range 10, W6M, KDYD, Plan 936 from R-1 (Single Family Residential Zone) to R-5 (High Density Residential Zone), shown on Schedule "A" attached hereto and forming part of this bylaw; and
 - 2) Addition of the defined "Duplex" use to the R-5 (High Density Residential) zone.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4421"

READ A FIRST TIME THIS DAY OF 2020

READ A SECOND TIME THIS DAY OF 2020

READ A THIRD TIME THIS DAY OF 2021

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF 2021

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2021

MAYOR

CORPORATE OFFICER

SCHEDULE "A"



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Item 11.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424 be read a final time.

[Cemetery Rates]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

**CITY OF
SALMON ARM**

Date: November 17, 2020
To: Mayor Harrison and Members of Council
From: Chelsea Van de Cappelle, Chief Financial Officer
Subject: Cemetery Rates

Recommendation:

THAT: Bylaw No. 4424 cited as the "City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424" be given three readings.

Background:

In 2018 Lees & Associates and staff undertook a Cemetery Price Study to provide a benchmark for pricing of the City's current and future cemetery products and services. The study compared the City's current pricing with both regional municipalities (Penticton, Vernon, Nelson and Kamloops) and with the national average. At the time, the City's cemetery fees were priced below the regional average and in the majority of cases below the national average as well.

In 2019, Council approved a phased pricing approach to increase the existing fee structure in both 2019 and 2020 by 40% each year. This brought current offerings closer to the regional average, while addressing part of the risk of underpricing. There were also a number of new services being offered at the Shuswap Memorial Cemetery such as Family Vessels, Ossuary Interments, Memorial Wall Plaques, Scattering Garden Interments and Cremation Family Estate Lots. These services were increased in 2020 by 2.5% to address inflation.

For 2021, staff are proposing to increase Cemetery Rates by 1%. The 2019 BC CPI was 2.33%; however, inflation for 2020 from January to October averages 0.69%. Given the uncertainty in the economic environment as a result of COVID-19, staff are proposing a conservative increase of 1%. It is important that rates be reviewed annually and increased at least to address inflation to ensure that the City does not fall below the regional averages.

Attached (Appendix A) is a comparative of the proposed rate increases, associated required Care Fund contributions and impact users. The bylaw (Appendix B) proposes rates for both Mt. Ida and Shuswap Memorial Cemetery for 2021.

Respectfully Submitted,



Chelsea Van de Cappelle, CPA

Cemetery Rates

	2020 Cemetery Rates				2021 Cemetery Rates				\$ Change
	Net Rate	Care Fund	Total Rate	Care Fund %	Net Rate	Care Fund	Total Rate	Care Fund %	
Proposed Rate Increase	40.00%				1.00%				
Estimated Inflationary Increase (BC CPI)	2.50%				1.00%				
Grave Space									
Ground Burial									
Adult Res	813.00	272.00	1,085.00	25.07%	821.00	275.00	1,096.00	25.09%	11.00
Adult Non-Res	1,074.00	358.00	1,432.00	25.00%	1,085.00	362.00	1,447.00	25.02%	15.00
Child/Infant Res	491.00	164.00	655.00	25.04%	496.00	166.00	662.00	25.08%	7.00
Child/Infant Non-Res	700.00	234.00	934.00	25.05%	707.00	236.00	943.00	25.03%	9.00
Cremation Res	335.00	112.00	447.00	25.06%	338.00	113.00	451.00	25.06%	4.00
Cremation Non-Res	452.00	151.00	603.00	25.04%	457.00	153.00	610.00	25.08%	7.00
Family Estate Res	1,230.00	410.00	1,640.00	25.00%	1,242.00	414.00	1,656.00	25.00%	16.00
Family Estate Non-Res	1,599.00	533.00	2,132.00	25.00%	1,615.00	538.00	2,153.00	24.99%	21.00
Cremation									
Columbarium Niche Res	1,980.00	661.00	2,641.00	25.03%	2,000.00	668.00	2,668.00	25.04%	27.00
Columbarium Niche Non-Res	2,589.00	864.00	3,453.00	25.02%	2,615.00	873.00	3,488.00	25.03%	35.00
Family Vessel Res	4,997.00	1,666.00	6,663.00	25.00%	5,047.00	1,683.00	6,730.00	25.01%	67.00
Family Vessel Non-Res	6,495.00	2,166.00	8,661.00	25.01%	6,560.00	2,188.00	8,748.00	25.01%	87.00
Ossuary Res	315.00	105.00	420.00	25.00%	318.00	106.00	424.00	25.00%	4.00
Ossuary Non-Res	405.00	135.00	540.00	25.00%	409.00	136.00	545.00	24.95%	5.00
Scattering Res	155.00	52.00	207.00	25.12%	157.00	53.00	210.00	25.24%	3.00
Scattering Non-Res	200.00	67.00	267.00	25.09%	202.00	68.00	270.00	25.19%	3.00
Services									
License Transfer Fee	94.00	-	94.00	0.00%	95.00	-	95.00	0.00%	1.00
Interment (Open/Close)									
Adult	1,021.00	-	1,021.00	0.00%	1,031.00	-	1,031.00	0.00%	10.00
Child/Infant	687.00	-	687.00	0.00%	694.00	-	694.00	0.00%	7.00
Cremation/Family Estate	456.00	-	456.00	0.00%	461.00	-	461.00	0.00%	5.00
Niche/Vessel/Ossuary	308.00	-	308.00	0.00%	311.00	-	311.00	0.00%	3.00
Scattering	308.00	-	308.00	0.00%	311.00	-	311.00	0.00%	3.00
Extra Depth	403.00	-	403.00	0.00%	407.00	-	407.00	0.00%	4.00
1-4pm/Weekends/Holidays									
Adult	519.00	-	519.00	0.00%	524.00	-	524.00	0.00%	5.00
Child/Infant	519.00	-	519.00	0.00%	524.00	-	524.00	0.00%	5.00
Cremation/Family Estate	269.00	-	269.00	0.00%	272.00	-	272.00	0.00%	3.00
Niche/Vessel/Ossuary	162.00	-	162.00	0.00%	164.00	-	164.00	0.00%	2.00
Scattering	162.00	-	162.00	0.00%	164.00	-	164.00	0.00%	2.00
Disinterment (Open/Close)									
Adult	1,567.00	-	1,567.00	0.00%	1,583.00	-	1,583.00	0.00%	16.00
Child/Infant	1,170.00	-	1,170.00	0.00%	1,182.00	-	1,182.00	0.00%	12.00
Cremation/Family Estate	588.00	-	588.00	0.00%	594.00	-	594.00	0.00%	6.00
After 3:30pm/Weekends/Holidays									
Adult	519.00	-	519.00	0.00%	524.00	-	524.00	0.00%	5.00
Child/Infant	519.00	-	519.00	0.00%	524.00	-	524.00	0.00%	5.00
Cremation/Family Estate	269.00	-	269.00	0.00%	272.00	-	272.00	0.00%	3.00
Memorials									
Marker Installation Permit									
Flat Marker Memorial	105.00	35.00	140.00	25.00%	106.00	35.00	141.00	24.82%	1.00
Upright Monument Memorial	105.00	35.00	140.00	25.00%	106.00	35.00	141.00	24.82%	1.00
Columbarium Niche Plate	105.00	35.00	140.00	25.00%	106.00	35.00	141.00	24.82%	1.00
Memorial Wall Plaque	105.00	35.00	140.00	25.00%	106.00	35.00	141.00	24.82%	1.00
Community Memorial Wall Plaque	105.00	35.00	140.00	25.00%	106.00	35.00	141.00	24.82%	1.00
Granite Memorial Wall Plaque									
Individual/Family	231.00	77.00	308.00	25.00%	233.00	78.00	311.00	25.08%	3.00
Cemetery Products									
Grave Liners									
Single	507.00	-	507.00	0.00%	512.00	-	512.00	0.00%	5.00
Double	507.00	-	507.00	0.00%	512.00	-	512.00	0.00%	5.00
Cremation Vault - Double	133.00	-	133.00	0.00%	134.00	-	134.00	0.00%	1.00
TOTAL	35,273.00	8,202.00	43,475.00		35,627.00	8,285.00	43,912.00		437.00

Notes:

- * 2019 BC CPI per Stats Canada = 2.33%
- * 2020 BC CPI per Stats Canada (up to October) = 0.69%

Appendix B

<u>GRAVE SPACE</u>		<u>2021</u>		
<u>(RIGHT OF INTERMENT)</u>	<u>DESCRIPTION</u>	<u>RATE</u>	<u>CARE FUND</u>	<u>TOTAL</u>
<u>Ground Burial</u>				
Adult	Resident	\$ 821.00	\$ 275.00	\$ 1,096.00
	Non-Resident	1,085.00	362.00	1,447.00
Child/Infant	Resident	496.00	166.00	662.00
	Non-Resident	707.00	236.00	943.00
Cremation	Resident	338.00	113.00	451.00
	Non-Resident	457.00	153.00	610.00
* Family Estate - Cremation	Resident	1,242.00	414.00	1,656.00
	Non-Resident	1,615.00	538.00	2,153.00
<u>Cremation</u>				
Columbarium Niche	Resident	2,000.00	668.00	2,668.00
	Non-Resident	2,615.00	873.00	3,488.00
* Family Vessel	Resident	5,047.00	1,683.00	6,730.00
	Non-Resident	6,560.00	2,188.00	8,748.00
* Ossuary	Resident	318.00	106.00	424.00
	Non-Resident	409.00	136.00	545.00
* Scattering	Resident	157.00	53.00	210.00
	Non-Resident	202.00	68.00	270.00
<u>SERVICE FEES</u>				
Regular services rendered Monday to Friday 8:00am until 3:30pm.				
After 3:30pm on weekdays, weekends and statutory holidays are subject to an additional charge over the weekday interment fee.				
License Transfer Fee		95.00	-	95.00
<u>Interment (Open/Close)</u>				
Adult	Weekday	1,031.00	-	1,031.00
	After Regular Hours	524.00	-	524.00
Child/Infant	Weekday	694.00	-	694.00
	After Regular Hours	524.00	-	524.00
Cremation/Family Estate - Cremation	Weekday	461.00	-	461.00
	After Regular Hours	272.00	-	272.00
Columbarium Niche/Vessel/Ossuary	Weekday	311.00	-	311.00
	After Regular Hours	164.00	-	164.00
Scattering	Weekday	311.00	-	311.00
	After Regular Hours	164.00	-	164.00
Extra Depth		407.00	-	407.00
<u>Disinterment (Open/Close)</u>				
Adult	Weekday	1,583.00	-	1,583.00
	After Regular Hours	524.00	-	524.00
Child/Infant	Weekday	1,182.00	-	1,182.00
	After Regular Hours	524.00	-	524.00
Cremation/Family Estate - Cremation	Weekday	594.00	-	594.00
	After Regular Hours	272.00	-	272.00
<u>MEMORIALS</u>				
<u>Marker Installation Permit</u>				
Flat Marker Memorial		106.00	35.00	141.00
Upright Monument Memorial		106.00	35.00	141.00
Columbarium Niche Plate		106.00	35.00	141.00
* Memorial Wall Plaque		106.00	35.00	141.00
* Community Memorial Wall Plaque		106.00	35.00	141.00
<u>Granite Memorial Wall Plaques</u>				
* Individual/Family Plaque	Plaque/Installation	233.00	78.00	311.00
<u>CEMETERY PRODUCTS</u>				
Grave Liners	Single	512.00	-	512.00
	Double	512.00	-	512.00
Cremation Vault	Cremation	134.00	-	134.00

* Only Available at the Shuswap Memorial Cemetery
All Cemetery Charges are Subject to GST at the Prescribed Rate

CITY OF SALMON ARM
BYLAW NO. 4424

A bylaw to amend "City of Salmon Arm Cemetery Management Bylaw No. 4280"

WHEREAS it is deemed desirable and expedient to amend the fees imposed by "Cemetery Management Bylaw No. 4280";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. Schedule "A" of Bylaw No. 4280 is hereby repealed in its entirety and replaced with Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect on January 1, 2021.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Cemetery Management Amendment Bylaw No. 4424."

READ A FIRST TIME THIS	23	DAY OF	November	2020
READ A SECOND TIME THIS	23	DAY OF	November	2020
READ A THIRD TIME THIS	23	DAY OF	November	2020
ADOPTED BY COUNCIL THIS		DAY OF		2020

MAYOR

CORPORATE OFFICER

SCHEDULE "A" CEMETERY FEES

GRAVE SPACE (RIGHT OF INTERMENT)		DESCRIPTION	RATE	2021 CARE FUND	TOTAL
Ground Burial					
Adult	Resident		\$ 821.00	\$ 275.00	\$ 1,096.00
	Non-Resident		1,085.00	362.00	1,447.00
Child/Infant	Resident		496.00	166.00	662.00
	Non-Resident		707.00	236.00	943.00
Cremation	Resident		338.00	113.00	451.00
	Non-Resident		457.00	153.00	610.00
* Family Estate - Cremation	Resident		1,242.00	414.00	1,656.00
	Non-Resident		1,615.00	538.00	2,153.00
Cremation					
Columbarium Niche	Resident		2,000.00	668.00	2,668.00
	Non-Resident		2,615.00	873.00	3,488.00
* Family Vessel	Resident		5,047.00	1,683.00	6,730.00
	Non-Resident		6,560.00	2,188.00	8,748.00
* Ossuary	Resident		318.00	106.00	424.00
	Non-Resident		409.00	136.00	545.00
* Scattering	Resident		157.00	53.00	210.00
	Non-Resident		202.00	68.00	270.00
SERVICE FEES					
Regular services rendered Monday to Friday 8:00am until 3:30pm.					
After 3:30pm on weekdays, weekends and statutory holidays are subject to an additional charge over the weekday interment fee.					
License Transfer Fee			95.00	-	95.00
Interment (Open/Close)					
Adult	Weekday		1,031.00	-	1,031.00
	After Regular Hours		524.00	-	524.00
Child/Infant	Weekday		694.00	-	694.00
	After Regular Hours		524.00	-	524.00
Cremation/Family Estate - Cremation	Weekday		461.00	-	461.00
	After Regular Hours		272.00	-	272.00
Columbarium Niche/Vessel/Ossuary	Weekday		311.00	-	311.00
	After Regular Hours		164.00	-	164.00
Scattering	Weekday		311.00	-	311.00
	After Regular Hours		164.00	-	164.00
Extra Depth			407.00	-	407.00
Disinterment (Open/Close)					
Adult	Weekday		1,583.00	-	1,583.00
	After Regular Hours		524.00	-	524.00
Child/Infant	Weekday		1,182.00	-	1,182.00
	After Regular Hours		524.00	-	524.00
Cremation/Family Estate - Cremation	Weekday		594.00	-	594.00
	After Regular Hours		272.00	-	272.00
MEMORIALS					
Marker Installation Permit					
Flat Marker Memorial			106.00	35.00	141.00
Upright Monument Memorial			106.00	35.00	141.00
Columbarium Niche Plate			106.00	35.00	141.00
* Memorial Wall Plaque			106.00	35.00	141.00
* Community Memorial Wall Plaque			106.00	35.00	141.00
Granite Memorial Wall Plaques					
* Individual/Family Plaque	Plaque/Installation		233.00	78.00	311.00
CEMETERY PRODUCTS					
Grave Liners	Single		512.00	-	512.00
	Double		512.00	-	512.00
Cremation Vault	Cremation		134.00	-	134.00

* Only Available at the Shuswap Memorial Cemetery
All Cemetery Charges are Subject to GST at the Prescribed Rate

Item 11.2

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410 be read a final time.

[OCP4000-43; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: October 14, 2020

Subject: Official Community Plan Amendment Application No. 4000 - 43 & Zoning Bylaw Amendment Application No. 1184

Legal: Lot 3, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plan KAP47370 and Lot B, Section 24, Township 20, Range 10, W6M, KDYD, Plan 13130, Except Plan KAP54559
 Civic Address: 1050 & 1091 18 Street NE
 Owner/Applicant: Russell Kearl

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Official Community Plan Bylaw No. 4000 by redesignating Lot 3, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plan KAP47370 and Lot B, Section 24, Township 20, Range 10, W6M, Plan 13130, Except Plan KAP54559 from Residential High Density to Highway Service/Tourist Commercial.

AND THAT: Pursuant to Section 475 of the *Local Government Act*, Council has considered this Official Community Plan amendment after appropriate consultation with affected organizations and authorities.

AND THAT: Pursuant to Section 476 of the *Local Government Act*, Council has considered this Official Community Plan amendment after required consultation with School District No. 83.

AND THAT: Pursuant to Section 477 3 (a) of the *Local Government Act*, Council has considered the proposed Official Community Plan Amendment in conjunction with:
 1) The Financial Plans of the City of Salmon Arm; and
 2) The Liquid Waste Management Plan of the City of Salmon Arm.

AND THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 3, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plan KAP47370 and Lot B, Section 24, Township 20, Range 10, W6M, KDYD, Plan 13130, Except Plan KAP54559 from R5 (High Density Residential) to C6 (Tourist/Recreation Commercial Zone).

AND FURTHER THAT: Final reading of the zoning amendment bylaw be withheld subject to:

- 1) Ministry of Transportation and Infrastructure approval; and
- 2) Adoption of the associated Official Community Plan Amendment Bylaw.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject property is located at 1050 and 1091 18 Street NE (Appendix 1 and 2). The proposal is to rezone the parcel from R5 (High Density Residential) to C6 (Tourist/Recreation Commercial Zone) to permit the development of a commercial office building with a residential unit above. The applicant has indicated that the building would occupy one property and the other property would be used primarily for parking.

BACKGROUND

The subject property comprises of two legal parcels with a total area of approximately 4159m² (1ac) and is bisected by 18 St NE. The parcels were the focus of an OCP Amendment and Rezoning application in 2015 in which the OCP designation was amended from Highway Service/Tourist Commercial to Residential High Density (RHD) and rezoned R1 (Single Family Residential Zone) to R5 (High Density Residential) in order to accommodate a proposal for a 24 unit residential townhouse development. Appendices 3 and 4 show the OCP and zoning of the subject property and surrounding area. Site photos are included as Appendix 5. Currently, a single family dwelling is located on 1091 18 St NE and 1050 18 St NE is vacant.

The Zoning Map attached as Appendix 4 shows that the site is surrounding by properties currently zoned R1 (Single Family Residential Zone) and R4 (Medium Density Residential Zone). The OCP Map shows that the subject property adjacent to areas designated as Residential Medium Density and is within the Highway Service/Tourist Commercial area which encourages commercial development for the travelling public with some medical and retails services meeting the needs of the surrounding residential areas. The surrounding uses are as follows:

North: Single Family Dwelling
East: Single Family Dwelling
West: Single Family Dwelling
South: Trans Canada Highway 1/Lakeside Bowling Lanes

The applicant is proposing build an office and retail commercial space with some residential accommodations on the second floor. The applicant has stated that one of the office spaces would be used for a dentist office and the retail space is undetermined. Should the OCP Amendment and Rezoning applications be supported, the owner would have to make application for a Highway Service/Tourist Commercial Development Permit. At which time drawings for a proposed building, building massing, parking, site plan and landscaping can be reviewed through the Development Permit Guidelines for the Highway Service/Tourist Commercial Area.

OCP POLICY

The OCP includes policies on the Highway Service/Tourist Commercial Area, citing that this area is intended to support commercial, retail and medical services for the travelling public but also for the growing residential in the vicinity. Highway access is approximately 500m away at the recently constructed interchange east of 21 St NE. The OCP supports providing retail and service opportunities. In addition, the area is within the boundaries of 30 St SW and 30 St NE; therefore a proposal to provide medical services and retail that meets the needs of the surrounding residential area is supported by the OCP.

Currently, the inventory of Commercial lands, as per the OCP designation, is approximately 212.23 ha (524.43ac). The subject area, not including the consolidation of 18 St NE into the development area, is approximately 4159m² (1ac). The proposal does not mark a significant increase in the commercial inventory, neither does the removal of the lands from the residential inventory have a significant adverse impact to the residential land inventory.

Section 475 & 476 - Local Government Act

Pursuant to Sections 475 and 476 of the Local Government Act (optional and mandatory consultation requirements during OCP amendments), the proposed OCP amendments were referred to the following organizations on August 11, 2020:

Adams Lake Indian Band:	No response to date
Neskonlith Indian Band:	no response to date
Economic Development Society:	Support - response attached (Appendix 6)

School District No. 83:
(pursuant to Section 476)

No response to date

Section 477 - Local Government Act

Pursuant to Section 477 of the Local Government Act (adoption procedures for an OCP amendment), prior to Second Reading of the bylaw, Council must consider the proposed OCP amendment in relation to the City's financial and waste management plans. In the opinion of staff, this proposed OCP amendment is largely consistent with both the City's financial and waste management plans.

COMMENTS

Ministry of Transportation and Infrastructure

The Ministry of Transportation and Infrastructure (MOTI) have given preliminary approval of the rezoning provided that there is no direct access to the Trans-Canada Highway and that all new structures must be located outside of the provincial setback of 4.5m from the Trans-Canada Highway road/property line.

Engineering Department

The requirements for 18 St NE include road dedication, upgrades along the frontages to the Urban Local Road standard and the construction and dedication of a full cul-d-sac. There are some additional upgrades that would be required along the 11 Ave NE frontages and are detailed in the report. In noting the various upgrade requirements along the 18 St NE frontages, Engineering staff are supportive of the closure, purchase and consolidation of 18 St NE. Should 18 St NE be closed and purchased by the owner/applicant then the improvements would not be necessary. Engineering comments are attached as Appendix 7.

The applicant has expressed interest in purchasing 18 St NE and consolidating the subject property and road. There is a Road Closure and purchase process that could be initiated by the applicant in order to facilitate the purchase of 18 St NE and staff will continue to work through this process. The Road Closure and purchase process requires Council approval.

Building Department

No concerns were raised during the review period.

Fire Department

No concerns.

Planning Department

Staff are supportive of the application to amend the OCP and rezone the subject property in order to bring small scale commercial that caters to the growing residential development in the surrounding area. Staff were also supportive of the previous OCP and rezoning applications due to there being no direct access to Trans Canada Highway 1 from 18 Street NE and the scale of residential development could have easily integrated into the surrounding area.

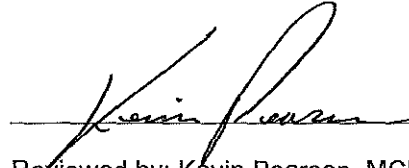
The closure of the 18 St NE and the possibility of a consolidated lot frontage would align the C6 zoning setbacks with a building being required to be at least 3m from each side property line. There are no front or rear yard setbacks in the zoning regulations; however, the Ministry of Transportation and Infrastructure (MOTI) responded that there are to be no buildings or structures located within a 4.5m area from the highway. This setback negates parking in the same area because should MOTI have to use that area for right or way into the future it could reduce the parking areas and potentially leave the development non-conforming. Note that, there are OCP guidelines encouraging parking area to be located at the back of buildings. Again, the details of the building location, form and character elements, building massing, and site parking can be addressed in more detail at the Development Permit stage.

Further to this, while the applicant is proposing to use one lot for the building and other lot primarily for parking it should be noted that the C6 zone does not permit "parking lot" or "parkade/off-street parking" as a permitted use for this site. Therefore, should the lots remain separate legal entities or lots, at the time of

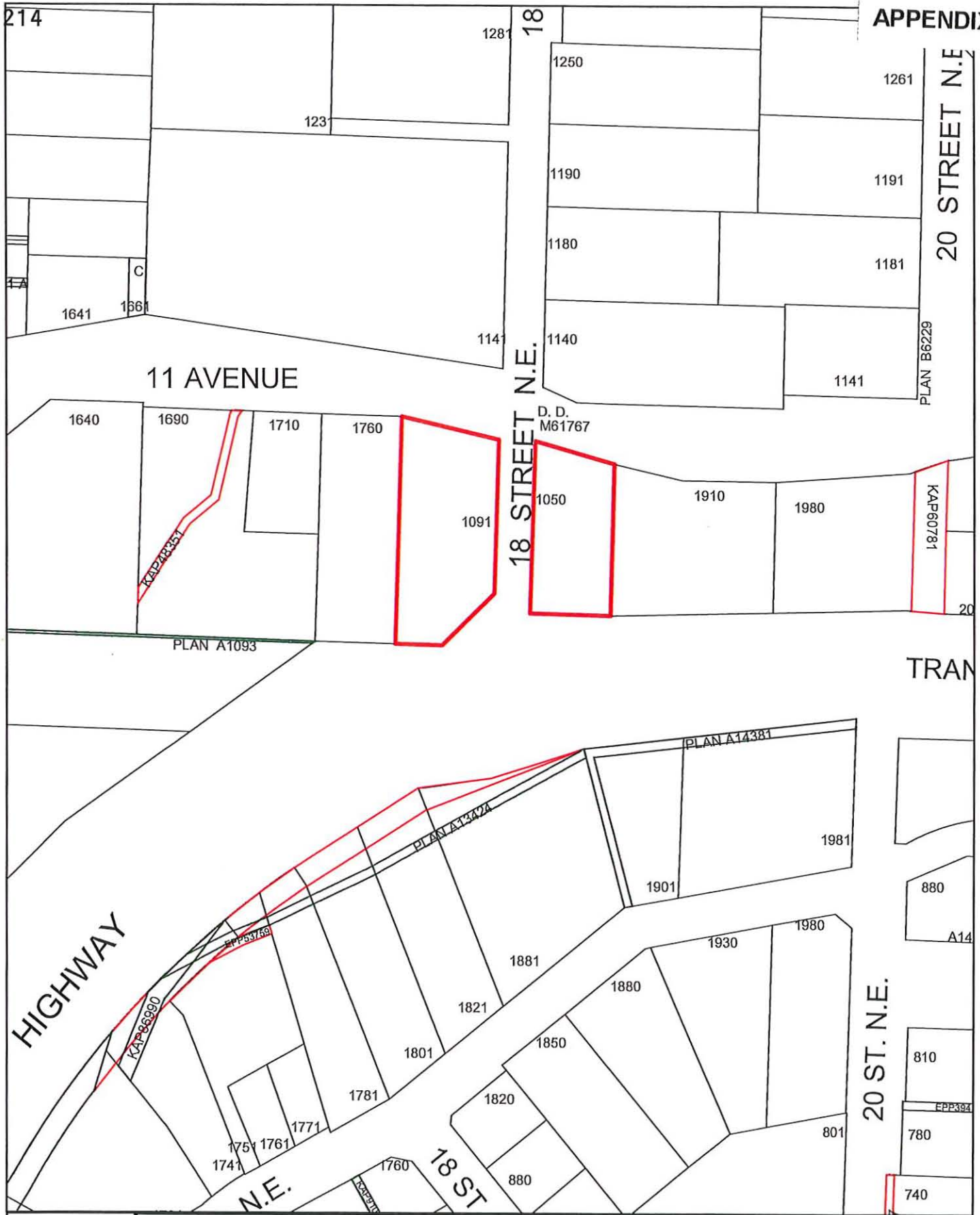
Development Permit, one lot being utilized as a parking area for the adjacent development could be secured by way of lot consolidation or covenant so it does not conflict with the permitted uses in the zone. Given that preliminary drawings for the building and site plan have not been submitted, approvals related to parking may be addressed at the time of Development Permit.




Prepared by: Melinda Smyrl, MCIP, RPP
Planner



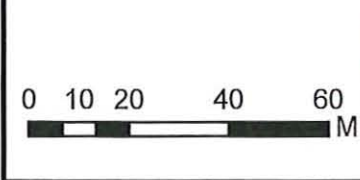
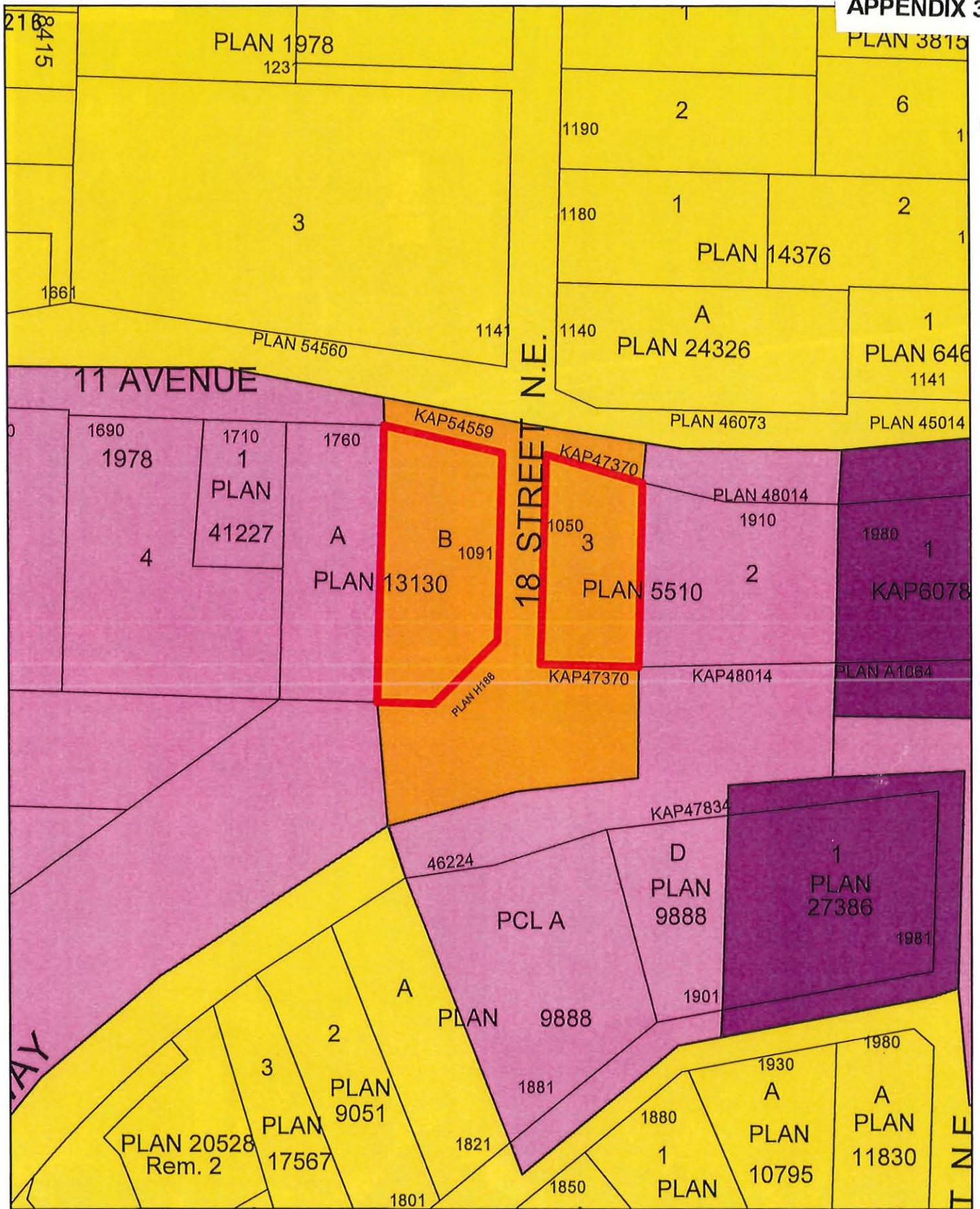
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services








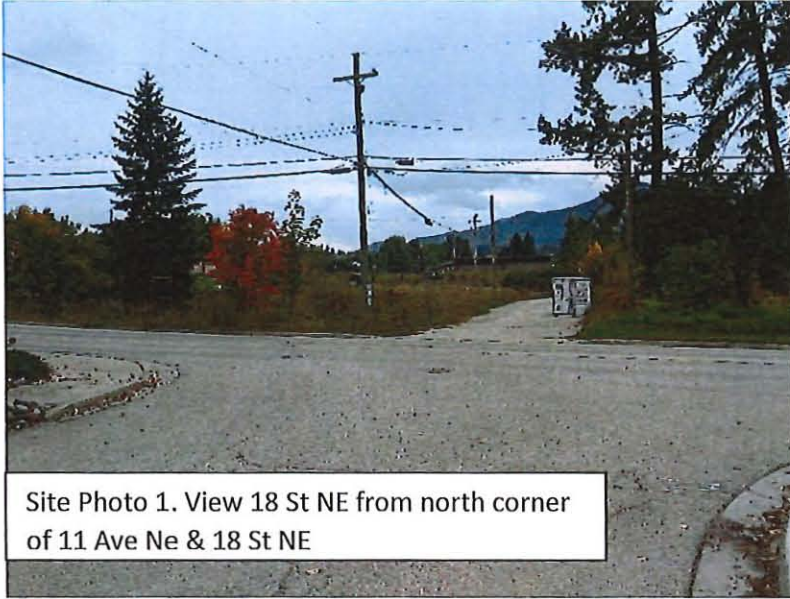
 Subject Property

0 10 20 40 60 80
Meters





-  Subject Property
-  Residential High Density
-  Institutional
-  Commercial Highway Service/Tourist
-  Residential Medium Density



Site Photo 1. View 18 St NE from north corner of 11 Ave Ne & 18 St NE



Site Photo 2. View to 1050 18 St NE from north corner of 11 Ave Ne & 18 St NE



Site Photo 3. View to 1091 18 St NE from north corner of 11 Ave Ne & 18 St NE



Sept 10, 2020

City of Salmon Arm
PO Box 40
Salmon Arm BC
V1E 4N2

Attention: Kevin Pearson
Director of Development Services

Dear Sir:

Re: OCP Amendment Application No OCP4000-43

The Salmon Arm Economic Development Society (SAEDS) Board of Directors has reviewed the information for the above-noted OCP Amendment Referral to amend the OCP designation of the properties located at 1050 18 Street NE and 1091 18 Street NE SE, Salmon Arm, from High Density Residential to Highway Commercial, and the Zoning Category from R5 to C6. The Board supports the application, based on the information provided.

We thank you for the opportunity to comment on this OCP Amendment Referral.

Sincerely,

A handwritten signature in black ink, appearing to read "Lana Pitt", is written over a faint, circular watermark or stamp.

Lana Pitt, Economic Development Manager
Salmon Arm Economic Development Society



*Memorandum from the
Engineering and Public
Works Department*

TO: Kevin Pearson, Director of Development Services
 DATE: September 23, 2020
 PREPARED BY: Matt Gienger, Engineering Assistant
 APPLICANT: **Russell Kearl**, - 101, 571 – 6 Street NE, Salmon Arm, BC V1E 1R6
 OWNER: **H. & D. Clarke, C.**, 38, 1231 – 10 Street SW,
 Salmon Arm, BC V1E 0A5 (1050 – 18 Street NE)
 Northern Propane Ltd. Inc./969730 AB Ltd. – 38, 1231 – 10 Street SW,
 Salmon Arm, BC V1E 0A5 (1091 – 18 Street NE)
 SUBJECT: **OFFICIAL COMMUNITY PLAN FILE NO. OCP4000-43 &
 ZONING AMENDMENT APPLICATION FILE NO. ZON-1184**
 LEGAL: Lot 3, Section 24, Township 20, Range 10, W6M KDYD, Plan 5510
 Except Plan KAP47370
 Lot B, Section 24, Township 20, Range 10, W6M KDYD, Plan 13130
 Except Plan KAP54559
 CIVIC: **1050 & 1091 – 18 Street NE**

Further to your referral dated August 10, 2020, we provide the following servicing information. **The following comments and servicing requirements are not conditions for Rezoning or OCP amendment; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:**

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.

OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. OCP4000.43E**ZONING AMENDMENT APPLICATION NO. ZON-1184**

September 23, 2020

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7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement and/or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
 8. At the time of development permit / building permit the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
 9. For the off-site improvements at the time of subdivision / building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of subdivision / building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 11 Avenue NE on the subject property's north boundary is classified as an Urban Local Road (RD-2) and requires an ultimate 20.0 meters dedication (10.0 meters from centerline). Available records indicate that existing dedication varies and additional dedication may be required from the subject property (to be confirmed by BCLS).
2. 11 Avenue NE is currently developed to an interim Urban Local Street standard. Upgrading to the Urban Local Road Standard (RD-2) is required; however, all infrastructure specifications and offsets must conform to the Urban Collector Road Standard (RD-3). Upgrading may include, but is not limited to, road widening and construction, boulevard grading/construction, curb & gutter, street drainage and streetlights (spacing to be confirmed by professional engineer).
3. 18 Street NE bisects the subject properties from north to south and is classified as an urban local street (RD-1), requiring an ultimate 18.0 meters dedication (9.0 meters from centerline). Available records indicate approximately 6.0 meters dedication will be required, split between the east and west sides of 18 Street NE (to be confirmed by BCLS).
4. 18 Street NE is currently not constructed to a city standard. Upgrading to the Urban Local Road Standard (RD-1) is required. Upgrading may include, but is not limited to, road construction, boulevard grading/construction, curb & gutter, sidewalk, street drainage, utility installation, underground hydro and telecommunications, and street lighting.
5. A full cul-de-sac constructed and dedicated will be required at the termination of 18 Street NE, as per specification drawing No. RD-10.

OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. OCP4000.43E
ZONING AMENDMENT APPLICATION NO. ZON-1184

September 23, 2020

Page 3

6. Engineering staff would consider supporting the closure and sale of 18 Street NE and amalgamation with the two properties, subject to a Road Closure Bylaw. Doing so would negate the dedication and upgrading requirements, and the City would absolve its responsibility for maintenance.
7. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
8. 3.0m by 3.0m corner cuts are required to be dedicated at the intersection of 11 Avenue NE and 18 Street NE.
9. Accesses shall be designed by keeping to a minimum number. Only one (1) driveway access per parcel will be permitted onto 18 Street NE. All unused driveways shall be removed. Owner / Developer responsible for all associated costs. Should the developer proceed with the closure of 18 Street NE, one access would be permitted onto 11 Avenue NE at the existing intersection location.
10. Trans Canada Highway (TCH) along the south side of the subject property is a provincial controlled access highway. Additional dedication/improvements will be determined by ministry of Transportation

Water:

1. The subject property fronts the following watermains:
 - 450mm diameter Zone 1 watermain on 11 Avenue NE
 - 200mm diameter Zone 2 watermain on 11 Avenue NE east of 18 Street NE
 - 150mm diameter Zone 2 watermain on 11 Avenue NE west of 18 Street NE
 - 150mm diameter Zone 2 watermain on 18 Street NE

Upgrading of the 150mm watermain on 11 Avenue NE to a 200mm diameter is required under the Subdivision and Development Servicing Bylaw No.4163. The Engineering department considers the 11 Avenue NE upgrade work pre-mature at this time; therefore, the City of Salmon Arm will require cash-in-lieu for this upgrade.

Upgrading of the 150mm watermain on 18 Street NE to a 200mm diameter is required under the SDSB Bylaw; however, as this main only services the subject parcels and is not required for the future, it should be abandoned south of 11 Avenue NE or retrofitted as a service.

OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. OCP4000.43E
ZONING AMENDMENT APPLICATION NO. ZON-1184

September 23, 2020

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2. Both properties are to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). City records indicate that both properties are currently serviced with unknown diameter services from 18 Street NE. Relocating the existing services to the Zone 2 watermain on 11 Avenue NE and decommissioning existing service to 1050 18 Street NE will be required. Water meter(s) will be supplied by the City at the time of building permit, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
4. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property fronts a 200mm diameter sanitary main on 11 Avenue NE. No upgrades are anticipated, Subject to Owner / Developer's engineer proving that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development. Owner / Developer is responsible for all associated costs.
2. Extension of the sanitary main along 18 Street NE is not required as there are no reliant upstream parcels and both of the subject parcels can be serviced adequately from the existing main on 11 Avenue NE.
3. Subject properties to be serviced each by a single sanitary service connection adequately sized (minimum 100 mm diameter) to satisfy the servicing requirements of the development. City records indicate that both existing lots have a 100 mm diameter service from 11 Avenue NE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Drainage:

1. The subject property fronts a 525 mm diameter storm main on 11 Avenue NE. No upgrades are required at this time.
2. The subject property does not front an enclosed storm sewer system on 18 Street NE. Extension of the storm main along 18 Street NE is not required as there are no reliant upstream parcels or no reliant upstream stormwater discharge and both of the subject parcels can discharge stormwater on site or be serviced adequately from the existing main on 11 Avenue NE.

OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. OCP4000.43E
ZONING AMENDMENT APPLICATION NO. ZON-1184

September 23, 2020

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3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. Both subject parcels shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development.

Geotechnical:

A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design) and Category B (Pavement Structural Design), is required.



Matt Gienger
Engineering Assistant



Jenn Wilson P.Eng., LEED® AP
City Engineer

23. STATUTORY PUBLIC HEARINGS

1. Official Community Plan Amendment Application No. OCP4000-43 [Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 & 1091 18 Street NE; HR to HC]

The Director of Development Services explained the proposed Official Community Plan Amendment Application.

D. McGregor – email dated November 5, 2020 – Query of proposed zoning change to 1050 18st St NE.

R. Keetch – email dated November 22, 2020 and response from Director of Development Services dated November 23, 2020 – Comment for Proposed amendments to OCP and Zoning at 1050 and 1091 18th st.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:09 p.m. and the next item ensued.

CITY OF SALMON ARM

BYLAW NO. 4410

**A bylaw to amend "City of Salmon Arm Official Community Plan
Bylaw No. 4000"**

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on November 23, 2020 at the hour of 7:00 p.m. was published in the November 12 and 18, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "City of Salmon Arm Official Community Plan Bylaw No. 4000" is hereby amended as follows:
 1. Re-designate Lot 3, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510 Except Plan KAP47370 and Lot B, Section 24, Township 20, Range 10, W6M, KDYD, Plan 13130 Except Plan KAP54559 from HR (Residential High Density) to HC (Highway Service/Tourist Commercial), as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Official Community Plan Amendment Bylaw No. 4410".

READ A FIRST TIME THIS 26 DAY OF October 2020

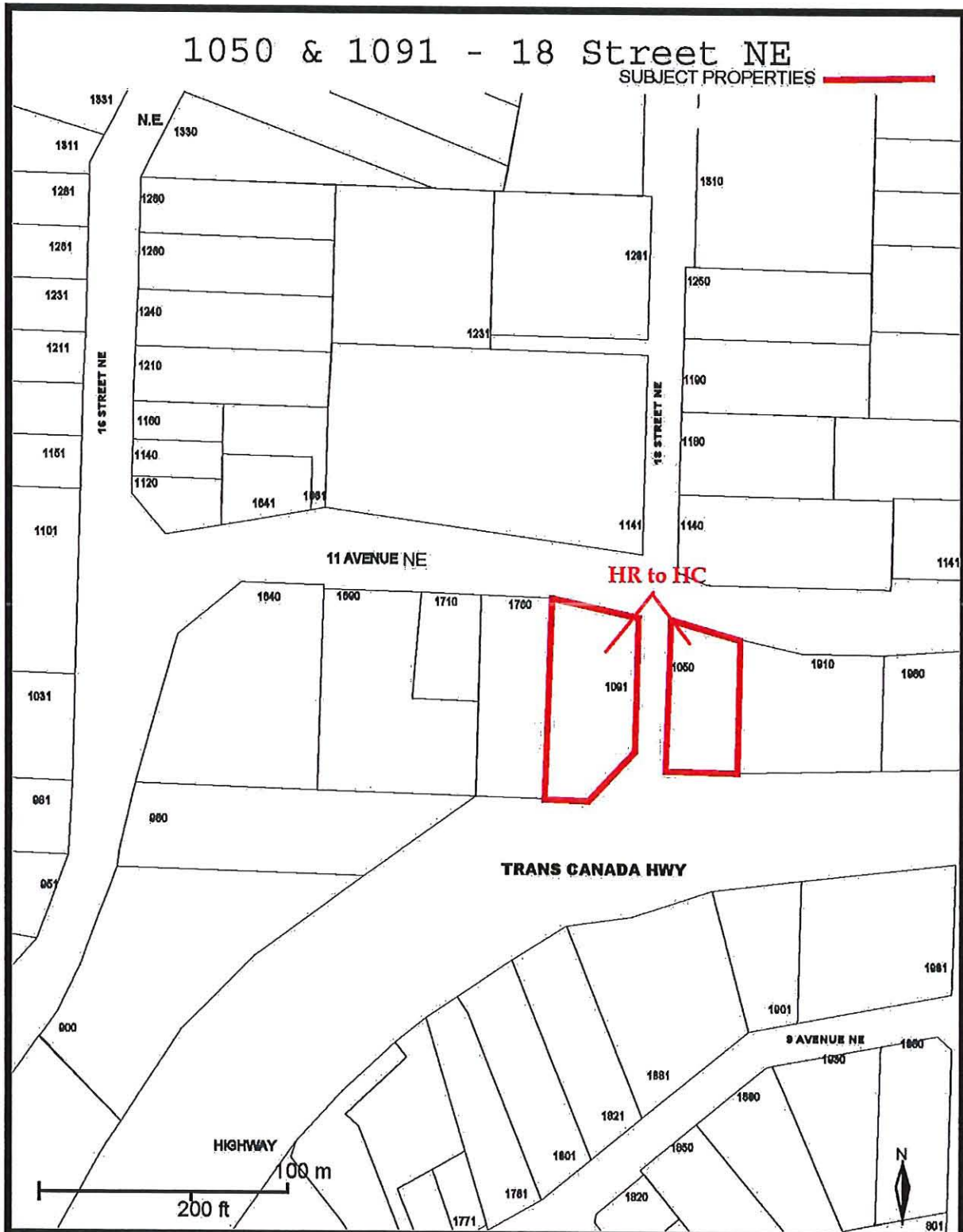
READ A SECOND TIME THIS 9 DAY OF November 2020

READ A THIRD TIME THIS 23 DAY OF November 2020

ADOPTED BY COUNCIL THIS DAY OF 2020

MAYOR

CORPORATE OFFICER



Item 11.3

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4411 be read a final time.

[ZON-1184; Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

23. **STATUTORY PUBLIC HEARINGS**

2. **Zoning Amendment Application No. ZON-1184 [Clarke, H. & D./Northern Propane Ltd./Kearl, R.; 1050 and 1091 18 Street NE; R-5 to C-6]**

The Director of Development Services explained the proposed Zoning Amendment Application.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:11 p.m.

CITY OF SALMON ARM

BYLAW NO. 4411

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on November 23, 2020 at the hour of 7:00 p.m. was published in the November 11 and 18, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510 Except Plan KAP47370 and Lot B, Section 24, Township 20, Range 10, W6M, KDYD, Plan 13130 Except Plan KAP54559 from R-5 (High Density Residential Zone) to C-6 (Tourist/Recreation Commercial Zone), shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

City of Salmon Arm
Zoning Amendment Bylaw No. 4411

5. CITATION

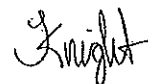
This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4411"

READ A FIRST TIME THIS 26 DAY OF October 2020

READ A SECOND TIME THIS 9 DAY OF November 2020

READ A THIRD TIME THIS 23 DAY OF November 2020

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE 8th DAY OF December 2020



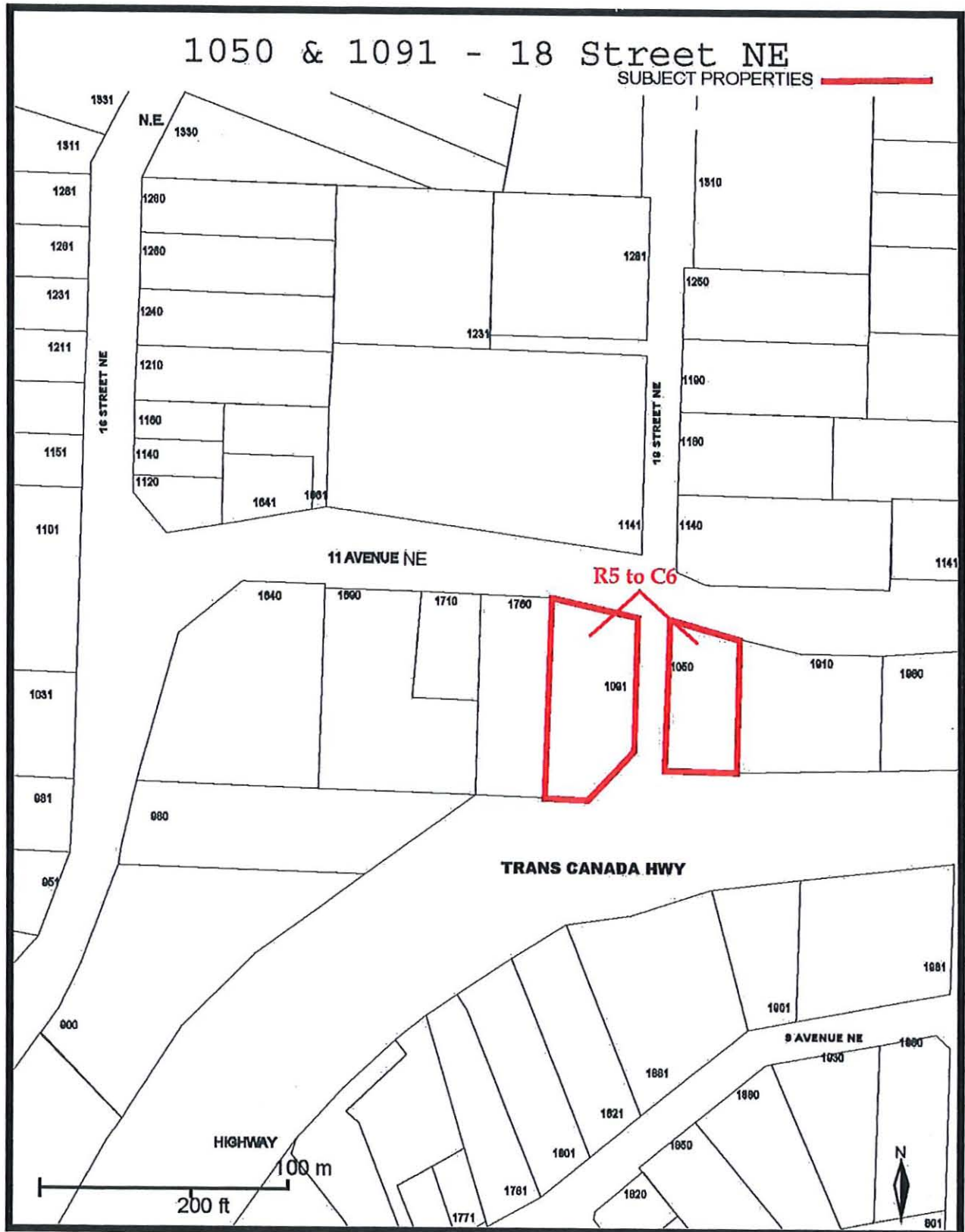
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2020

MAYOR

CORPORATE OFFICER

SCHEDULE "A"



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INFORMATIONAL CORRESPONDENCE - DECEMBER 14, 2020

- | | | |
|-----|---|---|
| 1. | Building Department - Building Statistics - November 2020 | N |
| 2. | Building Department - Building Permits - Yearly Statistics | N |
| 3. | P. and B. Kassa - email dated November 23, 2020 - Request for completion of sidewalk | A |
| 4. | M. & H. Stefanek - email dated December 4, 2020 - Rotterdam Parking Lane | A |
| 5. | J. Cromartie - letter dated December 6, 2020 - Request for Bench | A |
| 6. | D. Gonella, Executive Director, Salmon Arm Folk Music Society - letter dated October 17, 2020 - Multi-Year Grant Request | A |
| 7. | C. Marusiak, Secretary, Salmon Arm Citizens Patrol Society - letter dated November 17, 2020 - COVID-19 Grant | N |
| 8. | S. Caner, President, Shuswap Food Action Society - letter dated November 30, 2020 - COVID Relief Money | A |
| 9. | R.J. Haney Heritage Society - winter 2020 - Heritage Update | N |
| 10. | BC Health Authorities - media release dated December 1, 2020 - In Plain Sight: Addressing Indigenous-specific Racism and Discrimination in BC Health Care | N |
| 11. | L. Ackerman, Mayor, City of Fort St. John- letter to Union of BC Municipalities dated December 1, 2020 - UBCM Convention Schedule | N |
| 12. | BC Hydro - Fall 2020 - Thompson Okanagan Columbia Community Relations 2020 Annual Report | N |

N = No Action Required
A = Action Requested

S = Staff has Responded
R = Response Required

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Item 14.1

CITY OF SALMON ARMDate: December 14, 2020**Presentation 4:00 p.m. (approximately)****NAME:** Lana Fitt, Manager, Salmon Arm Economic Development Society**TOPIC:** 2021 MRDT Tactical Plan**Vote Record**

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

SALMON ARM

MRDT Program

2021 Tactical Plan

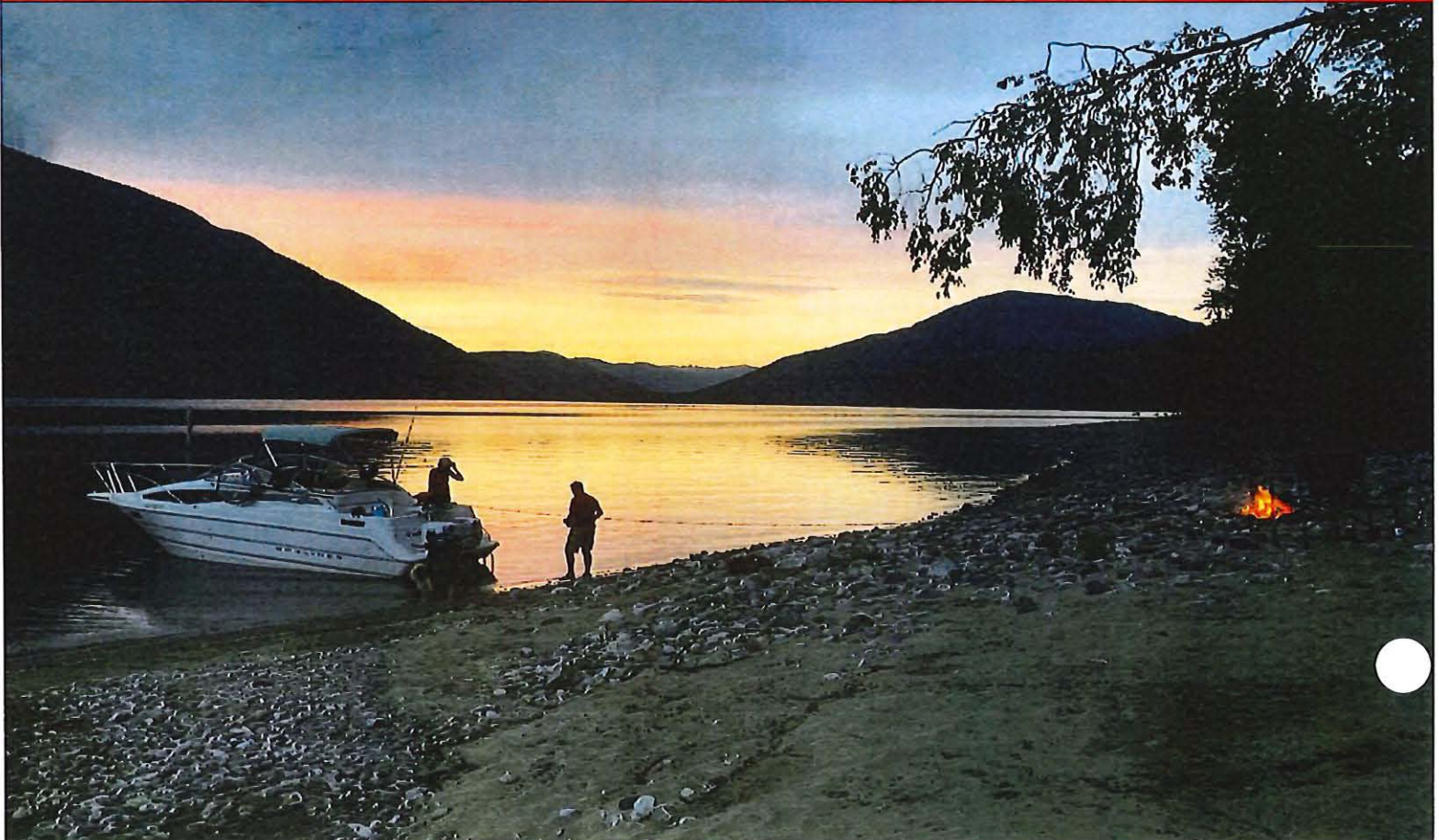


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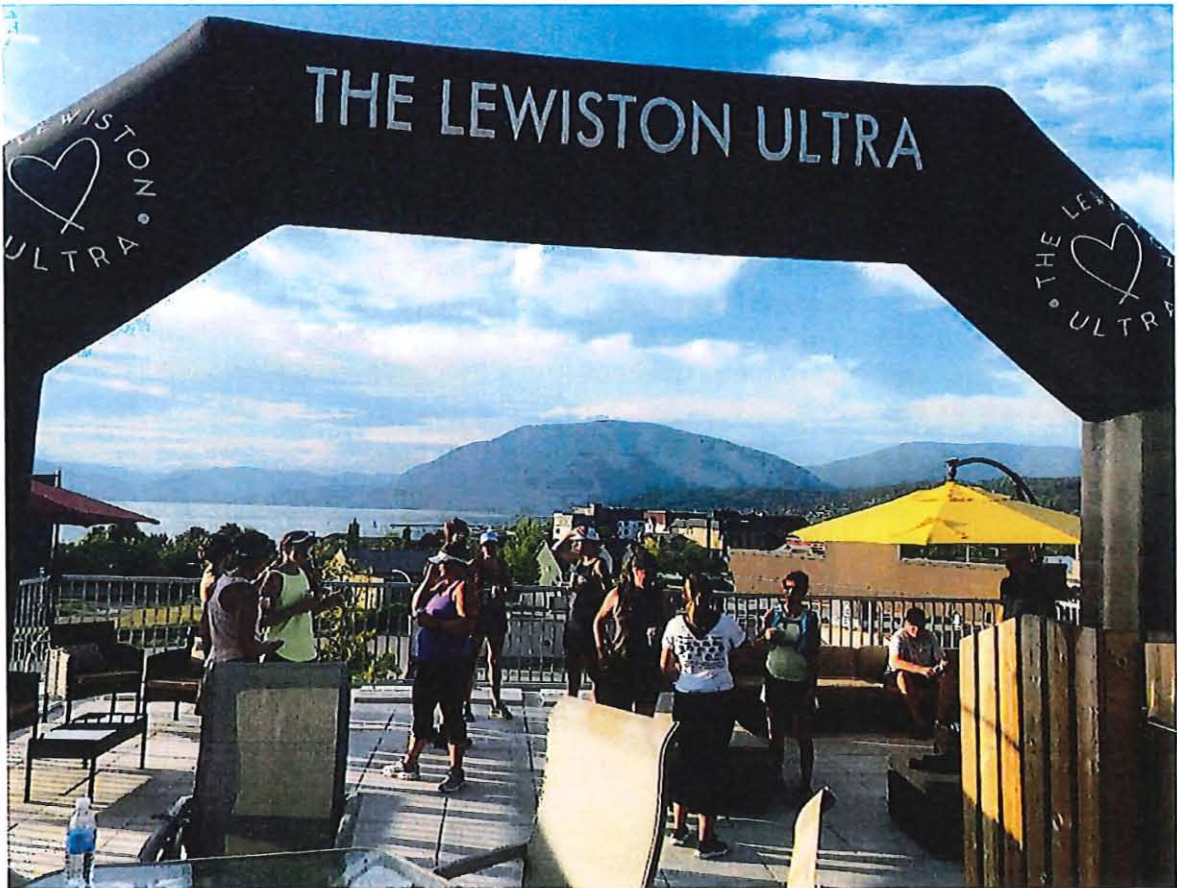
Section 1: 2021 MRDT Strategic Overview

- 1.1 Strategic Direction.....3
- 1.2 Vision, Mission, Goals, Objectives & Targets.....7
- 1.3 Lessons Learned.....9
- 1.4 Target Markets.....10
- 1.5 Strategies – Key Actions.....11
- 1.6 Summary of 2021 Tactics.....12
- 1.7 Sources of Funding.....13

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Section 4: Conclusion.....30



SECTION 1: 2021 MRDT Strategic Overview

1.1 Strategic Direction

Introduction

As we emerge from 2020, a year that can easily be described as the most challenging of the last several decades for the global tourism economy, we come away with new lessons learned and clear priorities for 2021. Consultation with area accommodators, supported by data provided by Thompson Okanagan Tourism Association (TOTA), Destination BC, and Destination Canada, and the Centres for Disease Control and Prevention, point to another year of travel disruptions in 2021.

Salmon Arm's 2021 Tactical Plan is based on the following foundational principals:

1. **Flexibility.** The plan must ensure the ability to pivot quickly in order to respond to this ever-changing situation.
2. **Support.** The plan must broadly support the needs of all tourism businesses.
3. **Communication.** The plan must ensure strong lines of communication with our tourism businesses. In such challenging times, Salmon Arm's MRDT Program is a conduit for information sharing and support for our tourism businesses.
4. **Return-on-Investment.** We must ensure every dollar spent in 2021 will provide exceptional value back to Salmon Arm's tourism economy.

2020 visitor trends are expected to continue throughout 2021 and as such, have informed priorities for the upcoming year. The most notable changes in our visitor market include the following:

- Significant increase in walk-up booking and a decrease in reservations.
- Shift in visitor type from business and tour bus participants to almost entirely leisure travelers (families & snowbirds).
- Significant increase in visitor information requests at check-in, coinciding with the change in planned bookings and traveler type. Accommodators have noted that, of the 2020 visitors arriving in Salmon Arm, it appeared many did not originally plan to stop in this community. Further, most did not have an itinerary and were seeking support in trip planning upon arrival. Finally, there was flexibility in their vacation plans allowing for "stay-another-day" opportunities in Salmon Arm, if they were adequately supported in their trip planning.

Salmon Arm will be relying primarily on a close-to-home market for tourism revenues. Salmon Arm MRDT revenue projections for 2021 are based on a best-case scenario, which sees the TOTA region retain its domestic travelers (61% of total tourism market) and Alberta travelers (19% of total tourism market), resulting in 80% of baseline (2019) revenue. For the upcoming year, Salmon Arm's MRDT Committee is expecting an entire loss of central and eastern Canadian travellers, as well as an entire loss of its international traveler market. Even under this best-case scenario modeling, it is very likely travel disruptions will continue, even for domestic travelers including:

- Expected consumer confidence reduction waves coinciding with COVID-19 outbreaks
- Possible regional travel bans

SALMON ARM 2021 Tactical Plan

MRDT staff engaged in a series of one-on-one consultation sessions with area accommodators with the goal of informing priorities for the 2021 Tactical Plan. The three priorities which consistently emerged from these discussions included:

1. In-community visitor information services.
2. Salmon Arm marketing for visitor attraction.
3. Event attraction.

Salmon Arm's Tourism Model

Salmon Arm relies on a unique model of tourism service delivery which is based on a collaborative approach. Since its implementation mid-way through 2017, the City's MRDT Program has been administered by Salmon Arm Economic Development Society under a defined governance structure.

The following principles guide the Salmon Arm MRDT governance process:

- Strong priority must be placed on the tourism industry leading decision making related to the MRDT Business Plan.
- A diverse tourism group, inclusive of both accommodators and broader tourism stakeholders is required, to ensure informed decision making.
- Small operators need to be assured representation.
- Community partners are an imperative part of the MRDT Business Plan and must inform decision making related to the MRDT Business Plan.
- Administrative costs must be kept to a minimum to ensure the majority of MRDT revenues are flowing directly into the identified initiatives.

The Salmon Arm MRDT governance model can perhaps be considered a hybrid between the formation of a new non-profit organization and operating under an existing organization, as the SAEDS Board has agreed to delegate decision making authority to an MRDT Committee. This governance model allows for industry leadership and decision making, while at the same time ensuring minimal administrative costs as it will be operating under an existing fiscally responsible and sustainable organization.

MRDT revenue collected by Salmon Arm accommodators is remitted to the Ministry of Finance, then transferred to the City of Salmon Arm, which in turn transfers the funds to the third party service provider, Salmon Arm Economic Development Society, for implementation of the Business Plan.

- **City of Salmon Arm** – Applicant and recipient of MRDT funds received from Province of BC. As detailed within the City of Salmon Arm and Salmon Arm Economic Development Society Third Party Service Agreement, on a monthly basis the City of Salmon Arm disburses 100% of MRDT funds received to the Salmon Arm Economic Development Society for implementation of the Business Plan.
- **Salmon Arm Economic Development Society** – Third Party Service Provider.
- **MRDT Committee** - Tourism industry stakeholders participating in a committee of the Salmon Arm Economic Development Society with the mandate to direct and oversee all aspects of the MRDT program, with the support of the Economic Development Manager staff position.

This model has been developed in a manner which ensures the MRDT program is led by the tourism industry, with established supports, communication and accountability measures to ensure its success. The MRDT Committee is led by the Salmon Arm Economic Development Society's Tourism Sector Director, acting as the Committee Chairperson. The Committee is supported/ resourced via the Salmon Arm Economic Development Society's Economic Development Manager. Further, the City of Salmon Arm has a non-voting membership on the MRDT Committee. Additional support and communication include six key partners participating as non-voting members on the MRDT Committee.

About Salmon Arm Economic Development Society (SAEDS)

The Salmon Arm Economic Development Society is a non-profit society registered with the BC Corporate Registry. It was established on August 27, 2002 and has a 17 person Board of Directors comprising 12 voting members representing the major sectors of the local economy, including: Tourism, Construction, Commercial, Manufacturing, Business Services, Health, Forestry, Agriculture, Education, Arts and Culture, and Technology, and five non-voting members representing City of Salmon Arm, Columbia Shuswap Regional District, Salmon Arm Chamber of Commerce, Adams Lake Indian Band (vacant), and Neskonlith Indian Band.

The mandate of the Society is:

1. Business Retention and Expansion
2. New Business Attraction and Development
3. Programs and Projects Designed to Enhance Resident Quality of Life, Economic Development and Prosperity in the Community.

MRDT Committee Membership

Voting membership consists of five members comprising:

- Three MRDT collection property representatives (Accommodators)
- A minimum of one of the three positions will represent a property with no more than 40 units (a smaller accommodator), as long as an expression of interest is received from a smaller accommodator
- Two broader tourism stakeholder representatives
 - No more than one representative from the same organization.

Non-voting members form part of the MRDT Committee for communication and partnership purposes. Non-voting members consist of one representative (designated by the organization) from each of the following:

- City of Salmon Arm
- Shuswap Tourism
- Shuswap Recreation Society
- Shuswap Trail Alliance
- Salmon Arm Visitor Centre
- Downtown Salmon Arm

SALMONARM 2021 Tactical Plan

Activities of the MRDT Committee are in accordance with the *Province of British Columbia's MRDT Program Requirements, City of Salmon Arm/SAEDS MRDT Agreement, the SAEDS Board Governance and Procedures Policies* and representative of the *Five-Year MRDT Business Plan and Annual Tactical Plan*.

MRDT Committee Members

Voting Members	
Jesse Ziercke (Acting Chairperson)	Prestige Harbourfront Resort
Carol Beaulieu	Viewpoint RV Park & Cottages
Jolene Lemarsh	Hilltop Inn
Tovah Shantz	Shuswap Pie Company
Sapphire Games	Salmon Arm Golf Course
Non-Voting Members	
Corryn Grayston	Salmon Arm Chamber of Commerce/Visitor Centre
Erin Jackson	City of Salmon Arm
Lindsay Wong	Downtown Salmon Arm
Darby Boyd	Shuswap Recreation Society
Jen Bellhouse	The Shuswap Trail Alliance
Kyle Dearing	Shuswap Tourism
Staff Contact	
Lana Fitt	Salmon Arm Economic Development Society EDO
Morgen Matheson	Salmon Arm Economic Development Society Marketing Coordinator
Leah Walker	Salmon Arm Economic Development Society Event Coordinator

Accountability & Control

The following guidelines and terms have been established to ensure MRDT funds are spent in accordance with the MRDT Provincial Program Guidelines and Salmon Arm's MRDT Business Plan:

- Salmon Arm Economic Development Society will maintain separate accounting records, tracking all MRDT transactions in accordance with Generally Accepted Accounting Principles.
- Salmon Arm Economic Development Society and the MRDT Committee will provide the City of Salmon Arm copies of annual financial statements within 90 days of the fiscal year end.
- Salmon Arm Economic Development Society and the MRDT Committee will provide the City of Salmon Arm with a copy of the Annual Tactical Plan for each ensuing calendar year.
- Salmon Arm Economic Development Society and its MRDT Committee will provide the City of Salmon Arm with its annual performance report, prior to April 30th of each year.

1.2 Vision, Mission, Goals, Objectives & Targets**Vision**

Salmon Arm and the broader Shuswap region will be recognized as an all-season destination of choice.

Mission

Salmon Arm's MRDT Program will increase visitation to the city and the broader Shuswap region. This will be achieved by:

- Providing/Supporting exceptional visitor services
- Expanding marketing - Telling our story/sharing our experience
- Developing/expanding industry partnerships
- Securing and hosting extraordinary events

Overall Goals, Objectives and Targets

There are four guiding principles which form the foundation of Salmon Arm's MRDT Business Plan:

1. Accommodator-led MRDT program with input and support from broader tourism stakeholders;
2. Support the implementation of specific local tourism initiatives which have been identified as gaps and high ROI opportunities;
3. Support and expand the work of multiple tourism stakeholder organizations across the broader Shuswap region;
4. Collaborative approach, ensuring a strong alignment with strategic plans of partner organizations.

SALMON ARM 2021 Tactical Plan

Primary Program Goal - Expand the tourism economy in Salmon Arm and the broader Shuswap Region, measured by increased accommodation occupancy rates.

Measurables

Identified as one of the four guiding principles of Salmon Arm's 2021 Tactical Plan is Return on Investment. We must ensure every dollar spent in the upcoming year will provide exceptional value back to Salmon Arm's tourism economy. Each of the initiatives detailed within this 2021 Tactical Plan (*Section 2*) includes a matrix detailing how success will be measured. These vary by initiative; however, the primary success measurements for Salmon Arm's MRDT program include the following:

- Increased room revenue
- Increased occupancy rates

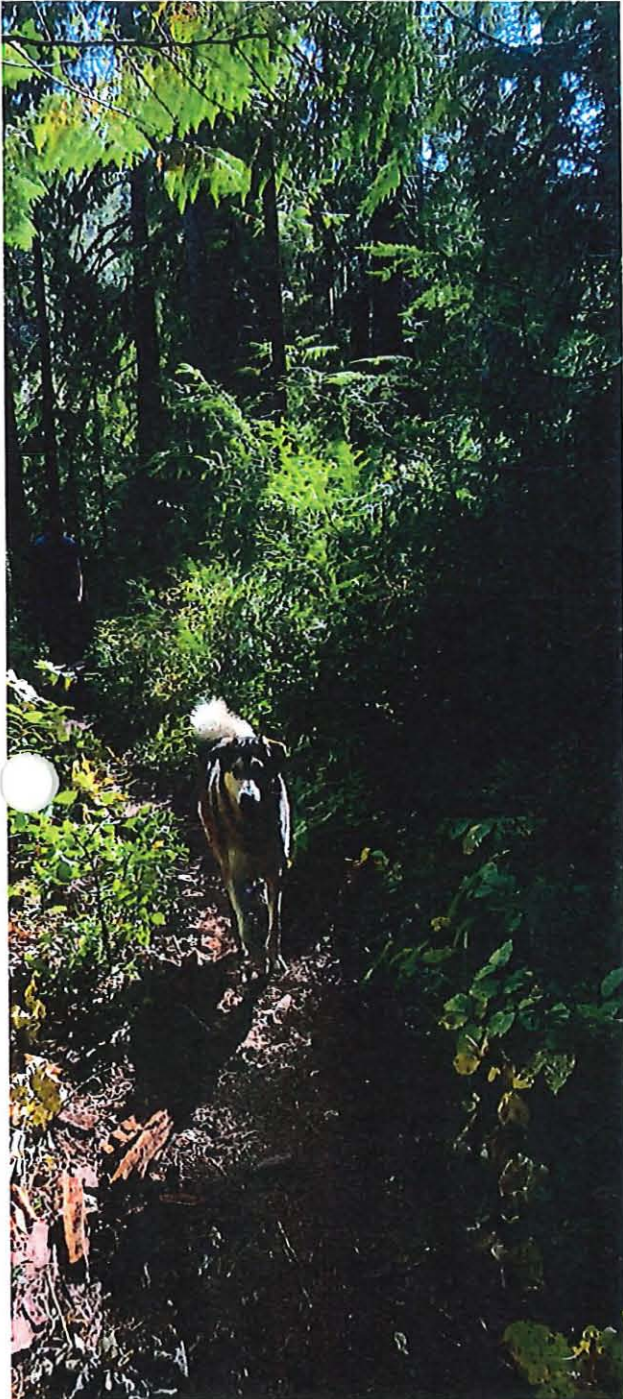


1.3 2020 Lessons Learned

Supporting tourism businesses through a pandemic, with no road map or best-practice examples to reference, proved challenging at best. It also provided an exceptional learning experience. Below is a brief summary of the highlights of 2020.

- Our community is resilient.
- When faced with a challenging situation, Salmon Arm's businesses, local government, and community organizations worked exceptionally well together.
- Salmon Arm businesses did a tremendous job of navigating ever-changing emergency regulations, always with the goal of keeping our community and visitors safe, even if it required undertaking actions that were to the detriment of their business or personal situations.
- Salmon Arm's MRDT revenue for the first six months of 2020 saw a decrease of 63% when compared to the same period in 2019.
- Although still not reaching 2019 levels, July and August saw significant recovery in occupancy rates. Based on accommodator input, we believe this holds true for September and October as well, decreasing slightly in the months of November and December. Although MRDT funding for these months had not been received at the time of preparing this plan, accommodator estimates point to a 20% decrease for the remainder of 2020.
- Recovery in July-October occupancy rates is solely the result of domestic travelers – arriving from within British Columbia and, to a lesser extent, Alberta.
- There is noted concern for the upcoming winter season due to an expected decrease in domestic travelers with winter onset and, further, the cancellation of all sports tourism events.
- Many accommodators and tourism businesses reported being understaffed in 2020, due to unpredictable markets and decreased revenue.
- 2020 saw a significant increase in walk-up bookings and a decrease in reservations.
- There was also a clear shift in visitor type, from business and tour participants to almost entirely leisure travelers (families & snowbirds).
- A significant increase in visitor information requests at check-in, coinciding with the change in planned bookings and traveler type, was also noted.
- There was an unprecedented increase of demand for the trails in Salmon Arm, and the surrounding Shuswap, due to the global pandemic.
- Of the 2020 visitors arriving in Salmon Arm, it appeared many did not originally plan to stop in this community. Further, most did not have an itinerary and were seeking support in trip planning. Finally, there was flexibility in their vacation plans allowing for "stay-another-day" opportunities in Salmon Arm, if they were supported in their trip planning.
- The City of Salmon Arm made the difficult decision to close the Visitor Centre in 2020.
- The City's geographic boundaries are broad and many of the preferred destinations for visitors are not readily visible.
- With 20,000 passing travelers daily, Salmon Arm lacks a consistent, recognizable, efficient visitor information system to draw passing travelers into the community and further, to support on-site trip planning and wayfinding once they have arrived. As a result, the city is missing the opportunity to expand visitor stay duration and visitor spending.

1.4 Target Markets



Geographic Market: Due to the on-going global pandemic and resulting travel disruptions, for 2021 we will be targeting a close to home market consisting of travellers from the lower mainland, BC's interior and Northern BC. A secondary market of Alberta is also a priority area. In alignment with Thompson Okanagan Tourism Association and Destination BC's target markets, the following Explorer Quotient Audience has been identified for the Shuswap Region:

Explorer Quotient Audience (Profiles identified by Canadian Tourism Commission)

Authentic Experiencers - Typically understated travellers looking for authentic, tangible engagement with destinations. With a particular interest in understanding the history of the places they visit, these experiencers have a higher than average education and an average household income and are more likely to be retired with an average of 53% over the age of 55. Experience appeal for these visitors includes exhibits, architecture, historic sites/buildings and museums. They may also be interested in nature, shopping, foodie opportunities, performing arts, and water-based outdoor activities (among others).

Free Spirits - Highly social and open-minded. Their enthusiasm for life extends to their outlook on travel. Experimental and adventurous, they indulge in high-end experiences that are shared with others. These higher-than-average income earners tend to be full-time workers if they are not still students. 80% of the Free Spirits are in the 18-54 demographic. These travellers are more likely than most to be interested in shopping, dining and other food related activities, entertainment and performing arts, water-based outdoor activities, festival, events and spectator sports, outdoor and nature experiences (among others).

Cultural Explorers - defined by their love of constant travel and continuous opportunities to embrace, discover and immerse themselves in the culture, people and settings of the places they visit. With a higher-than-average education and average household income, 43% of these travellers are between the ages of 35-54. Similar to Free Spirits, Cultural Explorers are likely to find many activities appealing to do on a long-haul vacation, including nature and outdoor experiences, sightseeing, water-based outdoor activities, and festivals, events and spectator sports (among others).

1.5 Strategies – Key Actions

Salmon Arm's 2021 Tactical Plan is based on the following foundational principals:

1. **Flexibility.** The plan will ensure the ability to pivot quickly in order to respond to this ever-changing situation.
2. **Support.** The plan will broadly support the needs of all tourism businesses.
3. **Communication.** The plan will ensure open communication with industry and partners. In such challenging times, Salmon Arm's MRDT Program is a conduit for information sharing and support for our tourism businesses. It is essential that we ensure strong lines of communication with our tourism businesses.
4. **Return-on-Investment.** The plan will ensure every dollar spent in 2021 will provide exceptional value back to Salmon Arm's tourism economy.

The 2021 MRDT Tactical Plan was prepared in such a way as to support quarterly planning to respond to expected fluctuations in the tourism economy as a result of the COVID-19 pandemic. Based on an assessment of needs, there are three main priorities for Salmon Arm's 2021 MRDT Tactical Plan:

1. Support In-community visitor information services.
2. Expand Salmon Arm marketing for visitor attraction.
3. Secure, support and host extraordinary events.

1.6 Summary of 2021 Tactics

Each of the initiatives related to these strategies are further detailed in *Section 2, 2021 Tactical Plan*.

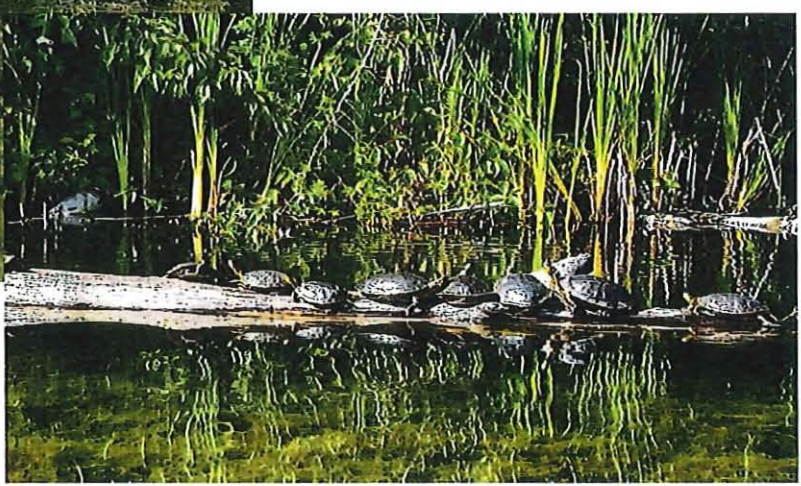
Research & Planning	
Data Collection & Distribution	Compile visitor statistics to support targeted marketing efforts.
Marketing	
Expand Visitor Information	Expand distribution of visitor information in strategic locations where visitors gather.
Expand Digital and Print Marketing Campaigns	Launch digital and print marketing campaigns including web page development, video development & distribution, blogs, travel itineraries.
Destination/Experience Development	
Event Support & Expansion	Provide support to existing community events to expand the number of attendees & number of event days. Expand the number of destination events occurring in Salmon Arm.
Shuswap Trail Planning and Marketing	Expand trail-based marketing and trail signage.
Visitor Services	
Visitor Services Support	Develop and launch a frontline ambassador series, support Salmon Arm visitor services support, install wayfinding signage and interactive kiosks.

1.7 Sources of Funding

SALMON ARM 2021 Tactical Plan

Figures included in the table below are estimates based on accommodator input (average room rates and occupancy rates) combined with 2020 actual revenue received. MRDT revenues will be incremental to existing tourism funding. On an annual basis, the City of Salmon Arm contributes funding towards the regional Shuswap Tourism function administered by the Columbia Shuswap Regional District. This existing contribution is funded by the City of Salmon Arm through tax requisition. All initiatives funded from MRDT revenue are new or expanded initiatives which, in the absence of MRDT revenue, do not have a funding source attached.

MRDT	\$164,000
MRDT for Online Accommodation Platforms	\$ 10,000
2020 MRDT Revenue Carry Forward	\$ 152,000
Total 2021 MRDT Program Budget	\$ 326,000
Local Government Contribution to Tourism Projects	\$ 45,368.
Destination BC Funding to Shuswap Tourism Projects	\$25,000
Total Revenue	\$396,368



SECTION 2: 2021 Tactical Plan

Project Plans

<p>Major Category Visitor Services</p>
<p>Activity Title Visitor Services Support</p>
<p>Tactics To mobilize and support visitor services programming and resources.</p>
<p>Partners City of Salmon Arm, Shuswap Tourism</p>
<p>Implementation Changes in visitor trends and visitor servicing in 2020 prompted visitor services support being identified as a key priority for 2021. Key considerations for the visitor services category include:</p> <ul style="list-style-type: none"> • Salmon Arm’s Visitor Information Centre has closed. Further, there are no visitor translation services available. • The City of Salmon Arm is currently developing a visitor services strategy which will inform the delivery model and specific tactics for 2021. This strategy will be complete in early 2021. This funding aims to provide support to the City of Salmon Arm to implement of this strategy in the upcoming year. • The City’s geographic boundaries are broad and many of the preferred destinations for visitors are not readily visible. • With 20,000 passing travelers daily, Salmon Arm lacks a consistent, recognizable, efficient visitor information system to draw passing travelers into the community and further, to support on-site trip planning and wayfinding once they have arrived. As a result, the city is missing the opportunity to expand visitor stay duration and visitor spending. • The pandemic has resulted in changes to visitor demographics and correlating trip planning process including: <ul style="list-style-type: none"> • 2020 visitors have been primarily comprised of leisure travellers, a shift from what was previously business travellers and planned tour participants • 2020 also saw a significant increase in walk-up bookings and a decrease in planned stays/reserved bookings • As a result of these changes, visitor information needs have increased. Specifically, in-community trip planning demand increased substantially. <p>Addressing visitor information gaps at the community level has been an identified challenge that the community has been working to solve over the last several years. However, the impacts of the pandemic and related shifts in traveler trends have accelerated this initiative to an immediate priority, in order to ensure the recovery and resiliency of the tourism sector.</p>

<p>This tactic includes the following initiatives for 2021:</p> <ul style="list-style-type: none"> • City of Salmon Arm Visitor Services Support Funding (to be determined by visitor strategy) Seed funding/flexibility is important. • Front line Tourism Ambassador Series (series of events to arm front line tourism staff with current, high-value information regarding experiences, events and activities and how they can be accessed during the pandemic. This would also include providing print and digital resources to our front line staff to support their visitor response. • Kiosk print collateral distribution at existing visitor kiosks to support visitor access to print materials (racking install and supply of high value, targeted visitor information resources). • Welcome & wayfinding signage. • Interactive visitor information kiosks. 	
<p>Timeline 2021</p>	
<p>Sources of funding MRDT Revenue</p>	
<p>Budget \$56,700</p>	
<p>Performance Measures</p> <ul style="list-style-type: none"> • Establishment and hosting of 2 virtual front line ambassador programs, creating strong awareness of how events, experiences and business can be accessed in 2021. • Support the City of Salmon Arm in the implementation of their Visitor Services Strategy. • Expanded visitor information available at strategic locations in the City of Salmon Arm to support trip planning. 	<p>Outcomes:</p> <ul style="list-style-type: none"> • Increase visitor awareness and participation in tourism experiences. • Extend the duration of visitor stays. • Increase room occupancy rates.

SALMONARM 2021 Tactical Plan

Major Category Research & Planning	
Activity Title Visitor Data Collection	
Tactics Data Collection, Trend Identification and Data Distribution	
Partners Shuswap Tourism, TOTA	
Implementation Secure an annual subscription to the TOTA Community Research Program in partnership with Shuswap Tourism. Both SAEDS/MRDT and Shuswap Tourism will be listed on the subscription so this data can be accessed and used by both organizations. There is a growing amount of data available through the TOTA Community Research Program concerning visitation to our region. This helps to identify the types of travelers that are visiting our region, where they are coming from, and what they are interested in experiencing and doing while they are here. This information can help define marketing efforts and also support business development and expansion, event creation, and various other opportunities.	
Timeline 2021	
Sources of Funding MRDT Revenue \$5,000 Shuswap Tourism \$5,000	
Budget \$10,000	
Performance Measures <ul style="list-style-type: none"> • Renew TOTA Community Research Program subscription for 2021 • Compile data and identify trends • Circulate quarterly reports to tourism stakeholders 	Outcome <ul style="list-style-type: none"> • Support for tourism business sustainability and tourism business growth through informed decision making

<p>Major Category Destination Experience Development</p>
<p>Activity Title Destination Event Expansion</p>
<p>Tactics</p> <ol style="list-style-type: none"> 1: Provide support to existing community events to expand the number of attendees and number of event days 2: Expand the number of destination events occurring in Salmon Arm
<p>Partners Shuswap Tourism and a variety of community NPO's</p>
<p>Implementation</p> <p>With an ongoing focus on the priority of attracting high return-on-investment events to our community in the shoulder and off-season, while also recognizing the shift in what COVID-19 events look like, the Event Coordinator will complete the following initiatives while leaving enough flexibility to capture new opportunities as they are presented.</p> <p>Virtual shift: with many key events moving towards a virtual format, we are seeing increased requests, and value, in providing targeted participant welcome packages.</p> <p>Advertising and sponsorship for virtual events: Again with the shift towards virtual platforms, there are expanded opportunities for sponsorship and showcasing our community to a captive audience. Sponsorship under a virtual format provides the opportunity to distribute community videos.</p> <p>Support Existing Events:</p> <ul style="list-style-type: none"> • Event planning and co-ordination support. • Financial support to assist with event hosting costs (grant funding with pre-determined criteria including: must be a new event addition or expanded marketing designed to support increased number of overnight attendees, based on minimum targets). • Marketing support. • Explore the development of self-guided, challenge based (passport) events/experience (On This Spot guided tours, nature tours, taste trail...) <p>New Event Development:</p> <ul style="list-style-type: none"> • Submitting community bids to host targeted events • Planning and coordinating new events • Financial support for new event hosting costs • Event marketing

Timeline 2021	
Sources of Funding MRDT Revenue \$30,000	
Total Budget \$30,000	
Performance Measures <ul style="list-style-type: none"> • Minimum of five existing community events supported/expanded • Attraction of at least two new anchor events 	Outcome <ul style="list-style-type: none"> • 5% event attendee increase for existing events supported • Increased room occupancy rates

<p>Major Category Destination Experience Development</p>
<p>Activity Title Shuswap Trail Planning and Marketing</p>
<p>Tactics Expand trail-based marketing campaigns and support planning for future high tourism potential trail development</p>
<p>Partners Shuswap Trail Alliance</p>
<p>The 2021 Shuswap Trail Planning and Marketing plan targets ongoing growth of trail-based marketing and development of "high tourism potential" trails through continued installation of trail signage, updated mapping, guide, and online visitor information, and ongoing planning for destination trails of relevance within the Salmon Arm Bay sub-region.</p> <p>In 2020 there was an unprecedented increase in demand for the trails in Salmon Arm and the surrounding Shuswap, due to the global pandemic. Hiking and/or biking on trails provided an acceptable, physically distanced, activity for residents and tourists alike – and was in fact encouraged by the Provincial Health Officer as a way to cope with the extraordinary stressors brought on by the pandemic and the restrictions that were put in place. Increased use, at a time when the Shuswap Trail Alliance had reduced capacity due to the same restrictions, has highlighted the need for increased signage on some of the trails and updates that are required to the Shuswap Trails website to provide a better experience for the trail user.</p> <p>Salmon Arm's success in expanding our tourism industry strongly depends on our ability to offer high-quality visitor experiences – tourism products and experiences that meet the needs and expectations of our visitors. Although there were a variety of important community assets identified during the 2016 MRDT Business Plan process, the regional trail system was one that emerged in almost every meeting with tourism stakeholders and presents significant opportunity associated with visitor attraction through expanded marketing and development.</p> <p>Three high-visitor attraction trail-based priorities emerged in the consultation process:</p> <ol style="list-style-type: none"> 1. Trail Marketing Campaigns – greenways signage and expanded mapping. 2. Trail Marketing Campaigns – expanded marketing for specific trail-based experiences. 3. Identification and planning for high tourism potential trail development. <p>The following trail based priorities will be completed in the 2021 season:</p> <ol style="list-style-type: none"> 1. Greenway Signage and Expanded Mapping: <ul style="list-style-type: none"> • 20 new trail signs on high traffic tourism trails installed (within the Salmon Arm and surrounding destination greenway trail system, including the new Cemetery Mountain Bike Loop and Rubberhead Trails.) • 30 enhanced hike/bike icon plates added to existing trailhead signs. • Update the City of Salmon Arm mapping database and website links to the Shuswap Trails master geo-referenced web-based guide maps showing all new trail additions. • Update embedded Shuswap Trail content on Google Earth mapping data base.

<p>2. Expanded Marketing for Specific Trail-Based Experiences:</p> <ul style="list-style-type: none"> • Update Shuswap Trail Website content. • Update Trail Forks App. • Update Mountain Biking BC website content and links. • Update Shuswap Trail guide content on Shuswap Tourism, Salmon Arm, Thompson Okanagan Tourism Association, and Destination BC hosted websites. • Assess and target 3 new online trail apps for Shuswap Trail guide content suitability for hiking, equestrian, and winter Nordic (to complement Trail Forks mountain bike reach). • Maintain Shuswap Trail social media posts and push through Shuswap Tourism network. 	
<p>Timeline 2021</p>	
<p>Sources of Funding MRDT Revenue \$11,300 Shuswap Trail Alliance Funding \$17,000</p>	
<p>Budget \$28,300</p>	
<p>Performance Measures</p> <ul style="list-style-type: none"> • New trail signs and icons installed • Updated mapping database • Updated embedded trail content on Google Earth • Updated Trail Guide content • Updated website and trail app content 	<p>Outcome Expanded visitor awareness of trail experiences in Salmon Arm and the Shuswap region</p> <ul style="list-style-type: none"> • Expanded visitor access to trail maps, guides, and online information • Expanded trail-based visitor experiences • Expanded trail-based tourism visitations

<p>Major Category Marketing</p>
<p>Activity Title Expanded Visitor Information</p>
<p>Tactics To create (or expand distribution of) print collateral and digital marketing for visitor attraction</p>
<p>Partners Shuswap Tourism</p>
<p>Implementation Growing Salmon Arm and the Shuswap region into a four-season destination requires the development and use of high-quality promotional materials in strategic ways to share and promote visitor experiences that highlight key local assets and experiences. Throughout 2021, following DBC marketing guidelines, various marketing tactics will be undertaken focused on a close-to-home audience. A summary of marketing tactics is included below.</p> <ul style="list-style-type: none"> • Video Marketing: Video is continuing to grow in popularity and importance, which means it's vital to stay on top of the latest advances and create these assets to ensure we have a variety of content that appeals to different sectors of the tourism industry. Topics to Highlight: <ul style="list-style-type: none"> • Event Hosting Opportunities • Salmon Arm Winter Wonderland/Holiday Town • Spring Highlights • Salmon Arm in the Fall & Farm-to-Table (Harvest) • Writing Assets: writing assets that provide original content help drive traffic to desired locations and establish the owner as an authority on the subject. We will focus on developing well-placed content to entice travelers, encourage them to extend their duration of stay and enjoy more experiences during their visit. Examples of development and distribution of written assets will include: <ul style="list-style-type: none"> • Blog Posts • Press Release/Stories • Itinerary Creation • Digital Campaigns: New winter, spring and fall digital marketing campaigns will be developed using new and existing assets, strategically on various online platforms to promote the region as a four season destination. <p>A national-level digital-based contest will be developed around winning a winter getaway package to Salmon Arm and the Shuswap. This will include an itinerary that focuses on experiencing the region's best assets and involve the winner(s) participating in media coverage to help further promote the region through the sharing of their experiences and the associated development of marketing collateral.</p>

<ul style="list-style-type: none"> • Print Collateral: Various print materials will be updated and distributed including rack cards, itineraries, and vacation planners. • Marketing Support for Industry - Workshops & Webinars: Organizing and hosting industry workshops to support collaboration and expanded exposure of local assets and experiences. Topics will include: <ul style="list-style-type: none"> • TripAdvisor • Shopify/Ecommerce • Google • Specific Marketing and Business Subjects 	
Timeline On-going initiative	
Sources of Funding MRDT Revenue \$83,000	
Budget \$83,000	
Performance Measures <ul style="list-style-type: none"> • Develop/update video, print, digital collateral. • Identify top digital platforms based on EQ and other visitor metrics and distribute marketing collateral. • Design and launch national-level Salmon Arm and Shuswap vacation package contest. • Welcome packages for event attendees 	Outcomes <ul style="list-style-type: none"> • Expanded visitor awareness of four season product and experience availability in Salmon Arm and the Shuswap region. • Increased room occupancy rates

SECTION 3: 2021 MRDT Budget

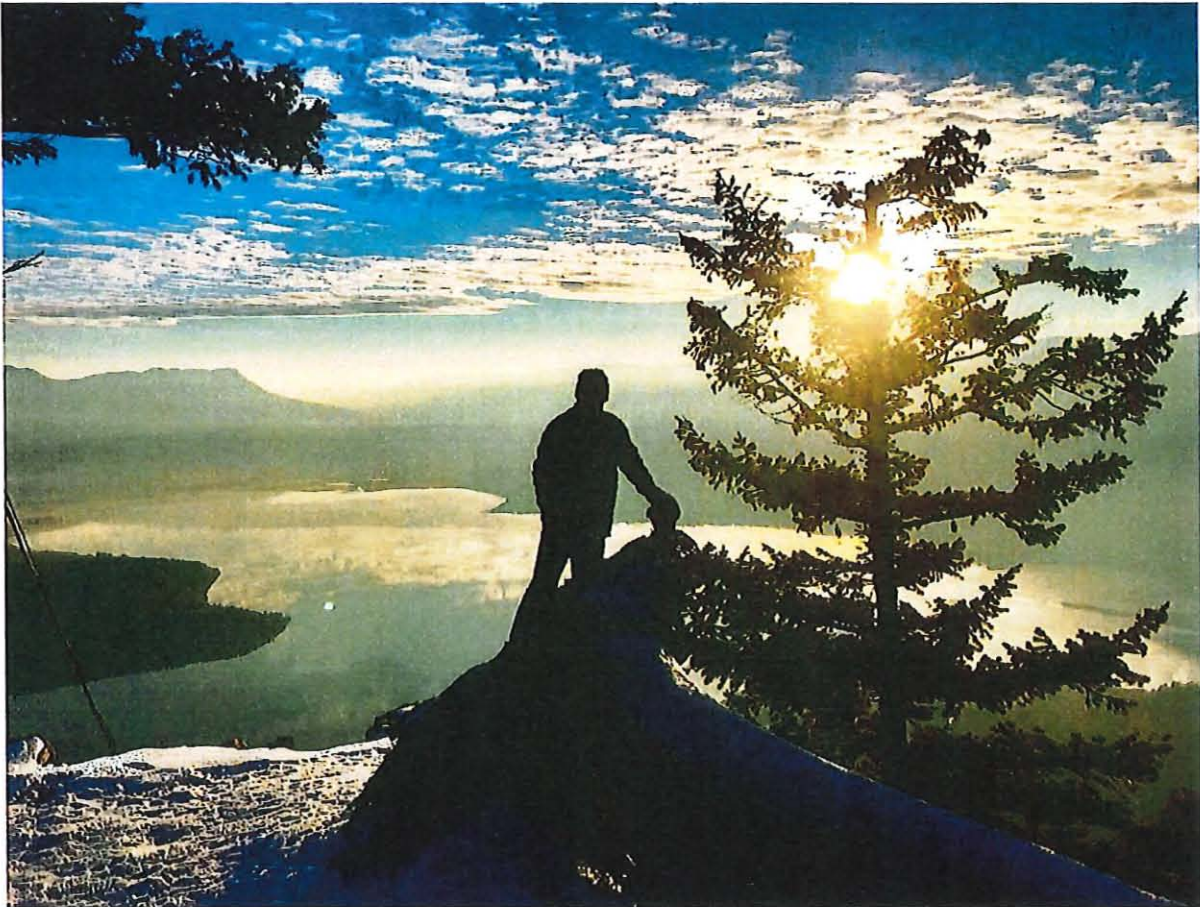
Revenue	
MRDT	164,000
MRDT for Online Accommodation Platforms	10,000
Local Government Project Funding	45,368
Grants Provincial	
Co-op funds	25,000
Total Revenue	\$244,368
Expenses	
Marketing	
Marketing staff – wage and benefits	32,000
Media advertising and production	83,000
Shuswap Tourism Marketing Projects	58,728
<i>Subtotal</i>	\$173,728
Destination & Product Experience Management	
Destination & Product Experience Management Staff – wage and benefits	27,000
Product experience enhancement	41,300
<i>Subtotal</i>	\$68,300
Visitor Services	
Visitor services activities	56,700
<i>Subtotal</i>	\$56,700
Research & Planning	
Research & Planning Activities	5,000
Shuswap Tourism Research & Planning Projects	11,640
<i>Subtotal</i>	\$16,640
Administration	
Management and staff unrelated to program implementation – wages and benefits	35,000
Finance staff – wages and benefits	2,400
Human Resources staff – wages and benefits	
Board of Directors costs	
Information technology costs – workstation-related costs (i.e. computers, telephone, support, networks)	
Office lease/rent	6,000
General office expenses	
<i>Subtotal</i>	\$43,400
Total Expenses:	\$358,768
Surplus (Deficit) of revenues over expenditures for the year	- \$114,400
Carry Forward (Net Assets) Information	
Beginning of year	\$152,000
Restricted	\$37,600
Unrestricted	\$114,400
Total	\$152,000

Projected Spend by Market (*broad estimate*)

Geographic Market	Total Marketing Budget by Market	% of Total \$ by Market		% of Total \$ for (Jan-Mar) season	% of Total \$ for (Apr - June) season	% of Total \$ for (July - Sept) season	% of Total \$ for (Oct-Dec) season	% total
BC	130,296	75%		15	35	15	35	100%
Alberta	43,432	25%		15	35	15	35	100%
Ontario								
Other Canada <i>(please specify)</i>								
Washington State								
California								
Other USA <i>(please specify)</i>								
Mexico								
China								
UK								
Germany								
Australia								
Japan								
Other International <i>(Please specify)</i>								
Total	\$173,728	100%						

Section 4: Conclusion

The 2021 MRDT Tactical Plan was developed based on an immediate focus on the resiliency and recovery of our tourism economy. This plan is meant to provide a flexible solution to what is expected to be another year of numerous travel disruptions. The preparation of this plan included one-on-one input from area accommodators to identify their immediate priorities for the upcoming year. Both the broader Five-Year Plan and the 2021 Tactical Plan align with goals and objectives within the Shuswap Tourism Development Plan, Thompson Okanagan Tourism Association Strategy and Destination BC Strategy.



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Item 18.1

CITY OF SALMON ARM

Date: December 14, 2020

COVID-19 Safe Restart Grant - For Discussion

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

Date: November 16, 2020
To: Mayor Harrison and Members of Council
From: Chelsea Van de Cappelle, Chief Financial Officer
Subject: COVID-19 Safe Restart Grant

FOR INFORMATION

Further to the letter from the Deputy Minister of the Ministry of Municipal Affairs and Housing received by Council at the Regular Council meeting of November 9, 2020 in regards to the City's receipt of a COVID-19 Safe Restart Grant (Appendix A), please find below further information on the grant and process.

The City was fortunate to receive \$3,598,000 in grant funding. As outlined in the letter, the funding is to assist local governments with increased operating costs and reduced revenues as a result of COVID-19. The letter outlines several eligible cost categories that the City may have as related to the pandemic. As confirmed with the Ministry of Municipal Affairs, eligible costs were left quite broad to provide latitude for local governments to address priorities that are being experienced locally. Further, the funding is applicable retroactively (costs or lost revenues experienced in 2020) as well as for ongoing and future costs. As such, there is no deadline to expend the funds.

As Council is aware, several strategies were actioned to minimize costs and lessen the impact of reduced revenues including a transfer from the 'Emergency' reserve of \$470,460 to reduce the 2020 tax rate increase for all classes to nil (Appendix B). At this time it is difficult to quantify the end result that the pandemic has had on the City's financial position and whether additional funding from the grant would be required.

Staff will have a better understanding of funding shortfalls and potential uses of the grant during the year-end process and final budget amendment for 2020 that would be brought forward in the Spring of 2021. However, at this time Staff can report the following:

Please note these figures are not final (Year-end adjustments and reconciliations have not been completed) and represent only a moment in time. The amounts have not been finalized and are being provided as general information for Council.

- Transfer from Emergency Reserve - \$470,460;
- COVID Leave – wages for staff when off for COVID testing etc. – approx. \$91,000;
- COVID Emergency Grants for Non-Profits – approx. \$8,000 of \$20,000 allotted;
- Metered Utility Penalties Waived – approx. \$4,500;

- Reduced Lessee Revenues:
 - Sea Dog Rentals – approx. \$20,000;
 - Rosa’s Taco Stand - approx. \$470; and
 - Airport – North Okanagan Vertical Adventures - approx. \$3,800
- Reduced revenues as follows:
 - Parking Fees – approx. \$51,000 vs. budget \$89,000 (\$38,000 deficit);
 - Burning Permits – approx. \$4,000 vs. budget \$12,000 (\$8,000 deficit);
 - Traffic Fines - approx. \$500 vs. budget \$15,000 (\$14,500 deficit); and
 - Transit Revenues – approx. \$90,000 vs. budget \$162,000 (\$72,000 deficit);
- Shaw Centre – Operating Deficits – approx. \$477,000 vs. budget \$675,000;
- Community Centre – Operating Deficits approx. \$462,000 vs. budget \$679,000. Both the Shaw Centre and Community Centre are managed by the Shuswap Recreation Society and the City funds the net operating deficits. For a detailed explanation of reduced revenues and increased costs associated with the facilities related to COVID-19, it is recommended that they be brought forward by the Society.
- As a result of the hiring freeze and part/relief staff layoff, it is anticipated that the operating and maintenance accounts will see a reduction in costs as a result of reduced staff available to complete the work;
- Many conferences and training workshops throughout the budget were cancelled or virtual in 2020, as a result it is anticipated to see savings in these areas. An estimation is not available.
- Roots and Blues, Salmon Arm Children’s Festival and Canada Day Celebrations did not occur, resulting in savings of approximately \$78,000.

As a result of the numerous accounts impacted and the uncertainty surrounding funding shortfalls, it is recommended that at least \$1 million of the grant funding remain in place until the completion of the 2020 year-end.

In regards to future expenditures (i.e. those impacting the 2021 Budget), it is recommended that they be discussed at the 2021 budget deliberations, similar to the format Council has taken with Community Works Grant funding. It is expected that staff will have some recommendations and it would likely prove the best use of discussion to review both Councils suggestions alongside those of staff.

Respectfully Submitted,



Chelsea Van de Cappelle, CPA



November 2, 2020

Ref: 257671

Carl Bannister
Chief Administrative Officer
City of Salmon Arm
Box 40
Salmon Arm BC V1E 4N2

Dear Carl Bannister:

The provincial government understands the fiscal impacts that COVID-19 has placed on local service providers. To help address these challenges, in September the Province of British Columbia announced nearly \$2 billion in joint federal/provincial spending, including: \$540 million for local governments, \$418 million for community infrastructure, and \$1 billion for transit, TransLink and ferries.

The \$540 million for local governments was further divided into three funding streams. Two of the streams ("Development Services" for \$15 million and "Strengthening Communities" for \$100 million) will be application-based funding. More information on these funding streams will be forthcoming.

The third stream will provide direct grants to local governments. This funding stream is called the "COVID-19 Safe Restart Grants for Local Governments" and will provide up to \$425 million for local operations impacted by COVID-19. This funding will support local governments as they deal with increased operating costs and lower revenue due to COVID-19. It will also ensure local governments can continue to deliver the services people depend on in their communities. Eligible costs will include:

- addressing revenues shortfalls;
- facility reopening and operating costs;
- emergency planning and response costs;
- bylaw enforcement and protective services like fire protection and police;
- computer and other electronic technology costs (to improve interconnectivity and virtual communications);
- services for vulnerable persons (e.g. persons living with disabilities, mental illness or addictions, persons experiencing homelessness or other vulnerabilities); and
- other related costs.

I am pleased to advise you that Salmon Arm is the recipient of a \$3,598,000 grant under the COVID-19 Safe Restart Grant for Local Governments. This amount will be directly transferred to your local government in the coming days.

.../2

Carl Bannister
Page 2

Under section 36 of the Local Government Grants Regulation, the amount of the grant to each local government is set by Minister of Municipal Affairs and Housing. The determination of this amount was based on a formula that applies to all municipalities.

This formula is based on two components: a flat funding amount and an "adjusted per-capita" amount. The flat amount is \$169,000, and the "adjusted per-capita" amount is \$308.34 per adjusted population.

The adjusted population formula is designed to ensure that larger municipalities receive more money than smaller ones, but that smaller municipalities receive higher per capita funding than larger ones. This is because small municipalities often lack a diverse tax base and the economies-of-scale to easily restart their operations.

An example of the funding formula (for a municipality of 43,000 people) is provided as an attachment to this letter. If you wish, you can apply this formula to your 2018 population of 19,299 to determine both your adjusted population and total funding amount. 2018 population data was used because it is the last year in which we have complete financial and demographic data for each municipality.

To ensure full transparency regarding the use of funds, your local government will be required to annually report on how it spent this grant. This will be part of your annual financial reporting under section 167 of the Community Charter. Your local government will provide a schedule to the audited financial statements respecting the amount of funding received, the use of those funds, and the year-end balance of unused funds. Your local government must continue to annually report on the use of grant money until the funds are fully drawn down.

If you have questions or comments regarding this letter, please feel free to contact Jennifer Richardson, Grants Analyst, Local Government Infrastructure and Finance Branch, by email at: Jennifer.Richardson@gov.bc.ca, or by phone at: 778 698-3243.

The provincial government welcomes this opportunity to support COVID-19 restart and recovery throughout British Columbia. We believe that this funding will contribute to the long-term recovery of local governments who are both critical service providers and crucial drivers in the British Columbia economy.

Sincerely,



Kaye Krishna
Deputy Minister

Attachment

pc: Jennifer Richardson, Grants Analyst, Local Government Infrastructure and Finance Branch
Tracy Tulak, Chief Financial Officer, City of Salmon Arm

Attachment: Example Calculation for a Municipality with 43,000 People

City of Rockridge						
Population		43,000				
Adjusted Per Capita Funding		\$308.34 per adjusted population				
Flat Funding Amount		\$169,000				
Funding model						
A		B		E = C (up to 43,000)		
Population Range		C=B-A	D	Rockridge Pop	F = E x D	F
From	to	Range	Adjustment Ratio		Adjusted Pop Calc	Adjusted Pop
-	2,000	2,000	1	2,000	= 2,000 x 1	2,000
2,001	5,000	3,000	0.8	3,000	= 3,000 x 0.8	2,400
5,001	10,000	5,000	0.6	5,000	= 5,000 x 0.6	3,000
10,001	20,000	10,000	0.4	10,000	= 10,000 x 0.4	4,000
20,001	40,000	20,000	0.2	20,000	= 20,000 x 0.2	4,000
40,001	150,000	110,000	0.1	3,000	= 3,000 x 0.1	300
150,001	900,000	750,000	0.05	-	= 0 x 0.05	-
Sum				43,000		15,700 G=ΣF
					Per capita funding	\$308.34 H
					Funding per Adjusted Pop	4,840,938 I=GxH
					Flat Funding Amount	169,000 J
					Total Funding Amount	5,009,938 K=I+J

Thus, a municipality with a population of 43,000 would have an adjusted population of 15,698. With per capita funding of \$308.34, the funding per adjusted population would \$4.84 million. Plus a flat funding amount of \$169,000, the total funding to this municipality would be \$5.009M.

The Population data was taken from the Ministry's Local Government Stats System for 2018 (Schedule 201).
<https://www2.gov.bc.ca/gov/content/governments/local-governments/facts-framework/statistics/statistics>

CITY OF SALMON ARM

To: Mayor Harrison and Members of Council
 Date: May 7, 2020
 Subject: 2020 Budget Analysis - COVID-19

FOR DISCUSSION

Further to Council's request, please find summarized below information relative to Revenues and Expenses for 2020 in relation to the current COVID-19 pandemic.

Any surplus funds recognized as a result of projects postponed or cancelled will be set aside or 'parked' and will not be reallocated to any other projects. These surplus funds may be used to support the City's cash reserves, in anticipation of late collections of current year property taxes. All of the expenses listed below have been included in the 2020 budget and the actions contemplated in this memo will have no impact on the taxes payable or collected for the current year.

Steps Already Taken

The following steps have all been recommended by staff and approved by Council:

- Hiring freeze - Savings approximately \$238,000;
- Part Time & Relief Staff Layoff - Savings approximately \$33,000 per month;
- 0% Property Tax Increase across all classes - Funded from 'Emergency' Reserve Account \$470,460; and
- Metered Utility Penalty Waived for first two bills of 2020 - Loss of revenue approximately \$4,500.

Possible Future Steps

Expenses

The following expenses have been reviewed as potential items that may be 'parked' or removed, should there be a significant decrease in revenue collection that impacts the 2020 budget.

The following capital and major maintenance projects could be 'parked', resulting in funds still being available to complete the project(s) in the near future:

16 Avenue SE (1600 Blk) Replacement	\$ 30,000.00
Bump Out (5 Ave SE - 2 Ave SE)	40,000.00
10 St NE (8 Ave NE)	75,000.00
Okanagan Speed Calming	20,000.00
Asphaltic Overlays - Additional	200,000.00
Marine Park - Round-A-Bout Garden	25,000.00
Disk Golf Course	20,000.00
Beverage Recycling Canisters	5,000.00
Shuswap Middle School - Court Resurfacing	10,700.00
Natural Gas Services - Rap Attack Base	3,000.00
Ticket Spitter (Marine Park)	20,000.00
Total	\$ 448,700.00

The following events may/will not take place, arguably resulting in funding not being required:

Roots and Blues	\$ 52,900.00
Salmon Arm Children's Festival – Canada Day	8,200.00
Canada Day Celebrations	17,000.00
Total	\$ 78,100.00

Please be advised that both the Roots and Blues Festival and the Salmon Arm Children's Canada Day Festival have been cancelled by the organizer. The Canada Day Celebrations are organized by the City and moving forward with the event is yet to be determined

The following transfers to reserves could be removed/deferred or reallocated back to the 'Emergency' Reserve Account:

Civic Building – Carpet Replace/Re-Painting	\$ 30,000.00
Senior Centre – Drop In – Structural Eng.	15,000.00
Active Transportation	20,000.00
Food & Urban Agricultural Plan	5,000.00
20 Ave/20 St Intersection Realignment	59,630.00
Gateway Signage	10,000.00
Shuswap Memorial Cemetery – Development	10,000.00
Parks Preplan	25,000.00
McGuire Park – Japanese Garden	5,000.00
Blackburn Park – Upgrade Ball Diamonds	50,000.00
Total	\$ 229,630.00

The total amount of expenses listed above amount to \$756,430.00, not including the steps already taken to reduce expenses.

Contracts

The following operating and maintenance contracts could be reviewed, removed, or deferred; however, there are contractual obligations to consider.

	Budget	Paid to Date	Remaining
Shuswap Trail Alliance	\$ 44,000.00	\$ 11,000.00	\$ 33,000.00
Economic Development Society	340,000.00	170,000.00	170,000.00
Chamber of Commerce – Tourism	137,140.00	68,570.00	68,570.00
Senior Resource Centre	22,550.00	11,266.50	11,283.50
Haney Heritage Park	115,000.00	57,500.00	57,500.00
Salmon Arm Art Gallery	42,500.00	0.00	42,500.00
Total	\$ 701,190.00	\$ 318,336.50	\$ 382,853.50

Revenue

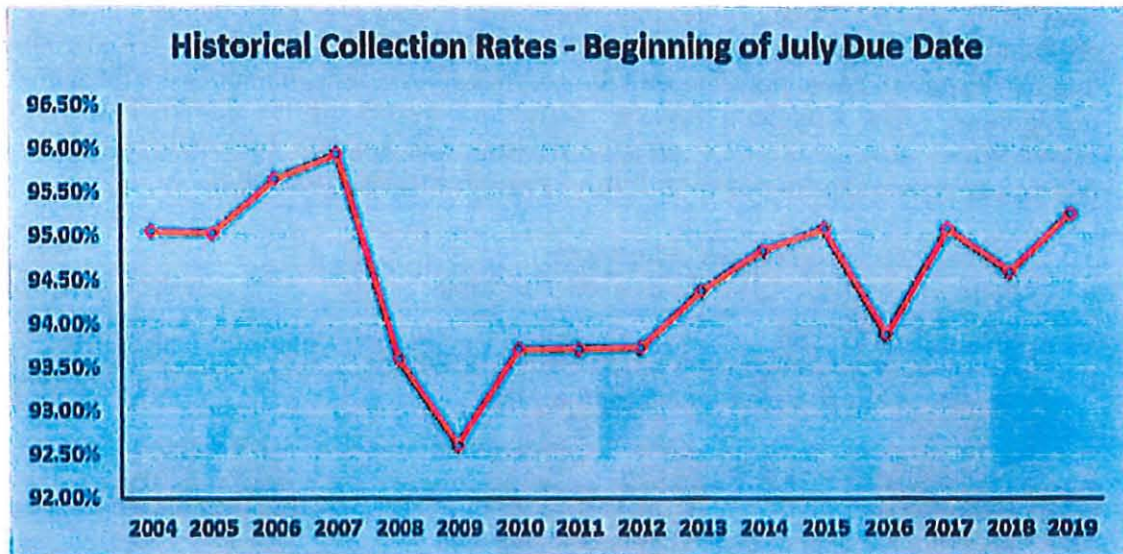
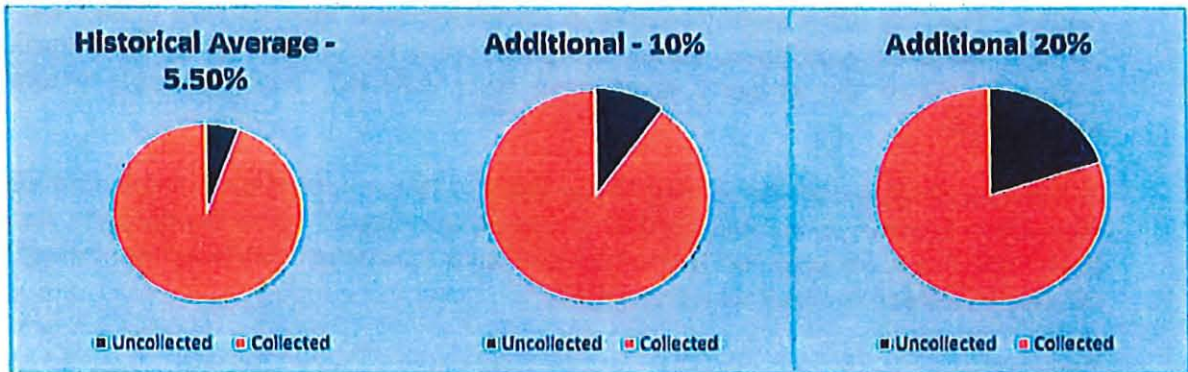
The City may see a decrease in revenue for items such as parking fees, burning permits, dog licenses, traffic fines, rental/lease fees, etc. A 15% decrease in these revenues would amount to approximately \$63,500.00.

Property Tax Collections

The historical average of Property Taxes Collected is 94.5%, based on the last sixteen (16) years. Based on the 2020 Municipal Property Taxation Levy (\$18,614,220.00), the following shows the possible impact to revenues, if property tax collections were delayed:

Additional 10% Uncollected Due to COVID-19	\$ 1,861,422.00
Additional 20% Uncollected Due to COVID-19	\$ 3,722,844.00

Based on Beginning of July Due Date



Outcomes from Hiring Freeze

There will be many cost savings as a result of the City implementing a hiring freeze for 2020. Staff are focused on essential operating and maintenance required for our parks, roads, and water and sewer functions. There will be less mowing and weed whacking in the parks, resulting in savings in our regular operating and maintenance budgets. A minimum approach was taken when planting flower beds and planters in the City, to reduce the staffing hours required to pull weeds and water planters that are not irrigated. Utilities will maintain their focus on essential repairs and maintenance and emergencies as they arise. Some capital projects or other projects that may not be essential (weed control, ditch maintenance, brushing, etc.) would see a decrease as a result of reduced staffing.

Cash Flow

The Province has provided grace to municipalities by extending the School Tax remittance date to December 31, 2020. In 2019, the two (2) School Tax Payments due in July totaled \$2,914,972.41. Deferring these payments will allow the City to use the tax revenue collected to pay other government agencies on July 31, in the amount of \$2,819,175.00.

The Province has also allowed municipalities to borrow from reserve funds to address revenue shortfalls. Any money borrowed must be repaid within five years of borrowing. Over the past many years, the City (staff and elected officials) have worked extremely hard to develop reserve accounts to help fund future projects as recommended by staff and council. The City has a healthy balance in reserve accounts that can help to float the City through these extreme times, should property tax collections be lower than normally expected. Once the property taxes have been collected, these accounts would be replenished.


A Revenue Anticipation Borrowing Bylaw has also been adopted by Council, that allows the City to borrow up to \$1,000,000.00 to cover expenditures up to the property tax due date. Staff do not envision that this will be necessary. However, temporary borrowing from the City's Reserve Account may be required.

Summary

In summary, if the Property Tax Collections were reduced by an additional 10% due to the current COVID-19 pandemic, the City would have a reduction in municipal tax revenue of \$1,861,422.00. The expenses detailed above that could be 'parked' for the current year total \$756,430.00. These projects could be 'unparked' once the property tax collections were recognized. The City also has the ability to borrow up to \$1,000,000.00 to cover expenditures as a result of the adopted Revenue Anticipation Borrowing Bylaw. This report assumes no requirement for further phased workforce reduction.

Possible Revenue Shortfall/Increase:	
Reduced Property Tax Collection (95% to 85%)	\$(1,860,000.00)
Fees/Rent/Permits	(63,500.00)
Revenue Anticipation Borrowing/Reserve Accounts	<u>1,000,000.00</u>
Total Possible Revenue (Shortfall)/Increase	(923,500.00)
Possible Expense Savings:	
Hiring Freeze	238,000.00
Part Time & Relief Layoff (based on 3 Months)	99,000.00
'Parked' Projects	<u>756,430.00</u>
Total Possible Expenses Savings	1,093,430.00
Surplus / (Deficit)	\$ 169,930.00

Respectfully Submitted,



Tracy Tulak, CPA, CMA
Acting Chief Financial Officer

Item 19.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: _____ be appointed to the Okanagan Regional Library Board as the Salmon Arm City Council representative until December 2021.

Vote Record

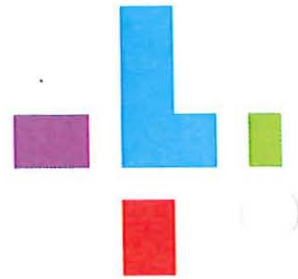
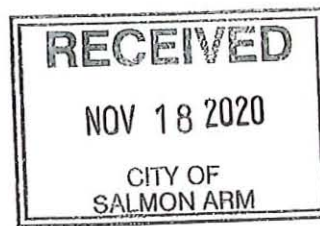
- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

November 12, 2020

Mayor
City of Salmon Arm
Box 40
500 – 2nd Avenue NE
Salmon Arm, BC V1E 4N2



Re Annual Appointment - Okanagan Regional Library Board

Annual appointments to the Library Board are made according to the *BC Library Act*. There are four regular meetings required of the Board in each year and such other meetings as the Board may decide. Regular meetings are generally held on the third Wednesday in February, May, September and November, except in years when municipal elections are held. In election years, there is a meeting in October and no meeting in November. Meetings typically start at 9:30 AM and may constitute a full day. They are held at Library headquarters at 1430 K.L.O. Road, Kelowna. During the pandemic, meetings are held virtually. Pursuant to Board Policy, Board members' expenses for travel, meals and hotel only are paid by the Library. The 2021 Meeting Schedule will be approved at the November 18, 2020 Board Meeting and then uploaded to our website www.orl.bc.ca

Please complete and return:

- Letter of Appointment form: Name the Library Trustee and the Alternate you wish to appoint;
- Library Trustee and Alternate Trustee Contact Information forms: Have both the representative and the alternate complete one each.

The forms can be returned by fax 250-861-8696 or e-mail lsamson@orl.bc.ca. If you have any questions, please reach out.

Thank you for your continuing support of the Okanagan Regional Library.

Sincerely,

Leah Samson
Administrative Services Manager
Okanagan Regional Library

Attached:

Letter of Appointment Form

Trustee Contact Information Form

How the library board is appointed

- 16** (1) The library board is to consist of a representative of each municipality and regional district that is a party to the agreement to establish the regional library district.
- (2) A municipal council must, by resolution,
- (a) appoint one of its members to be a member of the library board, and
 - (b) appoint another of its members as an alternate member to serve on the library board if the member appointed under paragraph (a) is absent or unable to act.
- (3) If there is more than one electoral participating area in the regional library district, the regional district board must, by resolution,
- (a) appoint from among the directors of the electoral participating areas a member of the library board, and
 - (b) appoint another of the directors of the electoral participating areas as an alternate member to serve on the library board if the member appointed under paragraph (a) is absent or unable to act.
- (4) If there is only one electoral participating area in a region library district,
- (a) the director of the electoral participating area is a member of the library board, and
 - (b) the alternate director of the electoral participating area is the alternate member on the library board if the director of the electoral participating area is absent or unable to act.

When members are appointed

- 17** (2) All subsequent regular appointments must be made each December at the first meeting of the municipal council or regional district board.
- (4) If an appointment is not made at the time specified in this section, the appointment must be made as soon as convenient.

Term of Office

- 18** (1) A member of the library board holds office for a term of one year, or for the remainder of the year for which the appointment is made.
- (2) A member is eligible for reappointment, but no member may serve for more than 8 consecutive years.”
- (3) The term of office of a member continues until a successor is appointed unless the member is removed for cause.



LETTER OF LIBRARY BOARD APPOINTMENT
Municipality

This is to confirm that:

_____ has been appointed to the Okanagan Regional Library Board for 2021 to represent the Municipality of:

_____ And further, that:

_____ has been named as Alternate to the Library Board.

By Resolution dated: _____

Mayor



Trustee Contact Information

Name of Municipality or Regional District: _____

Name of Elected Board Trustee for 2021: _____

This appointment will continue until a successor is appointed as provided under Section 18(3) of the Library Act unless the member is removed for cause as provided under Section 18(4) of the Library Act.

Trustee Civic Address: _____

City, Postal Code: _____

1. Agenda / Meeting Materials Distribution

Please indicate how you wish to receive copies of your Board and/or Committee Agenda

Electronic Agenda _____ Electronic AND Paper Agenda at the meeting _____

2. Email Address

Please provide an email address which will be used to provide you with basic information, agenda notification, meeting changes etc.

Primary: _____

Other: _____

3. Phone / Fax

Primary: _____

Work: _____

Other: _____

Fax: _____

4. Birthdate

This is required by Canada Revenue Agency regarding the ORL's charitable return

Month: _____ Day: _____ Year: _____

5. Catering: do you have any dietary concerns? _____

6. Any other information: _____

Signature: _____

Date: _____



Alternate Trustee Contact Information

Name of Municipality or Regional District: _____

Name of Elected Alternate Trustee for 2021: _____

This appointment will continue until a successor is appointed as provided under Section 18(3) of the Library Act unless the member is removed for cause as provided under Section 18(4) of the Library Act.

Alternate's Civic Address: _____

City, Postal Code: _____

1. Agenda / Meeting Materials Distribution

Please indicate how you wish to receive copies of your Board and/or Committee Agenda

Electronic Agenda _____ Electronic AND Paper Agenda at the meeting _____

2. Email Address

Please provide an email address which will be used to provide you with basic information, agenda notification, meeting changes etc.

Primary: _____

Other: _____

3. Phone / Fax

Primary: _____

Work: _____

Other: _____

Fax: _____

4. Birthdate

This is required by Canada Revenue Agency regarding the ORL's charitable return

Month: _____ Day: _____ Year: _____

5. Catering: do you have any dietary concerns? _____

6. Any other information: _____

Signature: _____

Date: _____

Item 22.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: Development Variance Permit No. VP-522 be authorized for issuance for Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 43148 which will vary the provisions of Zoning Bylaw No. 2303 as follows:

- 1) Section 6.10.1 - reduce the minimum setback of the principal building from the front parcel line from 6.0 m to 0 m as shown in Schedule A of the Staff Report dated November 25, 2020.

[Pym, M./Bernd Hermanski Architect Inc./Hermanski, B.; Setback Requirements]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

**CITY OF
SALMON ARM**

To: His Worship Mayor Harrison and Members of Council

Date: November 25, 2020

Subject: Development Variance Permit Application No. VP-522
Legal: Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 43148
Civic: 1361 – 18 Street NE
Owner: M. Pym
Applicant / Agent: Bernd Hermanski Architect Inc. / B. Hermanski

MOTION FOR CONSIDERATION

THAT: Development Variance Permit No. VP-522 be authorized for issuance for Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 43148, which will vary the provisions of Zoning Bylaw No. 2303 as follows:

Section 6.10.1 - reduce the minimum setback of the principal building from the front parcel line from 6.0 metres to 0 metres as shown in Schedule 'A' (Appendix 3).

STAFF RECOMMENDATION

THAT: The Motion for Consideration be adopted.

PROPOSAL

The subject property is located at 1361 – 18 Street NE (Appendices 1 & 2). The requested variance is to reduce the minimum setback of the principal building from the front parcel line from 6.0 metres to 0 metres to accommodate an addition of a carport onto the existing house. A site plan has been prepared by Browne Johnson Land Surveyors and is attached as Appendix 3. Site photos of the property are attached as Appendix 4.

BACKGROUND

The subject property is zoned R-1, Single Family Residential Zone (Appendix 5). The subject property is approximately 1,422 square metres in size and contains an established house. The property is a steeply sloped lot with large trees and established vegetation. The surrounding properties are predominantly R-1 single family residential zoned properties with established homes on large lots.

This proposal is for an addition of a carport onto the front of the existing house. As the current siting of the house just meets the minimum 6 metre front yard setback, an addition of a carport will require a variance to reduce the front yard setback from the minimum 6 metres to 0 metres. As the site plan indicates, the northeastern corner of the proposed carport will be 0 metres from the front parcel line (Appendix 3). It is unknown when the house on the property was built; however, in 1990 there was a one lot subdivision which created the adjacent lot to the south. As a requirement to the subdivision, a width of 4.42 metres of road dedication was required along the entire parcel frontage, which resulted in the house being 6 metres from the parcel line.

COMMENTSEngineering Department

Engineering Department comments are attached as Appendix 6.

Fire Department

No Fire Department concerns.

Building Department

No building code concerns with the carport at the property line facing a street.

Planning Department

Setbacks ensure there is adequate separation between building sites and infrastructure for privacy, aesthetics and overall safety. Although the house is already at the minimum 6 metre setback from the parcel line, there is approximately 7.5 metres of city boulevard (distance from the front parcel line to the edge of the road). 18 Street NE is considered an urban local road and no further road dedication is required as it meets the RD-2 standard width of 20 metres. The adjacent properties to the north are zoned single family residential and contain houses. These three properties to the north are subject to road dedication, which would align the parcel lines of these three properties with the subject property should there be future development.

Due to the steep slopes on the property and the existing siting of the house, already at the minimum 6 metre front parcel line setback due to previous road dedication, the addition of a carport is somewhat restricted to this location.

The 6 metre variance request is a significant request; however, staff feel it is a reasonable request based on the following:

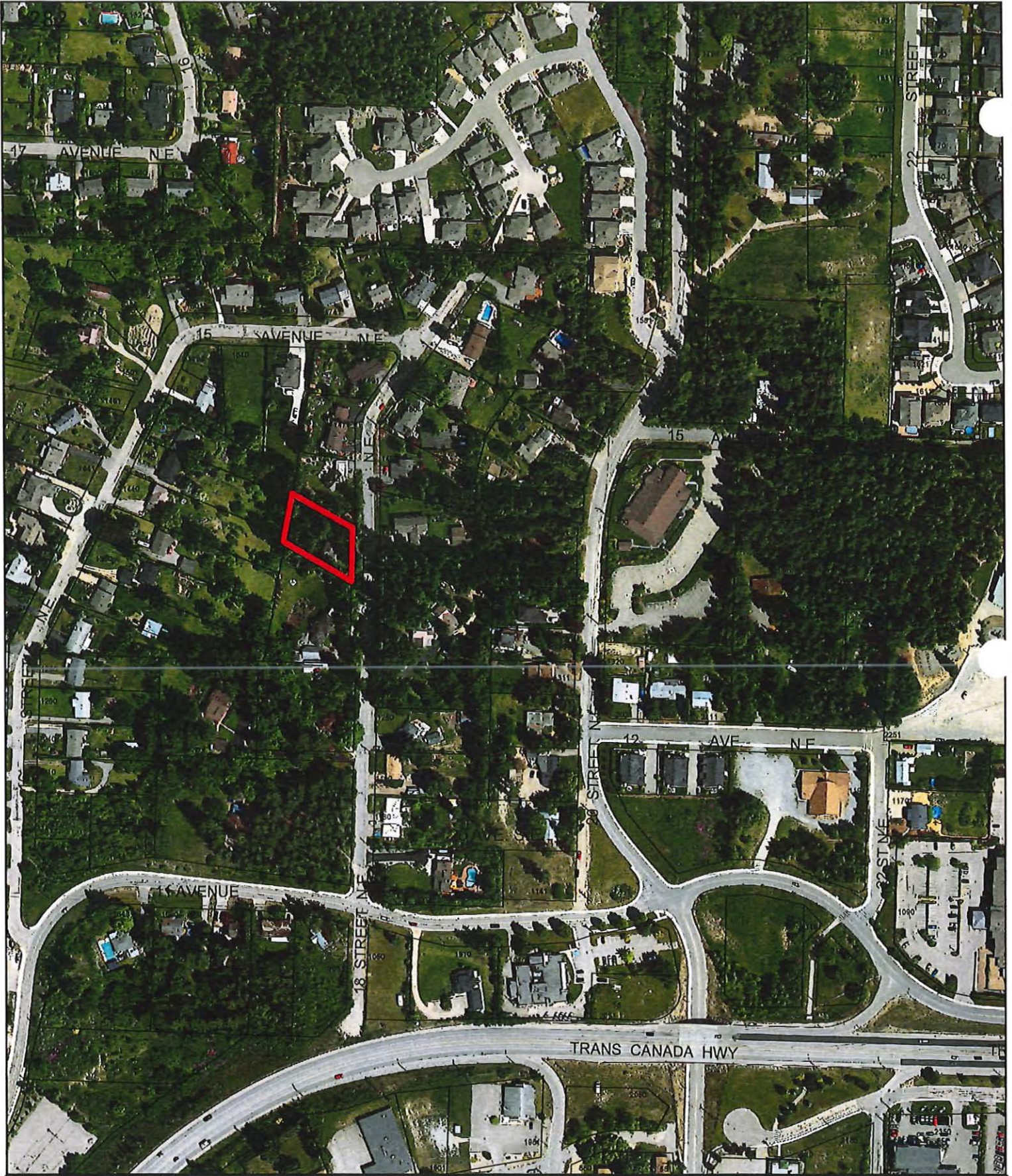
- The city boulevard is approximately 7.5 metres and there is no future road dedication required.
- There are limited locations for an addition of a carport due to the topography on the property and the siting of the house.
- 18 Street NE is a low traffic volume local road and there should be no site line obstructions or safety concerns.
- The lots along 18th Street are relatively wide and vegetated; urban design impacts would be minimal.



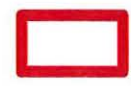
Prepared by: Denise Ackerman
Planner, Development Services



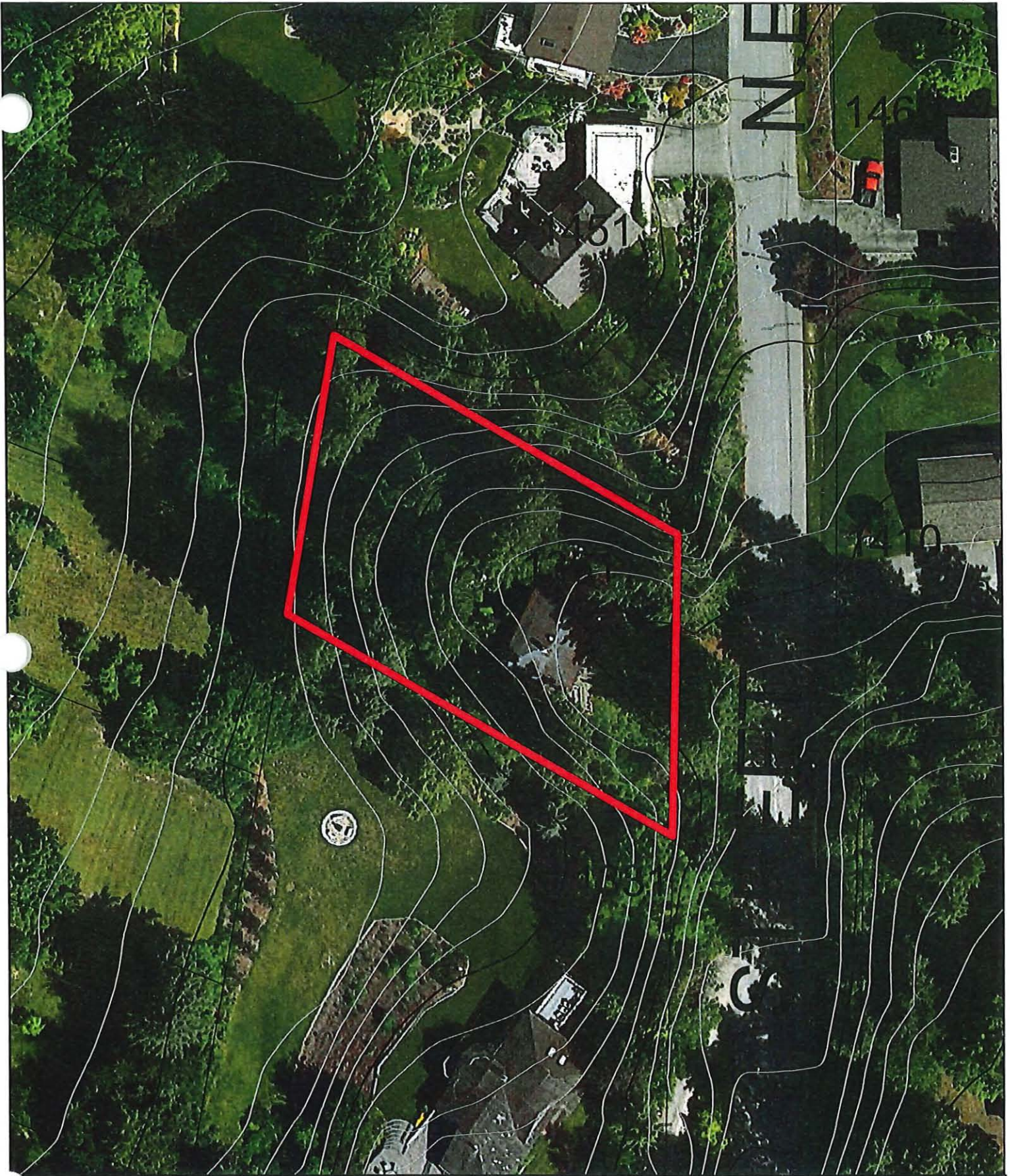
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



0 1530 60 90 120
Meters



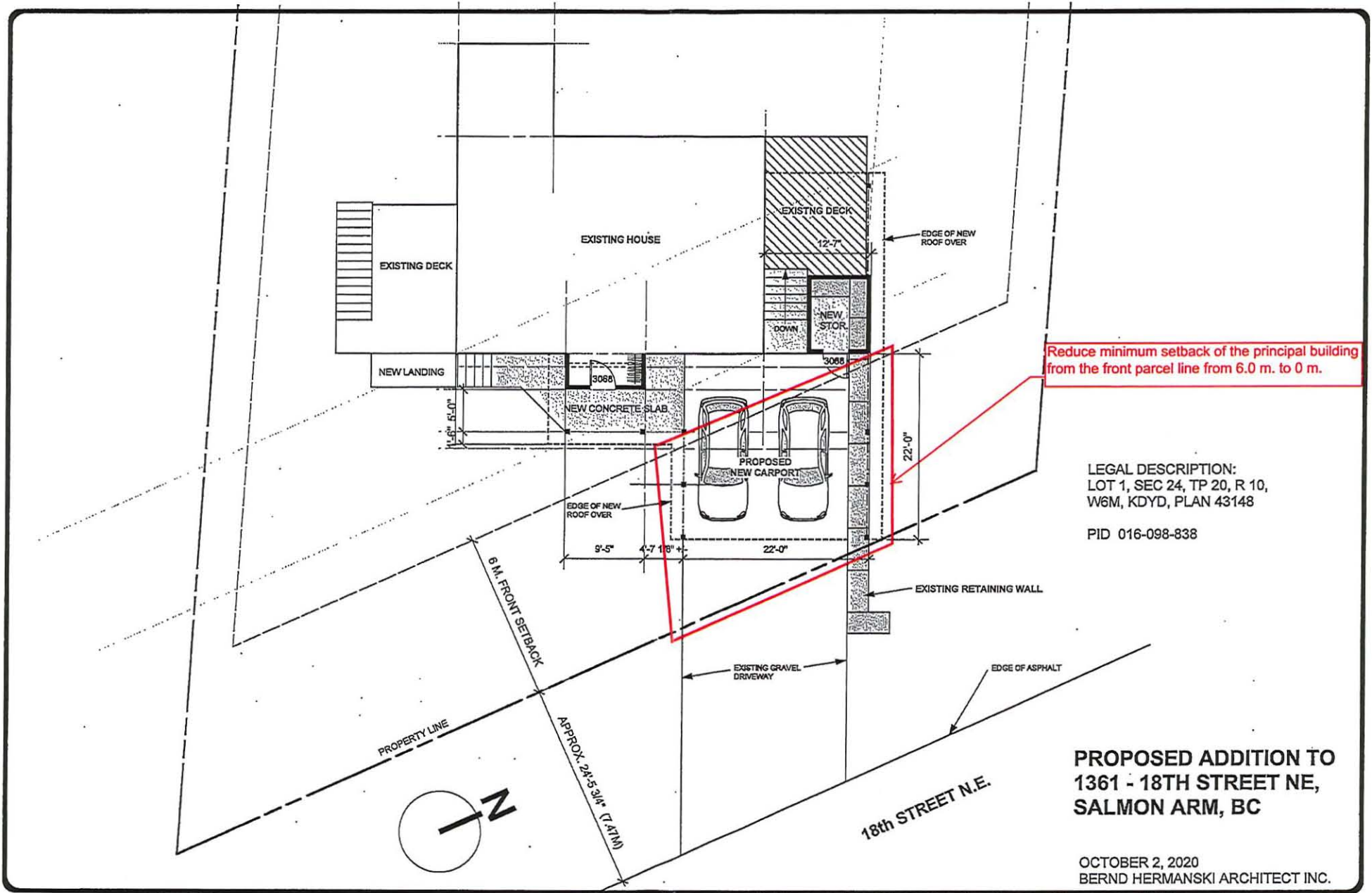
Subject Parcel



02.75 5.5 11 16.5 22
Meters



Subject Parcel



Reduce minimum setback of the principal building from the front parcel line from 6.0 m. to 0 m.

LEGAL DESCRIPTION:
 LOT 1, SEC 24, TP 20, R 10,
 W6M, KDYD, PLAN 43148
 PID 016-098-838

**PROPOSED ADDITION TO
 1361 - 18TH STREET NE,
 SALMON ARM, BC**

OCTOBER 2, 2020
 BERND HERMANSKI ARCHITECT INC.



View of subject property looking west.



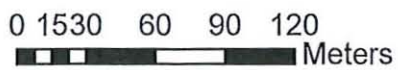
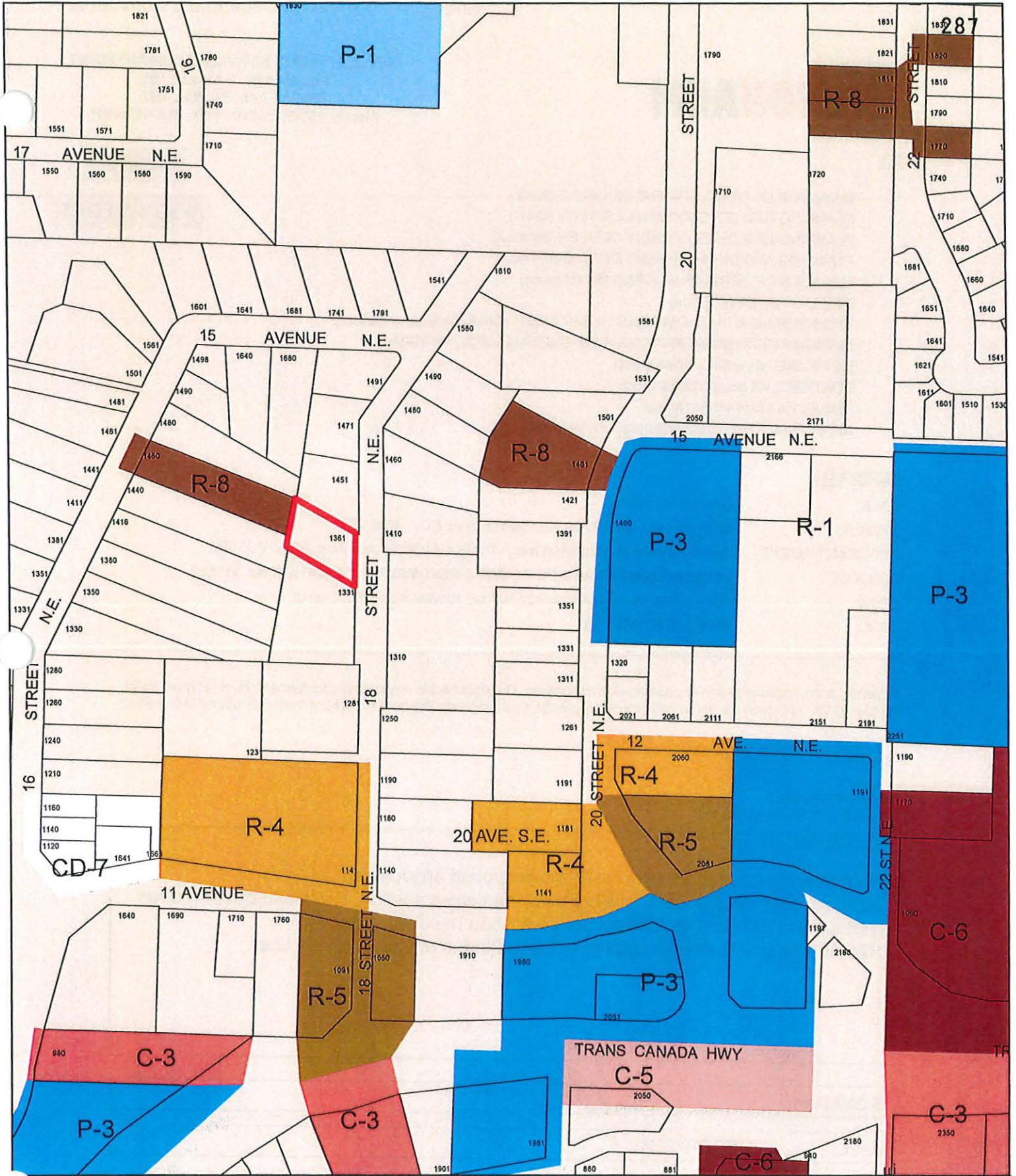
View of subject property looking northwest.



View of subject property looking northwest.



View of subject property looking southwest.



Subject Parcel



DEVELOPMENT SERVICES DEPARTMENT
 Box 40, 500 - 2 Avenue NE,
 Salmon Arm, BC, V1E 4N2
 Phone: 250-803-4010 / FAX: 250-803-4041

TO:

DIRECTOR OF DEVELOPMENT SERVICES (Kevin)
 PLANNING AND DEVELOPMENT OFFICER (Chris)
 PLANNING AND DEVELOPMENT OFFICER (Melinda)
 PLANNING AND DEVELOPMENT OFFICER (Denise)
 MANAGER OF PERMITS & LICENSING (Maurice)
 FIRE DEPARTMENT (Brad)
 ENGINEERING & PUBLIC WORKS DEPARTMENT (Shelly for Engineering Dept)
~~MINISTRY OF TRANSPORTATION & INFRASTRUCTURE (Via eDAS)~~
 BC HYDRO, via email utilities group
 FORTISBC, via email utilities group
 TELUS, via email utilities group
 SHAW CABLESYSTEMS, via email utilities group

PRINT

SUBMIT FORM

REFERRAL:

DATE: October 28, 2020
 OWNER: **M. Pym**, 1361 – 18 Street NE, Salmon Arm, BC V1E 2T5
 APPLICANT/AGENT: **Bernd Hermanski Architect Inc.**, - PO Box 1438, Salmon Arm, BC V1E 4P6
 SUBJECT: **DEVELOPMENT VARIANCE PERMIT AMENDMENT APPLICATION No. VP-522**
 LEGAL: LOT 1 SECTION 24 TOWNSHIP 20 RANGE 10 W6M KDYD PLAN 43148
 CIVIC: **1361 – 18 STREET NE**

Attached is an application and supporting documentation. The applicant is requesting a variance to Zoning Bylaw 2303, Section 6.10.1: Reduce minimum setback of the principal building from the front parcel line from 6.0 metres to 0 metres.

Thank you.

Denise Ackerman
 Development Services Planner

COMMENTS for **VP-522**:

Engineering has no concerns with the proposed application.
 Existing road dedication is sufficient for 20m cross section. Proposed building does not need to account for future road dedication needed.
 No ROW's or Easements appear to be within 6m of east property line.

SIGNATURE:

DATE:

Nov 16 2020

From: Brian Marr
Sent: December-04-20 7:32 PM
To: Caylee Simmons
Subject: Development Variance Permit No. VP-522

We are writing in reference to the Permit VP-522 in relation to 1361 18ST NE Salmon Arm, M. Pym. We live at 1310 18 ST NE Salmon Arm.

We are in full agreement with the proposal put forward by the property owners and described in the Notice to Property Owners/Occupiers delivered to our home yesterday.

The addition will serve them well and will have no impact on traffic flow.

Sincerely,

Brian and Rochelle Marr.

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Item 22.2

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: Council approve application CRS-10;

AND THAT: Council consider its Resolution with respect to the following:

1. Provincial Cannabis Retail Store License Referral No. 007440;
2. City Zoning Bylaw No. 2303 and City Policy No. 3.20;
3. Public notification followed by the holding of a Hearing on December 14, 2020;
and
4. The impact of the application on the community.

[Inspired Cannabis Co. (1217025 BC Ltd.; #246, 1151 10 Avenue SW)]

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

TO: His Worship Mayor Harrison and Members of Council

FROM: Director of Development Services

DATE: November 19, 2020

SUBJECT: Cannabis Retail Store Application No. 10 (CRS-10)
Provincial Cannabis Referral No. 007440 – Application Received October 5, 2020

Applicant: Inspired Cannabis Co. (1217025 B.C. Ltd.)
Civic Address: #246 1151 – 10 Avenue SW

STAFF RECOMMENDATION

THAT: By a Resolution, Council approve application CRS-10;

AND THAT: Council has considered its resolution with respect to the following:

1. Provincial Cannabis Retail Store Licence Referral No. #007440;
 2. City Zoning Bylaw No. 2303 and City Policy No. 3.20; and
 3. Public notification followed by the holding of a Hearing on December 14, 2020.
-

PROPOSAL

On October 5, 2020, a LCRB referral for a cannabis retail store application was received (Appendix 1) As per Policy 3.20, once a LCRB referral has been received by the City, a cannabis retail store application can be submitted to the City. This application was received on October 6, 2020 and the proposal is for a cannabis retail store within the Piccadilly Mall (Appendices 2 & 3). Piccadilly Mall is located within the commercial area as defined by Cannabis Retail Store Policy 3.20 (Appendix 4).

BACKGROUND

In October 2018 the retail sale of cannabis became legal under Federal law and licensing for cannabis retail stores was delegated to provincial authority. In B.C., it is the Liquor Cannabis Regulation Branch (LCRB) which regulates the private retail non-medical cannabis sales. The LCRB approval system relies significantly on local government responses to cannabis retail store applications. This application is the tenth cannabis retail store application to be considered by City Council.

The following table provides the status of all cannabis retail store applications the City has received to date and attached as Appendix 5 is a corresponding map showing the location of cannabis retail stores.

Cannabis Retail Store Applications

File No.	LCRB File No.	Name of Business	Address	Area as specified in Policy 3.20	Status Local Government	Status Province of BC
CRS-1	000839	The Greenery Cannabis	#2, 190 Trans Canada Hwy NE	Core Commercial	Approved (Nov. 13/18)	Approved (May 8/19)
CRS-2	000972	Zen Canna Retail Corp.	2801 – 10 Ave (TCH) NE	Area does not meet Policy 3.20	Defeated (Nov. 13/18)	Denied
CRS-3	1078	Downtown Cannabis	111 Lakeshore Drive NE	Core Commercial	Approved (Nov. 13/18)	Approved (July 2/19)
CRS-4	001119	Buddy's Cannabis Dispensary, Green Canoe Cannabis	7390 – 50 Street NE	Canoe - Commercial Area	Approved (Dec. 10/18)	Approved (Feb. 28/19)
CRS-5	001554	Eden	191 Shuswap Street NW	Core Commercial	Approved (Dec. 10/18)	Pending Approval
CRS-6	001524	Salmon Arm Cannabis	81 Shuswap Street NW	Core Commercial	Approved (Dec. 10/18)	Approved (June 27/19)
CRS-7	n/a	BC Cannabis Store	2991 – 10 Ave (TCH) SW	Commercial Area	Approved by Council Jan 28/19	n/a
CRS-8	001500	Hive Cannabis	391 Hudson Avenue NE	Core Commercial	Application Withdrawn (Jan 29/19)	n/a
CRS-9	001876	Quantum 1 Cannabis Corp.	470 Lakeshore Drive NW	Core Commercial	Deferred (May 27/19)	n/a
CRS-10	007440	Inspired Cannabis Co. (1217024 BC Ltd.)	246, 1151 – 10 Avenue SW (Piccadilly Mall)	Commercial Area		

* Policy 3.20 supports 4 Cannabis Retail Stores in the Core Commercial Area

* Additional Applications Received for the Core Commercial Area

Cannabis Retail Store Policy No. 3.20

The proposed location meets the location criteria of Policy 3.20 as it is located within the commercial area defined by Policy 3.20. Although, the policy supports no more than four cannabis retail stores within the core commercial area, there is no maximum of cannabis retail stores in the commercial area.

Public notification of the application proposal and Hearing date will be completed in accordance with Section E) 5. of the Policy. All properties within 30 m of the subject property will be provided a notice of the application at least 10 days prior to the Hearing. A notice will also be advertised in the Salmon Arm Observer on December 9th, one week prior to the scheduled Hearing date.

Zoning Bylaw No. 2303

The proposed location, Piccadilly Mall is zoned C-7, Shopping Centre Commercial Zone. The City's Zoning Bylaw permits the retail sale of cannabis in a number of commercial zones, including C-7 under the defined terms, *retail store* and *convenience store*. The zoning bylaw defines a *shopping centre* as a unified group of retail stores, personal service establishments, health services centres, restaurants, hotels and offices, on a site planned, developed and managed as a single operating unity, with shared on-site parking.

Business Licence Regulation Bylaw No. 3102

If Council approves this application, the LCRB will be notified via a Council resolution. A City Business License cannot be considered until the LCRB provides an "Approval In Principle" (AIP). Once the City receives an AIP, the applicant may apply for a Business License. Considerations for Business Licences generally include a premise meeting, BC Building and Fire Code requirements and Zoning Bylaw regulations.

Provincial (LCRB) Licencing

The LCRB is awaiting a resolution from City Council for this application. The LCRB cannot issue a Cannabis Retail Store Licence unless the LCRB receives a positive recommendation from the local government. The LCRB is conducting a "fit and proper" assessment and will notify the City when the assessment has been completed. The fit and proper assessment consists of various background checks comprised of financial integrity and security screening to assess proprietors' suitability. To date, the City has not received notification that the fit and proper assessment has been completed.

STAFF COMMENTS*Building Department*

No concerns from a building code point of view. Considered a mercantile occupancy which is permitted in the mall.

RCMP – Staff Sergeant

See comments attached as Appendix 6.

Planning Department

There is some concern at the staff level of the proposed location in the mall as it is in close proximity to the public library. However, the policy only specifies that cannabis retail stores should not be located within 500 metres of a school but does not speak to libraries. The location and zoning of Piccadilly Mall meets the Cannabis Retail Store Policy; therefore, the proposal is supported by staff.



Prepared by: Denise Ackerman
Planner, Development Services



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Job # 007440

October 5, 2020

Via email: dackerman@salmonarm.ca

Denise Ackerman
Development Services Assistant
Salmon Arm

Dear: Denise Ackerman

Re: Application for a Non-Medical Cannabis Retail Store Licence
Applicant: 1217024 B.C. LTD.
Proposed Establishment Name: Inspired Cannabis Co
Proposed Establishment Location: 246-1151 10 Ave SW, Salmon Arm, V1E 1T3

The Applicant, 1217024 B.C. LTD., has applied to the Liquor and Cannabis Regulation Branch (LCRB) for a Non-Medical Cannabis Retail Store (CRS) licence proposed to be located at the above-noted address. The applicant contact is Jaspinder Dhani. They can be reached at 604-562-9504 or via email at jessedhani@shaw.ca

Local governments and Indigenous nations are a crucial part of the licensing process. Section 33(1) of the [Cannabis Control and Licensing Act](#) prevents the LCRB from issuing a CRS licence without a positive recommendation regarding the CRS licence application from the local government or Indigenous nation.

The LCRB is requesting the city of Salmon Arm to consider the application and provide the LCRB with a written recommendation with respect to the application. To assist with your assessment of the application, a site map of the proposed cannabis retail store is attached. The following link opens a document which provides specific and important information and instructions on your role in the CRS licensing process, including requirements for gathering the views of residents.

[Local Governments' Role in Licensing Non-Medical Cannabis Retail Stores](#)

OR

[Indigenous Nations' Role in Licensing Non-Medical Cannabis Retail Stores](#)

The LCRB will initiate an applicant suitability assessment regarding this CRS application, also known as a "fit and proper" assessment of the applicant and persons associated with the applicant. Once the assessment is complete, you will be notified of the LCRB's determination. You may choose to withhold your recommendation until the LCRB has made a final decision regarding the applicant's suitability.

If you choose not to make any recommendation regarding this application, please contact the LCRB at the earliest convenience. Please note that a Cannabis Retail Store Licence cannot be issued unless the LCRB receives a positive recommendation from the local government or Indigenous nation. Similarly, if a local government or Indigenous nation decides not to make any recommendation, the LCRB will not consider the application any further.

If you have any questions regarding this application, please contact me at #778-974-4503 or Kerry.Marshall@gov.bc.ca.

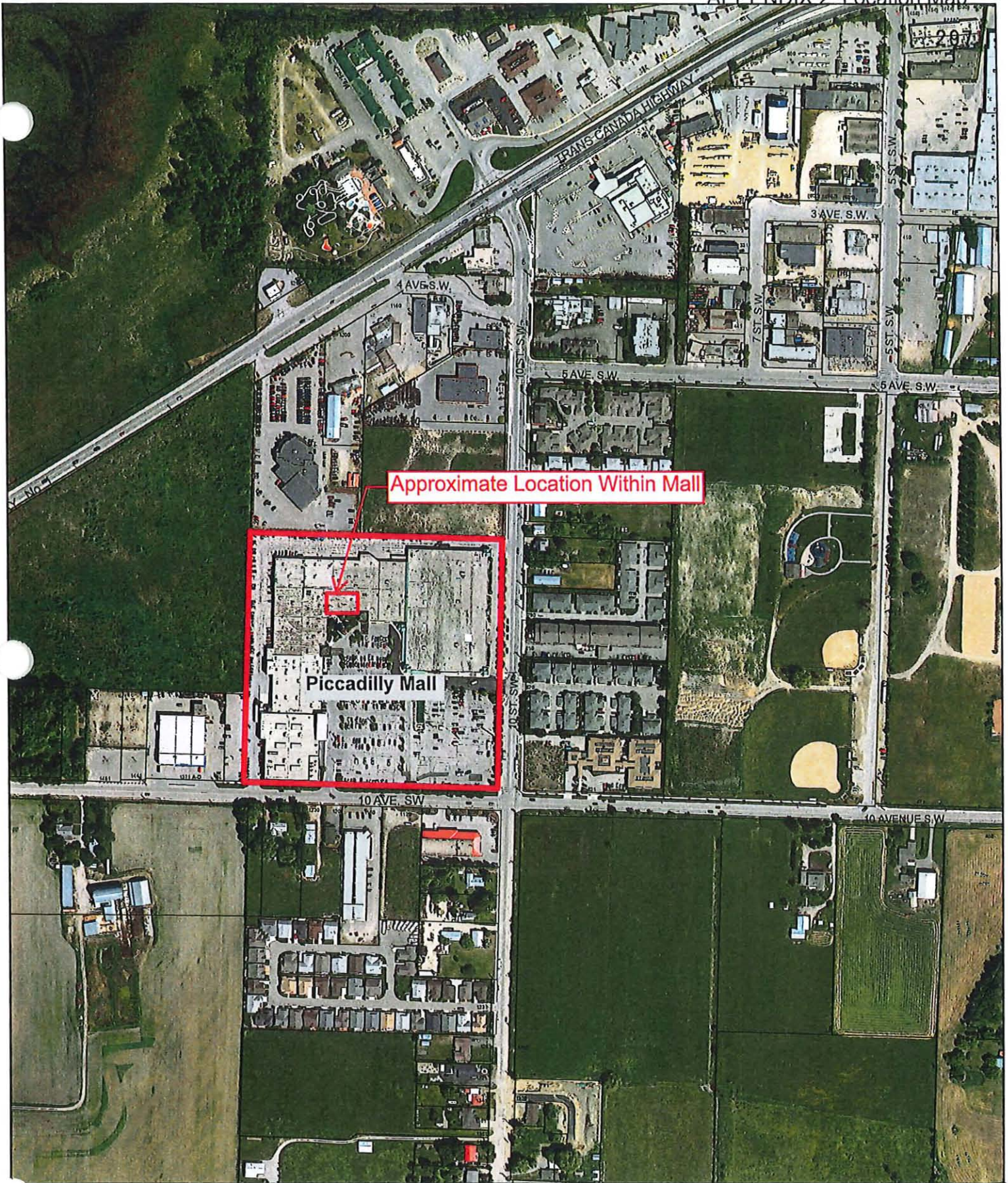
Sincerely,

A handwritten signature in black ink that reads "Kerry Marshall". The signature is written in a cursive style with a large initial "K".

Kerry Marshall
Senior Licensing Analyst

Attachment – Site Map

copy: Applicant



Approximate Location Within Mall

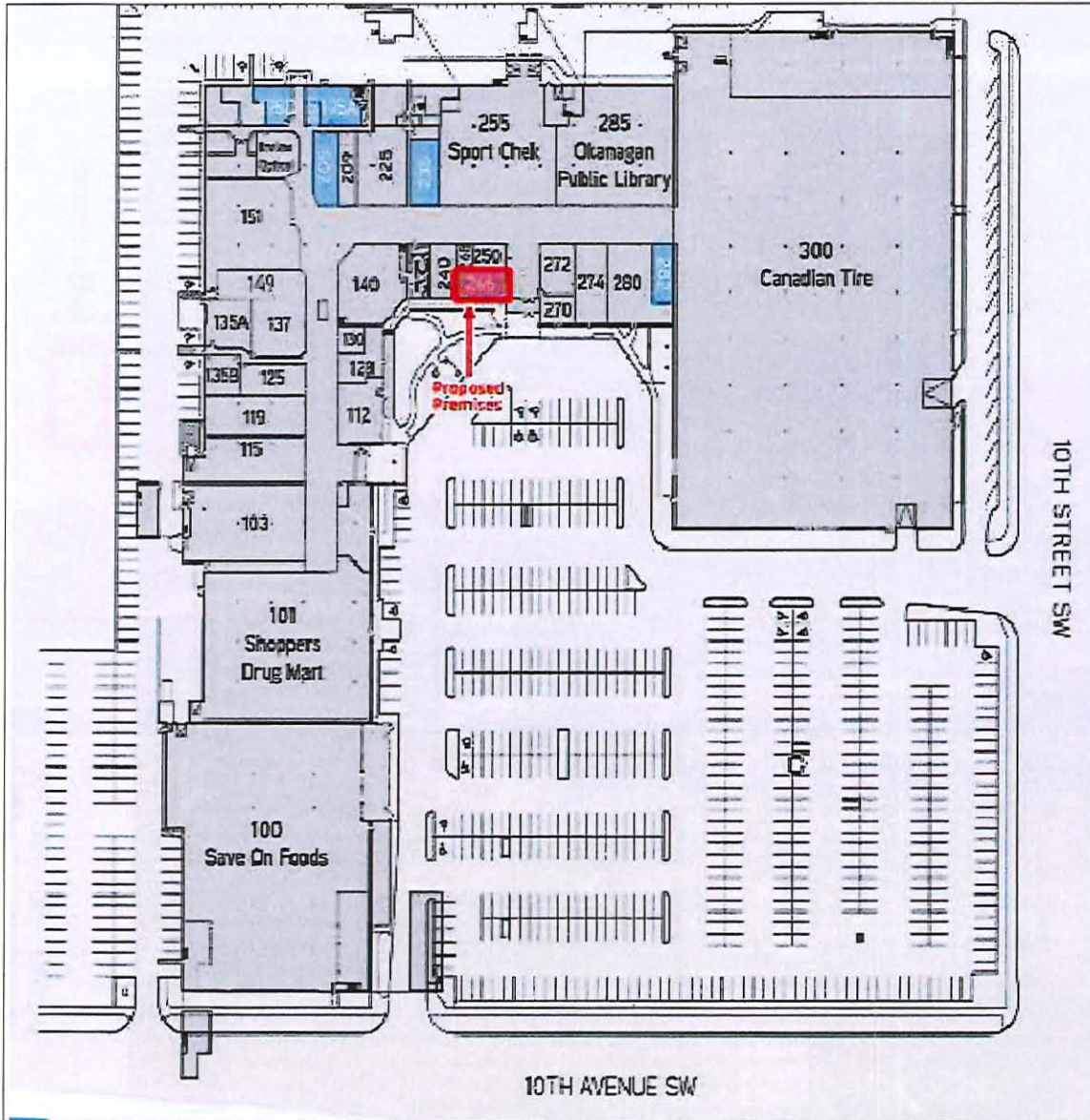
Piccadilly Mall



0 2040 80 120 160
Meters



Subject Parcel



TENANT ADDRESS:
 Unit 246
 The Mall at Piccadilly
 1151 10th Ave SW

LEGAL DESCRIPTION:
 Lot A Plan KAP1569 Section 15 Township 20 Range 10
 Meridian Land District 25 Except Plan KAP54147
 PID: 007-308-833

Lot A Plan KAP17475 Section 15 Township 20 Range 10
 Meridian Land District 25 Except Plan KAP54835, KAP89319
 PID: 008-396-809

ZONING:
 C-7

YEAR BUILT:
 1977

ADJACENT TENANTS:

- 280 - Your Dollar Store With More
- 274 - Knox Clothing
- 272 - Flowers by Fimmy
- 270 - Maritime Travel
- 250 - Evan Nails
- 248 - Bell - Connects Wireless
- 240 - Touch A'Texas (Fashion & Accessories)
- 140 - Jane's Place (Food Outlet)



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REVISIONS:

#0	20 AUG 2020	START
#1	16 SEPT 2020	REVISION
#2	25 SEPT 2020	REVISION
#3	1 OCT 2020	ADDRESS REVISION

SCALE: As Noted
DRAWN BY:
DRAWING NAME:

SITE PLAN

- ISSUED FOR:**
- CLIENT REVIEW
 - CLIENT APPROVAL
 - PROJECT TENDER
 - BUILDING PERMIT
 - CONSTRUCTION

PROJECT NAME & ADDRESS:
 INSPIRED CANNABIS
 Unit 246 - The Mall at Piccadilly
 1151 10th Ave SW
 Salmon Arm, BC

1A

APPENDIX 3: Location in Piccadilly Mall

1 SITE PLAN
 1A SCALE: NOT TO SCALE



CITY OF SALMON ARM

POLICY NO. 3.20

A) TOPIC: Cannabis Retail Stores – Policy and Application Procedures

B) GENERAL:

1. The City of Salmon Arm recognizes the retail sale of cannabis as being a permissive activity and land use subject to:
 - a) Adherence to Federal and Provincial laws and regulations;
 - b) Provincial licencing approval;
 - c) Adherence to City bylaws and regulations; and
 - d) City business licencing approval.
2. The City's Zoning Bylaw permits the retail sale of goods including cannabis in various commercial zones; however, despite the zoning of a property, the location of a retail store intending to sell cannabis must be approved by a City Council resolution and Provincial approval.
3. City Council will, at its discretion, consider a recommendation of approval or not of a retail store intending to sell cannabis during its formal review of a cannabis retail licence application referred to the City by the Province of British Columbia.
4. During its review of a Provincial application, City Council may or may not consider the location preference criteria of this policy.
5. This policy is intended to serve merely as guidelines and does not bind City Council in its decision making process.
6. Application review procedures for cannabis retail stores are outlined in Section E) of this policy.
7. The City deems the Federal and Provincial governments as being responsible for the monitoring and enforcement of its laws and regulations pertaining to cannabis retail sales.

C) ZONING BYLAW:

The City of Salmon Arm's Zoning Bylaw No. 2303 allows cannabis retail sales under the defined uses *retail store* and *convenience store* as permitted in the following zones:

- C-1 Neighbourhood Commercial
- C-2 Town Centre Commercial Zone
- C-3 Service Commercial Zone
- C-6 Tourist/Recreation Commercial Zone
- C-7 Shopping Centre Commercial Zone
- CD-8 Comprehensive Development Zone (*Wal-Mart Smart REIT Site*)
- CD-9 Comprehensive Development Zone (*Askew's Uptown and S.A.S.C.U. Site*)
- CD-16 Comprehensive Development Zone (*The Hive*)

D) LOCATION PREFERENCE CRITERIA:

- The site and location of a cannabis retail store shall be zoned correctly and in accordance with the City's Zoning Bylaw.

- Cannabis retail stores should be located within the boundary of the "Commercial Area" shown on Map 1 attached to this policy.
- No more than four (4) cannabis retail stores should be located within the "Core Commercial Area" shown on Map 1-A.
- The existing commercial area of Canoe in the vicinity of the 50 Street and Canoe Beach Drive NE intersection may be deemed as being appropriate for a cannabis retail store, subject to correct commercial zoning.
- Cannabis retail stores should be located beyond 500 m of a school (measurement determined by City staff).
- Cannabis retail stores should not be located within a building containing residential units.

E) CITY APPLICATION REVIEW PROCEDURES:

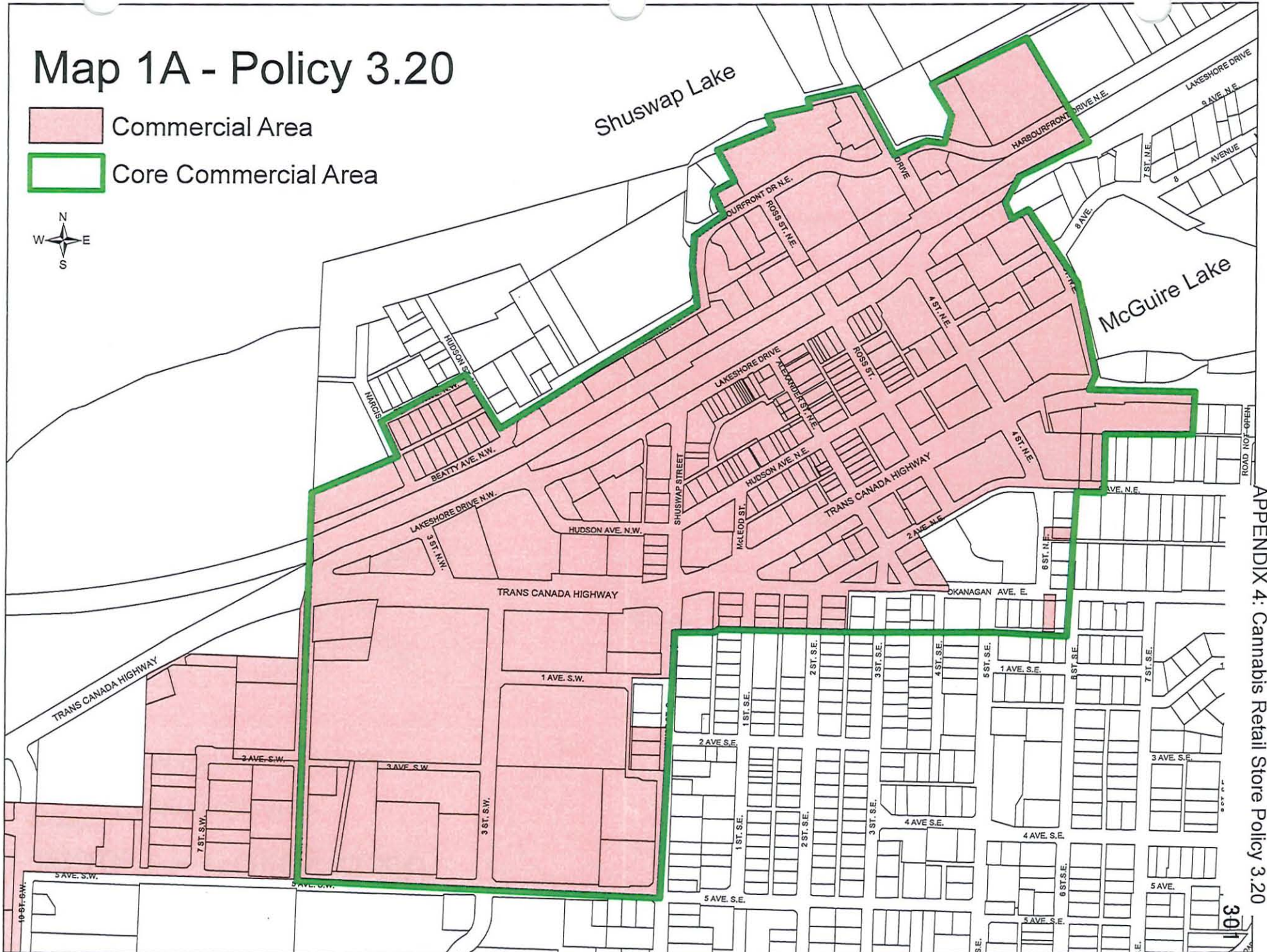
1. The City will prioritize the review of Provincial cannabis retail store applications in order of the date and time each referral is date stamped received and only after the Business Licence application fees are paid in full to the City.
2. The Business Licence application fees for a cannabis retail store are set out in the City's Fee for Service Bylaw. The fees include a non-refundable surcharge to cover public notification and application processing time.
3. City staff will review the application and provide a brief written report to Council on whether or not the proposed site and location meets the criteria of this policy.
4. City staff will schedule a Hearing on the application that is open for public input on the date of a Regular Council meeting. The applicant is expected to attend the Hearing in order to present the proposal and answer questions from Council and the public.
5. The particulars of the application proposal, the Hearing date, along with time and location of the Regular Council meeting will be advertised one-time in the weekly local newspaper. Notices of the Hearing and application proposal will be delivered to the applicant and to all persons who own, reside or operate a business on property within 30 m of the proposed cannabis retail site. Notices will be delivered at least 10 days prior to a scheduled Hearing.
6. The associated City staff report and public input received will be on the agenda of the Regular Council meeting when the Hearing date is scheduled.
7. City Council will render its recommendation on the Provincial application with a formal resolution after and likely on the same date as the Hearing.
8. Subsequent to the Council meeting, City staff will provide the Province with its recommendation (i.e. the Council resolution), the City staff report, written public input and a record of the input received at the Hearing on the application.
9. Prior to issuance of a Business Licence issuance, City staff from the Building and Fire Departments will inspect the premise to ascertain compliance with BC Building and Fire Codes. Furthermore, approval of the cannabis retail business by way of proof of Province licensing is a key condition for issuance of a City Business Licence.

Policy 3.20

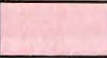

Adopted by Council this 27 day of August, 2018.

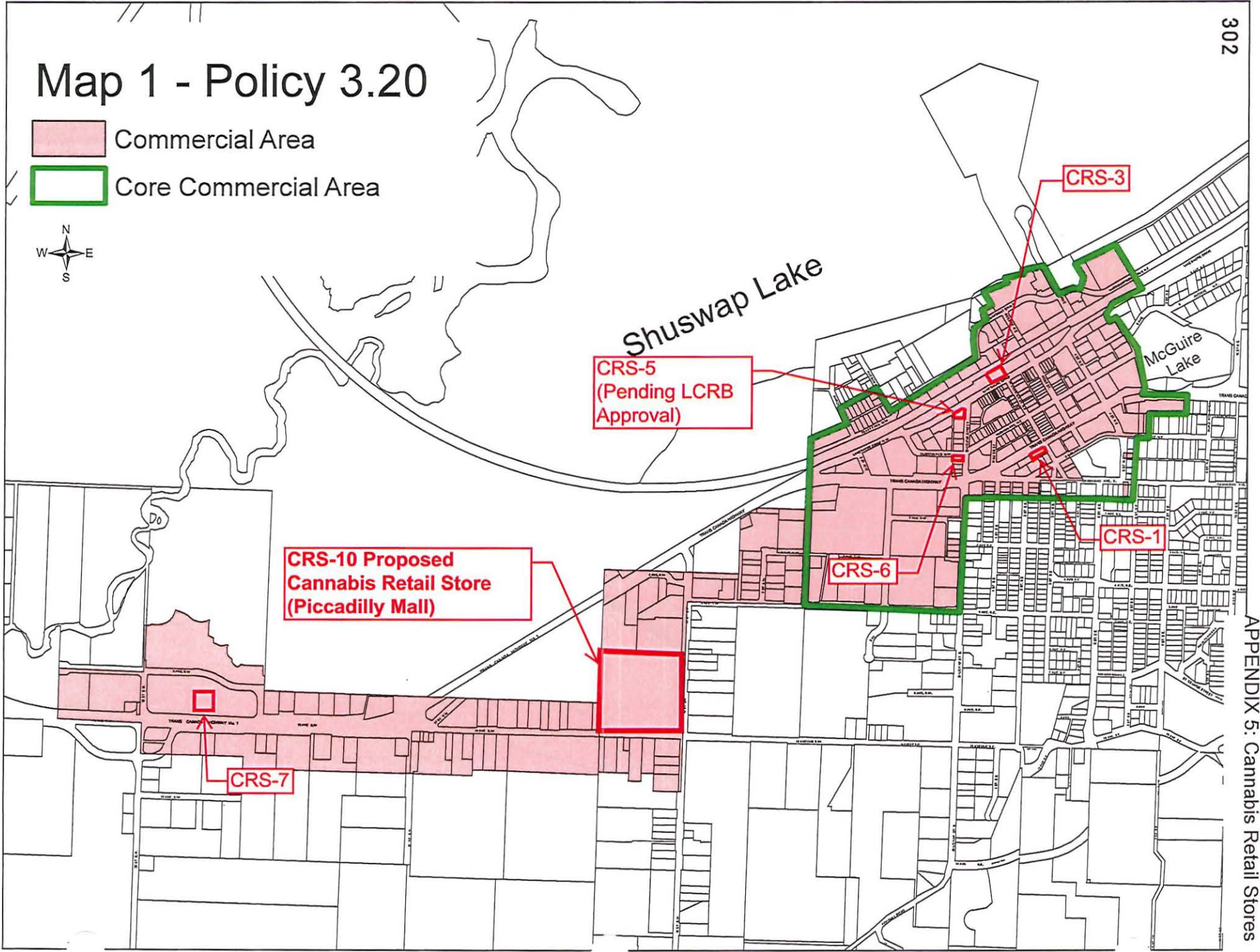
Map 1A - Policy 3.20

-  Commercial Area
-  Core Commercial Area



Map 1 - Policy 3.20

-  Commercial Area
-  Core Commercial Area



Denise Ackerman

From: Scott WEST <scott.west@rcmp-grc.gc.ca>
Sent: October-19-20 1:49 PM
To: Denise Ackerman
Subject: Re: Cannabis Retail Store Referral
Attachments: WEST, Scott.vcf

Follow Up Flag: Follow up
Flag Status: Flagged

My only comments are:

I would question the proximity to the public Library.

Other than that it is a lawful commercial operation which would be operating in a commercial space and would be tantamount or analogous to the Liquor Store that used to be at the mall.

If it satisfies the By Law Requirements than the local RCMP could have no objection.

> Denise Ackerman <dackerman@salmonarm.ca> 2020/10/16 11:42 AM >>>

Please see the attached Cannabis Retail Store referral. Please e-mail your comments back to me.

Thank-you,

Denise Ackerman | Planner | Development Services Department
Box 40, 500-2nd Avenue NE, Salmon Arm, BC, V1E 4N2 | P 250.803.4021 | F 250.803.4041
E dackerman@salmonarm.ca W www.salmonarm.ca



Scott West, S/Sgt.
NCO i/c Salmon Arm Detachment
Office Phone: 250-832-6044
FAX: 250-832-6842

Scott West, Serg. D état-Major
GRC de Salmon Arm
250 832-6044

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Sent: Thursday, December 03, 2020 8:18 PM


Subject: Online Form Submittal: Mayor and Council

Mayor and Council

First Name Carolyn

Last Name Schut

Address: *Field not completed.*

Return email address: 

Subject: Proposed cannabis store in Piccadilly Mall

Body Dear Alan, I am very disturbed to read that a cannabis store is proposed to go into the mall. I don't believe this type of store should be anywhere near where children, young people and families frequent. Families with young children are constantly in and out to the library. The smell alone would be an absolute turn off to enter the mall. I personally would not enter the mall at that entrance or shop at any of the other stores at that end of the mall. I strongly urge the council not to approve this proposal. Thank you for your consideration.

Would you like a response: No

Disclaimer

Written and email correspondence addressed to Mayor and Council may become public documents once received by the City. Correspondence addressed to Mayor and Council is routinely published within the Correspondence Section of Regular Council Agendas.

Email not displaying correctly? [View it in your browser.](#)

From: chuck/lynn francis
Sent: December-09-20 11:02 AM
To: Caylee Simmons
Subject: a retail store

Really ? Another "drug"store in Salmon Arm

And right across the street from the park and the children's playground

Please give this some very serious thought. !

respectfully, Marilyn Claire

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Item 23.1

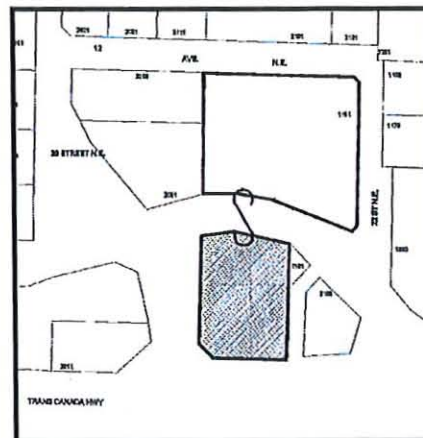
CITY OF SALMON ARMDate: December 14, 2020**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing by electronic means on **Monday, December 14, 2020 at 7:00 p.m.** Please see the information below on how to participate if you deem your interest to be affected by the proposed bylaw.

1) Proposed Amendment to Zoning Bylaw No 2303:

Rezone Lot A, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP97409 from P-3 (Institutional Zone) to C-6 (Tourist / Recreation Commercial Zone).

Civic Address: 1191 – 22 Street NE
Location: East of 20 Street NE on north and south sides of 11 Avenue
Present Use: Vacant land
Proposed Use: Rezone the Southern hooked portion of the subject parcel to allow for subdivision and potential future commercial use
Owner/Applicant: Cornerstone Christian Reformed Church/ J. Roodzant
Reference: ZON-1182/ Bylaw No. 4405



The file for the proposed bylaw is available for inspection on our website at www.salmonarm.ca.

Those who deem their interest affected by the proposed bylaw are urged to contact the Development Services Department by telephone at 250-803-4010 to obtain the facts of the proposal prior to the Public Hearing. Pursuant to Ministerial Order No. M192 made under the *Emergency Program Act*, R.S.B.C. 1996, C.111, S. 10, Council will not be allowing members of the public to attend this meeting. If you wish to provide input with respect to this Bylaw or to attend virtually email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Erin Jackson, Director of Corporate Services

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

TO: His Worship Mayor Harrison and Members of Council

DATE: September 15, 2020

SUBJECT: Zoning Amendment Application No. 1182

Legal: Lot A, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP97409
 Civic: 1191 – 22 Street NE
 Owner: Cornerstone Christian Reformed Church
 Applicant: Roodzant, J.

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning the southern portion of Lot A, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP97409 from P-3 (Institutional) to C-6 (Tourist / Recreational Commercial);

AND THAT: Final Reading of the Zoning Amendment Bylaw be withheld subject Ministry of Transportation and Infrastructure approval.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The 0.8 acre subject parcel is on the corner of 11 Avenue NE and 21 Street NE, directly south of the existing Cornerstone Church development (see Appendix 1 and 2). It is designated Commercial – Highway Service / Tourist (HC) in the City's Official Community Plan (OCP) and zoned P-3 (Institutional) in the Zoning Bylaw (Appendix 3 and 4). The portion of land under application is hooked to the Cornerstone Church property to the north, and the purpose of this application is to rezone the subject parcel to allow for subdivision and potential future commercial use. C-6 zone regulations are attached (Appendix 5).

BACKGROUND

The subject property is located in an area close to the Uptown commercial node characterized by residential, commercial and institutional uses. The Zoning Map attached shows the mix of zones in the immediate area, predominantly Residential (R-4 with R-1 and R-5) and Institutional (P-3), with Commercial zones to the south and east. Adjacent zoning and land uses include the following:

North:	P-3 & R-5	road, church & residential
East:	R-1	walkway and vacant land (City owned)
West:	P-3	road and institutional
South:	n/a	TCH and commercial

The subject property is currently vacant, as shown in site photos attached (Appendix 6).

OCP POLICY

The proposed zoning amendment aligns with the HC (Highway Service / Tourist Commercial) designation in the OCP. The amendment would align with the Commercial Objectives and Policies listed in OCP Section 9, including supporting commercial uses within the primary commercial areas of the City. Development of the parcel would be subject to the guidelines of the Highway Service / Tourist Commercial Development Permit Area.

COMMENTS

Ministry of Transportation and Infrastructure

Preliminary approval has been granted (Appendix 7).

Engineering Department

No concerns with rezoning. Servicing requirements for future development have been provided. Comments attached (Appendix 8).

Fire Department

No Fire Department concerns.

Building Department

No concerns with rezoning.

Planning Department

The surrounding neighbourhood has been undergoing slow development with a mix of older, single family housing and newer condominium, and commercial development, most significantly the uptown SASCU/Askew's location, Copper View residential development, and the 21 Street NE underpass.

It should be noted that there have been six OCP amendments in this general area since 2015 involving an amendment to commercial designated land, with approximately 1.25 hectares of land redesignated from commercial to other (generally residential) land use designations, representing a minor erosion of commercial inventory in this uptown area. Overall however, considering all areas of the City, there has been a net increase of approximately 6 hectares of commercial land over a similar timeframe. This proposal would add to the commercial land base of the City.

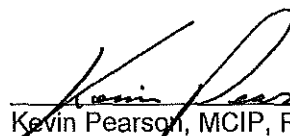
The intent for the subject parcel under application is for subdivision, sale, and future commercial use. There is no development concept proposed at this time. The parcel would be subject to the guidelines of the Highway Service / Tourist Commercial Development Permit Area, with future development requiring a Development Permit Application.

CONCLUSION

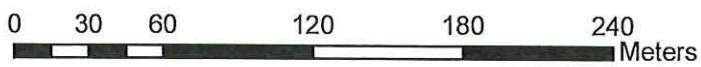
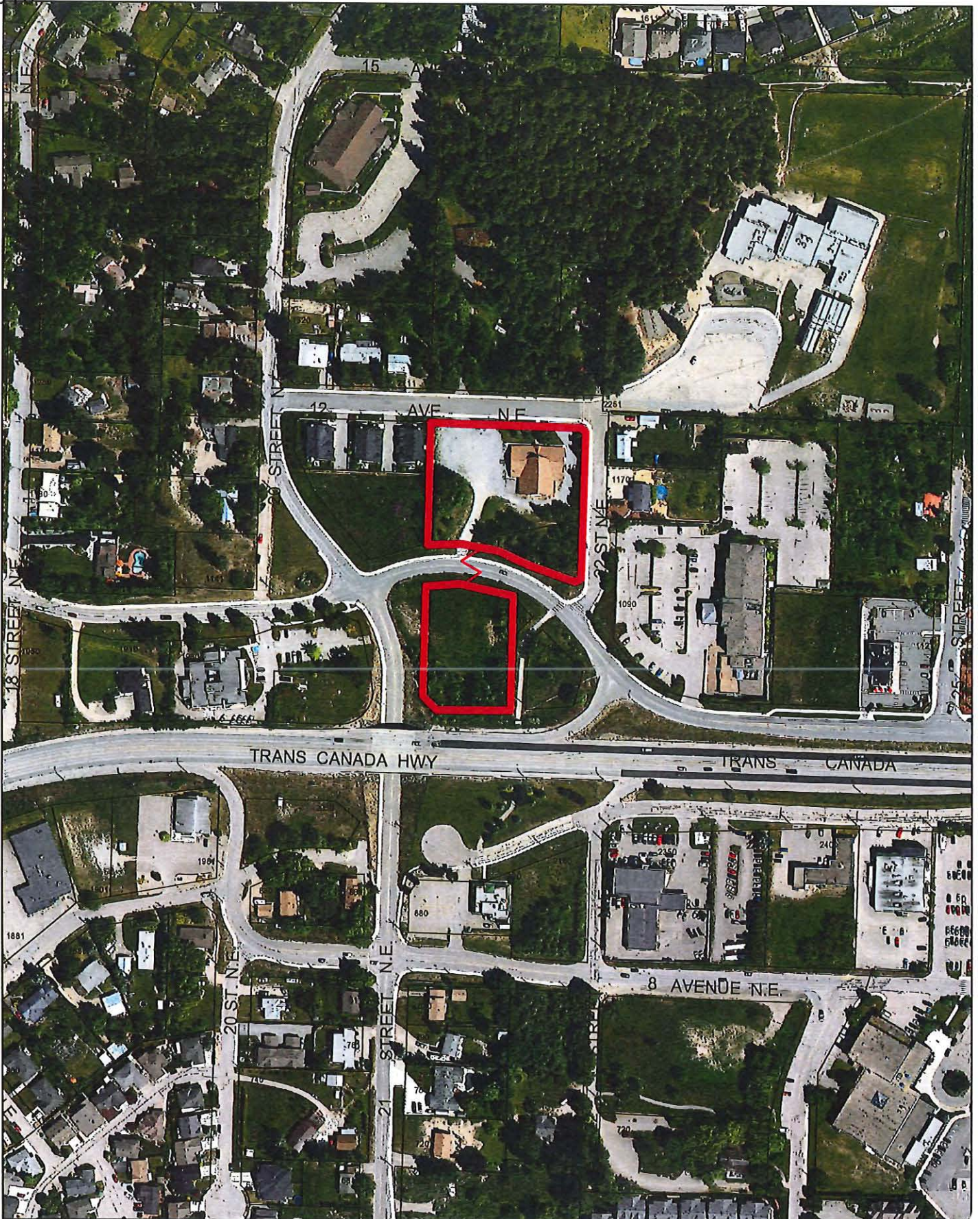
The OCP HC designation supports the proposed C-6 zoning. The subject parcel is considered by staff to be well-suited for commercial use, being within close proximity to the Trans Canada Highway, residential areas, as well as the recreation centre and arena. The proposed C-6 zoning of the subject property is consistent with OCP and is therefore supported by staff.



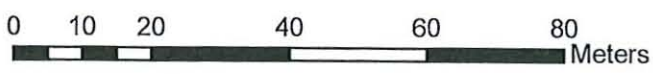
Chris Larson, MCP
Planning and Development Officer




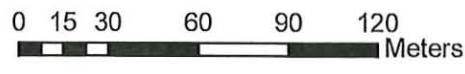
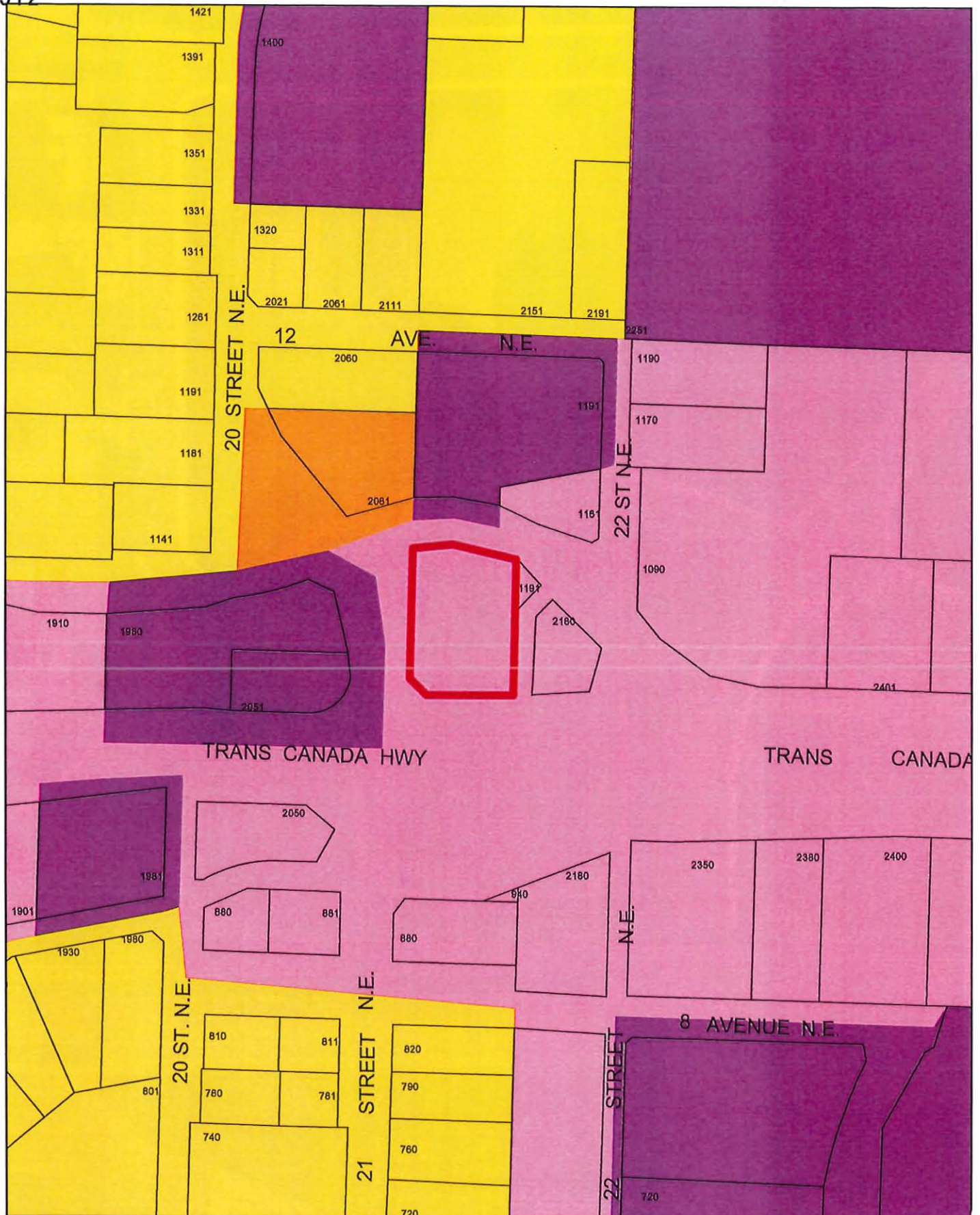
Kevin Pearson, MCIP, RPP
Director of Development Services








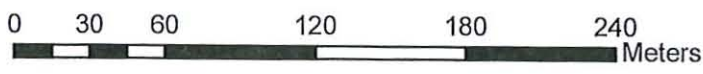
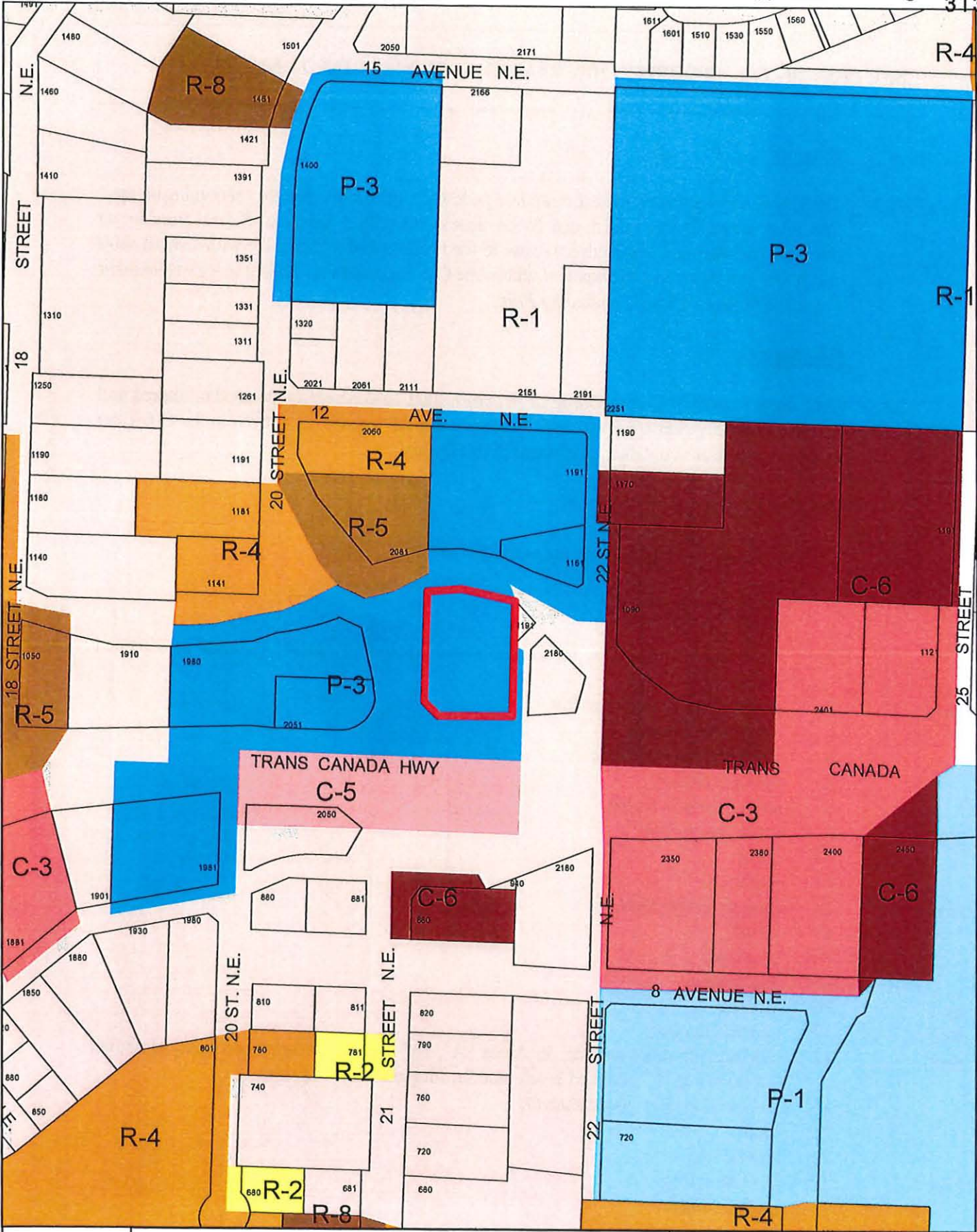
Subject Parcel




 Subject Parcel



-  Subject Parcel
-  Institutional
-  Residential High Density
-  Residential Medium Density
-  Commercial - H / T



 Subject Parcel

SECTION 20 - C-6 - TOURIST / RECREATION COMMERCIAL ZONE

Purpose

- 20.1 The C-6 Zone is intended to accommodate pedestrian oriented tourist/recreation businesses. The area zoned C-6 is envisioned to be developed with a mixture of land uses in an integrated manner and is intended to cater to the resident and tourist alike with a small shop and resort atmosphere. *Development* within the C-6 Zone shall be subject to a *Development Permit* as per the *Official Community Plan*.

Regulations

- 20.2 On a *parcel zoned C-6*, no *building* or *structure* shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the C-6 Zone or those regulations contained elsewhere in this Bylaw.

Permitted Uses

- 20.3 The following uses and no others are permitted in the C-6 Zone:

- | | | |
|-------|-----|--|
| | .1 | art gallery; |
| | .2 | banking kiosk; |
| | .3 | boat and marine sales, repair and rental, including outside covered or screened storage; |
| #3637 | .4 | <i>commercial daycare facility</i> |
| | .5 | convention centre; |
| | .6 | craft making and sales; |
| | .7 | farmers market; |
| | .8 | <i>health service centre;</i> |
| #2782 | .9 | <i>home occupation;</i> |
| | .10 | <i>hotel;</i> |
| | .11 | library; |
| #3223 | .12 | <i>licensee retail store;</i> |
| | .13 | <i>motel;</i> |
| | .14 | museum; |
| | .15 | night club; |
| #3426 | .16 | <i>offices;</i> |
| #2837 | .17 | <i>outside vending;</i> |
| #3163 | .18 | parkade/off-street parking, in Areas "A", "B" and "C" [Waterfront Area] as shown on Schedule "C" attached hereto and forming part of this bylaw. |
| | .19 | <i>personal service establishment;</i> |
| | .20 | pub; |
| | .21 | <i>public use;</i> |
| #3060 | .22 | <i>private utility;</i> |
| | .23 | <i>public utility;</i> |

SECTION 20 - C-6 - TOURIST / RECREATION COMMERCIAL ZONE - CONTINUED

	.24	<i>recreation facility - indoor;</i>
	.25	<i>recreation facility - outdoor;</i>
#3517	.26	<i>resort accommodation;</i>
	.27	<i>restaurant;</i>
#4005	.28	<i>retail store;</i>
	.29	<i>theatre;</i>
#2554	.30	<i>upper floor dwelling units;</i>
#3167	.31	<i>work/live studios; and</i>
	.32	<i>accessory use.</i>

Accessory Uses

#2554	20.4	.1	Outside storage and <i>warehouse</i> facilities are only permitted within Area "B" as shown on Schedule "C" attached to and forming part of this Bylaw.
#3426			

Maximum Height of Principal Buildings

#2748	20.5	The maximum <i>height of principal buildings</i> shall be 19.0 metres (62.3 feet).
-------	------	--

Maximum Height of Accessory Buildings

	20.6	The maximum <i>height of accessory buildings</i> shall be 6.0 metres (19.7 feet).
--	------	---

Minimum Parcel Size or Site Area

	20.7	The minimum <i>parcel size or site area</i> shall be 325.0 square metres (3,498.4 square feet).
--	------	---

Minimum Parcel or Site Width

	20.8	The minimum <i>parcel or site width</i> shall be 10.0 metres (32.8 feet).
--	------	---

Minimum Setback of Principal and Accessory Buildings

	20.9	The minimum <i>setback</i> of the <i>principal</i> and <i>accessory buildings</i> from the:	
		.1	<i>Rear parcel line</i> adjacent to a residential <i>zone</i> shall be 3.0 metres (9.8 feet)
		.2	<i>Interior side parcel line</i> adjacent to a residential <i>zone</i> shall be 3.0 metres (9.8 feet)

SECTION 20 - C-6 - TOURIST / RECREATION COMMERCIAL ZONE - CONTINUED

Outside Storage

20.10 Outside storage shall be screened as per Appendix III.

Parking and Loading

20.11 Parking and loading shall be required as per Appendix I.



View east of subject property from the corner of 20 Street and 11 Avenue NE.



View southwest of subject property from the corner of 22 Street and 11 Avenue NE.



Your File #: ZON-1182
eDAS File #: 2020-03510
Date: Aug/07/2020

City of Salmon Arm
Development Services
500 2nd Avenue NE
PO Box 40
Salmon Arm, BC V1E 4N2
Canada

Attention: City of Salmon Arm, Development Services

Re: **Proposed Bylaw for:**
LOT A 24-20-10 W6M KDYD PLAN EPP97409

Thank you for the above noted referral.

Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

If you have any questions please feel free to call Tara Knight at (250) 833-3374.

Yours truly,

Tara Knight
Development Officer

Local District Address
Salmon Arm Area Office Bag 100 850C 16th Street NE Salmon Arm, BC V1E 4S4 Canada Phone: (250) 712-3660 Fax: (250) 833-3380

**CITY OF
SALMON ARM**

*Memorandum from the
Engineering and Public
Works Department*

TO: Kevin Pearson, Director of Development Services
DATE: August 20, 2020
Amended October 10, 2020
PREPARED BY: Matt Gienger, Engineering Assistant
OWNER: **Cornerstone Christian Reformed Church, Inc.,**
1191 22 Street NE Salmon Arm, BC, V1E 2V5
APPLICANT: **Roodzant, J., 5041 50 Street NW, Salmon Arm, BC, V1E 3A6**
SUBJECT: **ZONING AMENDMENT APPLICATION NO. ZON-1182**
SUBDIVISION APPLICATION NO. SUB-20.08
LEGAL: Lot A, Section 24, Township 20, Range 10, W6M KDYD, Plan EPP97409
CIVIC: **1191 – 22 Street NE**

Further to your referral dated July 22, 2020, we provide the following servicing information. **The following comments and servicing requirements are not conditions for Rezoning; however, these comments are conditions of subdivision and are provided as a courtesy in advance of any development proceeding to the next stages:**

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.

ZONING AMENDMENT APPLICATION NO. ZON-1182
SUBDIVISION APPLICATION NO. SUB-20.08

October 5, 2020

Page 2

8. At the time of building permit the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
9. For the off-site improvements at the time of subdivision the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of subdivision approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 11 Avenue NE, on the subject property's southern and northern boundary, is designated as an Urban Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
2. 11 Avenue NE is currently constructed to an Interim Local Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to, offset sidewalk on south side of road (proposed zoning for south parcel requires sidewalk on both sides of road), boulevard construction, street lighting, and hydro and telecommunications. Offsets and streetlight specifications to conform to Specification Drawing No. RD-3. Owner / Developer is responsible for all associated costs.
3. 12 Avenue NE, on the subject property's northern boundary, is designated as an Urban Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
4. 12 Avenue NE is currently constructed to an Interim Local Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to, fire hydrant and street lighting. Owner / Developer is responsible for all associated costs.
5. 21 Street NE, on the subject property's western boundary, is designated as an Urban Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
6. 21 Street NE is currently constructed to an Interim Local Road standard. Upgrading to an Urban Collector Road standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, separated sidewalk and boulevard construction. Foot traffic travelling south is encouraged to use the foot path on the subject parcel's eastern boundary and as such, sidewalk along 21 Street would only be required at the intersection of 21 Street NE and 11 Avenue NE for crosswalk access. Owner / Developer is responsible for all associated costs.

ZONING AMENDMENT APPLICATION NO. ZON-1182
SUBDIVISION APPLICATION NO. SUB-20.08
October 5, 2020
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7. 22 Street NE, on the subject property's eastern boundary, is designated as Urban Local Road standard, with an ultimate 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by BCLS).
8. 22 Street NE is currently constructed to an Interim Local Paved Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to, fire hydrant and street lighting. Owner / Developer is responsible for all associated costs.
9. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
10. A 3.0m by 3.0m corner cut is required to be dedicated at the intersection of 12 Avenue NE and 22 Street NE.
11. A 5.0m by 5.0m corner cut would typically be required at the intersection of 11 Avenue NE and 21 Street NE; however, the large boulevard and significant distance from property line to edge of road on the west side of the subject parcel deem a corner cut unnecessary at this time.
12. For the remaining parcel, existing accesses may remain, but no additional accesses will be allowed.
13. For the proposed parcel, accesses shall be designed by keeping to a minimum number. Only one (1) driveway access will be permitted onto 11 Avenue NE at existing letdown location (directly opposed to remaining parcel access from 11 Avenue NE). Existing letdown may be widened at time of building permit or development permit, subject to approval of City Engineer. Owner / Developer responsible for all associated costs.
14. Engineering staff recommend that a Section 219 Land Title Act Covenant be registered prior to Final Reading stipulating no future Development approval on the proposed parcel until a Traffic Impact Analysis (TIA) is provided to the satisfaction of the City Engineer with acknowledgement that the owner/applicant is responsible for any and all off-site improvements recommended by the TIA.

Water:

1. The subject property fronts a 250mm diameter Zone 2 watermain on 11 Avenue NE. No upgrades will be required at this time.
2. The subject property fronts a 150mm diameter Zone 2 watermain on 12 Avenue NE. No upgrades will be required at this time.
3. The subject property fronts a 350mm diameter Zone 2 watermain on footpath to the east. No upgrades will be required at this time.

ZONING AMENDMENT APPLICATION NO. ZON-1182**SUBDIVISION APPLICATION NO. SUB-20.08**

October 5, 2020

Page 4

4. The subject property fronts a 400mm diameter Zone 2 watermain on 22 Street NE. No upgrades will be required at this time.
5. No water main is present within the subject property's frontage on 21 Street NE. No upgrades will be required at this time.
6. Records indicate the remaining parcel is serviced from 22 Street NE. Service install date of 1982 is recorded. Size and condition of existing service is unknown. If City finds the existing connection is undersized for current demand, upgrade to the service will be required. Owner / Developer responsible for all associated costs.
7. Records indicate that the proposed parcel is not currently serviced by City Water.
8. The proposed parcel is to be serviced by a single metered water service connection (as per Specification Drawing No. W-11), adequately sized to satisfy the proposed use (minimum 25mm). Because proposed use and demand is not known at this time, installing a new water service will not be required for subdivision. A covenant stating the parcel is not connected to water is required for subdivision and connection will be required at the time of building permit. Water meter will be supplied by the City at the time of building permit. Owner / Developer is responsible for all associated costs.
9. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
10. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property fronts a 200mm diameter sanitary main on 12 Avenue NE. No upgrades will be required at this time.
2. A 200mm sanitary main terminates at the western extent of the subject property's frontage on 11 Avenue NE. City has no plans to develop the parcel at 2180 11 Avenue NE (east of the subject parcel) and therefore no extension or upgrades will be required at this time.
3. The subject property fronts a 150mm diameter sanitary main on 22 Street NE. No upgrades will be required at this time.
4. No sanitary main is present within the subject property's frontage on 21 Street NE. No upgrades or extension of main will be required at this time.
5. Records indicate that the remaining parcel is serviced by a 100mm service from the sanitary main on 12 Avenue NE. No upgrades are required at this time.
6. Records indicate that the proposed parcel is serviced by a 100mm service (to be confirmed) from the sanitary main on 11 Avenue NE. No upgrades are required at this time.

ZONING AMENDMENT APPLICATION NO. ZON-1182**SUBDIVISION APPLICATION NO. SUB-20.08**

October 5, 2020

Page 5

Drainage:

1. The subject property fronts a 525mm diameter storm main on 11 Avenue NE. No upgrades will be required at this time.
2. The subject property fronts a 600mm diameter storm main on 12 Avenue NE. No upgrades will be required at this time.
3. The subject property fronts a 600mm diameter storm main on 22 Street NE. No upgrades will be required at this time.
4. No storm main is present within the subject property's frontage on 21 Street NE. No upgrades or extension of main will be required at this time
5. Records indicate that the remaining parcel is serviced from the storm sewer on 12 Avenue NE. No upgrades are required at this time.
6. Records indicate that the proposed parcel is serviced by a 150mm storm service (size to be confirmed) from the sanitary sewer on 11 Avenue NE. No upgrades are required at this time.
7. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), is required.



Matt Gienger
Engineering Assistant



Jenny Wilson P.Eng., LEED® AP
City Engineer

10. INTRODUCTION OF BYLAWS

2. City of Salmon Arm Zoning Amendment Bylaw No. 4405 [ZON-1182; Cornerstone Christian Reformed Church/J. Roodzant; 1191 22 Street NE; P-3 to C-6] - First and Second Readings

0445-2020

Moved: Councillor Flynn
Seconded: Councillor Cannon
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4405 be read a first and second time;

AND THAT: final reading be withheld subject to Ministry of Transportation and Infrastructure approval.

Amendment:

Moved: Councillor Lavery
Seconded: Councillor Wallace Richmond
THAT: Council require a Traffic Impact Assessment prior to Public Hearing with the applicant being responsible for all associated costs.

DEFEATED

Mayor Harrison, Councillors Cannon and Flynn Opposed

Amendment:

Moved: Councillor Eliason
Seconded: Councillor Wallace Richmond
THAT: a Section 219 Covenant be registered on title of the subject property requiring a Traffic Impact Assessment prior to development of the property.

DEFEATED

Mayor Harrison, Councillors Cannon and Flynn Opposed

Amendment:

Moved: Councillor Lavery
Seconded: Councillor Wallace Richmond
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4405 be read a first time.

CARRIED

Councillors Cannon and Flynn Opposed

Motion as Amended:

CARRIED UNANIMOUSLY

From: Amy Megyesi <dramymegyesi@gmail.com>

Sent: November 2, 2020 11:29 AM

To: Alan Harrison <aharrison@salmonarm.ca>; Debbie Cannon <dcannon@salmonarm.ca>; Chad Eliason <celiason@salmonarm.ca>; Kevin Flynn <kflynn@salmonarm.ca>; Tim Lavery <tlavery@salmonarm.ca>; Louise Wallace-Richmond <lwallacerichmond@salmonarm.ca>

Cc: Alexandra Enns <alex.enns@outlook.com>

Subject: Request for Traffic Impact Analysis for property to be rezoned/subdivided from Cornerstone Christian Reform Church

Dear Sirs and Mesdames:

Further to the October 13 Council meeting, I am requesting your support to waive the request for a Traffic Impact analysis on the above noted property. (1191 22 St NE). Should the rezoning proceed, we are the intended purchasers.

The intended use of this property will be a medical clinic on the first floor and commercial offices on the second floor. We do not anticipate large volumes of vehicular traffic, especially in comparison with the surrounding current uses (school, grocery store, hotel.) As a rough estimate I would anticipate 6-8 clients per hour. The commercial office will largely be workers who are there all day long. Our peak periods are not anticipated to coincide with the school. We will have adequate on-site parking for our patients and staff.

Also Mr Roodzant (applicant from Cornerstone Church) assures me he has spoken with the Ministry of Transportation and they have no concerns regarding traffic and this property.

Requiring this additional step is going to increase our costs and really produce no meaningful result.

Respectfully yours,
Amy Megyesi



Dear Council Members,

On behalf of Cornerstone Christian Reformed Church, I request that city council accept the rezoning application without the requirement of completing a Traffic Impact Analysis.

We understand that some councilors have concerns about the traffic on 11th Avenue, and that they would like to receive an outside opinion from someone not connected with developing the property. It is also my understanding that this requirement typically comes from the city Engineering and Public Works department. This department has considered the request and did not anticipate any problems and did not request this study to be completed. It was stated that the intersection and pedestrian crosswalk have recently been upgraded and they are not concerned with this zoning.

We are currently entertaining an offer to purchase the property for the building of a doctor's office. We feel that this would be a fantastic use for this piece of property, bringing a beneficial service to the upper part of town. We also feel that this development would not add a significant traffic burden to the area.

We feel that imposing a traffic study on a road that has recently been studied and improved, will not provide any benefit for the extra work and cost involved.

Respectfully,
Ed Roodzant



On behalf of
Cornerstone Christian Reformed Church.

-----Original Message-----

From: June Stewart

Sent: December-08-20 6:28 PM

To: Caylee Simmons

Subject: Amendment to Zoning Bylaw 2303

I do not have any objections to the rezoning but ask that the City of Salmon Arm ensure that consideration is given to providing a traffic circle at the intersection of 11 Ave NE and 20 Street NE, which forms one border of the property in question.

One adjoining property was built on last year, another property at the intersection is still vacant but with future plans for high density housing, and the subject property forms a third boundary. 20th Street is one of the few north/south connector roads and additional development will only add pressure to the intersection. Take planning action now, so it doesn't become another Okanagan and 20th Street problem.

June Stewart

7-2060 12 Avenue NE

Salmon Arm

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Item 23.2

CITY OF SALMON ARMDate: December 14, 2020**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing by electronic means on **Monday, December 14, 2020 at 7:00 p.m.** Please see the information below on how to participate if you deem your interest to be affected by the proposed bylaw.

2) Proposed Amendment to Zoning Bylaw No 2303:

Rezone Lot 29, Section 12, Township 20, Range 10, W6M, KDYD, Plan EPP83069 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

Civic Address: 1140 - 17 Avenue SE
Location: East of 10 Street SE on the south side of 17 Avenue SE
Present Use: Vacant land
Proposed Use: Secondary Suite within a new Single Family Dwelling
Owner/Applicant: South Central Electric Ltd.
Reference: ZON-1189/ Bylaw No. 4417



The file for the proposed bylaw is available for inspection on our website at www.salmonarm.ca.

Those who deem their interest affected by the proposed bylaw are urged to contact the Development Services Department by telephone at 250-803-4010 to obtain the facts of the proposal prior to the Public Hearing. Pursuant to Ministerial Order No. M192 made under the *Emergency Program Act*, R.S.B.C. 1996, C.111, S. 10, Council will not be allowing members of the public to attend this meeting. If you wish to provide input with respect to this Bylaw or to attend virtually email cityhall@salmonarm.ca.

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Erin Jackson, Director of Corporate Services

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF
SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: November 9, 2020

Subject: Zoning Bylaw Amendment Application No. 1189

Legal: Lot 29, Section 12, Township 20, Range 10, W6M, KDYD, Plan EPP83069

Civic: 1140 – 17 Avenue SE

Owner/Applicant: South Central Electric Ltd.

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 29, Section 12, Township 20, Range 10, W6M, KDYD, Plan EPP83069 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT the Motion for Consideration be adopted.

PROPOSAL

The subject parcel is located at 1140 – 17 Avenue SE in the new Byersview Subdivision (Appendix 1 & 2). The proposal is to rezone the parcel from R-1 (Single Family Residential) to R-8 (Residential Suite) to permit a secondary suite within a new single family dwelling. Site photos are attached as Appendix 3.

BACKGROUND

The subject parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-1, Single Family Residential in the Zoning Bylaw (Appendix 4 & 5). The neighbourhood is largely comprised of R-1 zoned parcels containing single family dwellings. There are four other lots in the subdivision with R-8 zoning for secondary suites in new houses. There are still many larger rural properties zoned A-2 to the south and west of Byersview. In 2019, a large A-2 zoned parcel to the east was rezoned to R-8 in preparation for a future, 40-lot subdivision.

The subject parcel has an area of 882 m² (.22 acres) and a parcel width of 19.86 m (65 ft). The size and width of the subject property can meet the conditions as specified within the proposed R-8 Zone.

The applicant wishes to construct a new house with a secondary suite on the lower level. Building plans have been submitted, see Appendix 6. The lower level floor plan indicates the proposed suite to be 80 m² (864 ft²) and the site plan shows a double car garage and a driveway with a width of 13.4 m (44 ft). Although the driveway width can easily accommodate an extra parking space for the suite, additional suite parking is shown on the site plan adjacent to the eastern parcel line. There is a 3 metre easement where the additional suite parking is proposed. The easement is for securing sanitary and storm services located on private property and the applicant has indicated this parking area will be of gravel to provided unobstructed access to the easement area.

Policy 8.3.25 of the OCP provides for the consideration of *secondary suites* in all residential designated areas subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTSEngineering Department

No Engineering Department concerns.

Building Department

BC Building Code will apply. No concerns with proposed zoning.

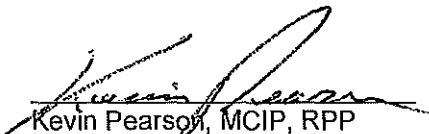
Fire Department

No response to date.

Planning Department

The proposed R-8 zoning is consistent with the OCP and therefore supported by staff. The plans provided indicate the requirements specified in the R-8 Zone are achievable, including the provision of onsite parking. Development of a dwelling with a secondary suite requires a building permit and is subject to meeting Zoning Bylaw and BC Building Code regulations.

Report by: Denise Ackerman, Planner



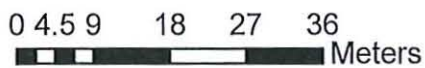
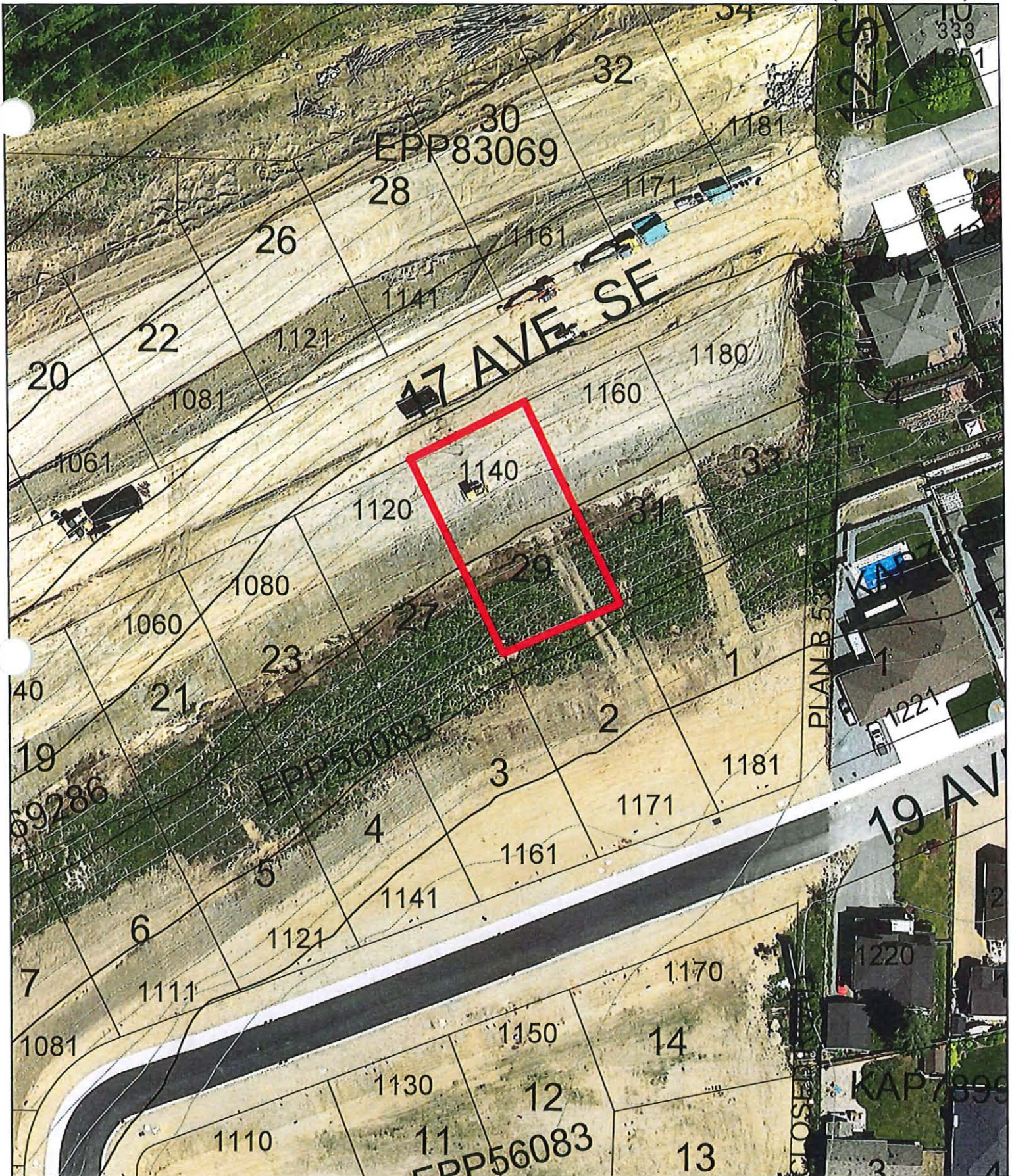
Kevin Pearson, MCIP, RPP
Director of Development Services



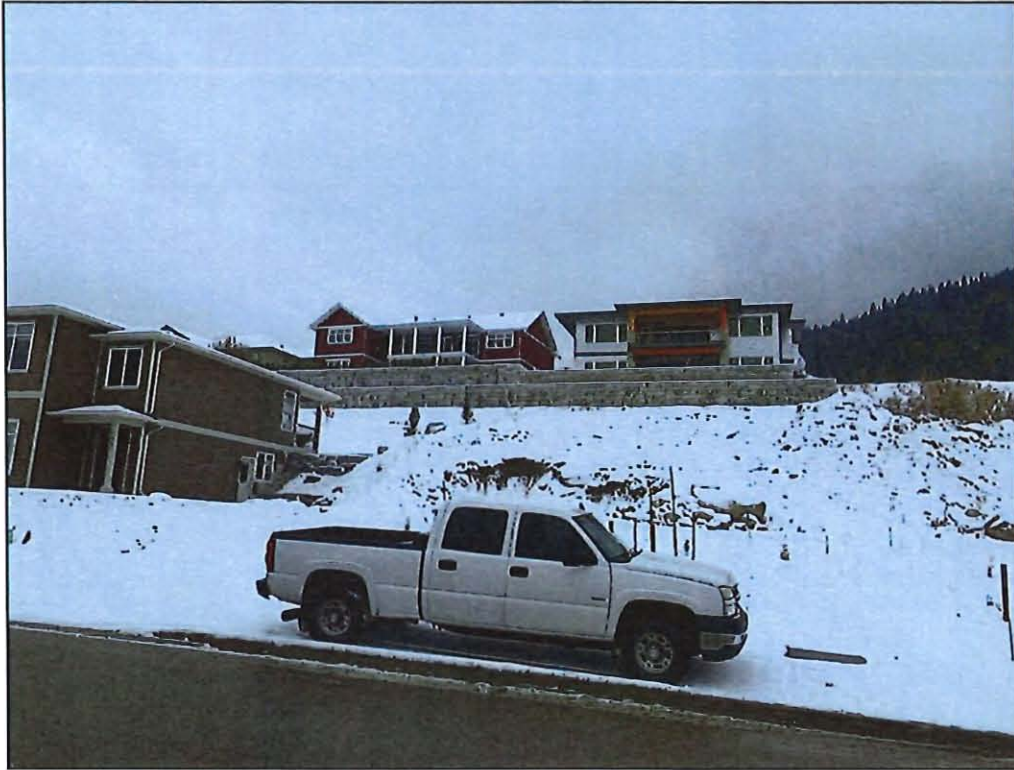
0 15 30 60 90 120
Meters



Subject Parcel



Subject Parcel



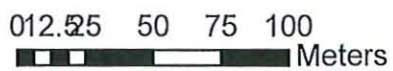
View of subject property looking south.



View of subject property looking southwest.



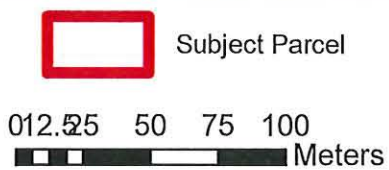
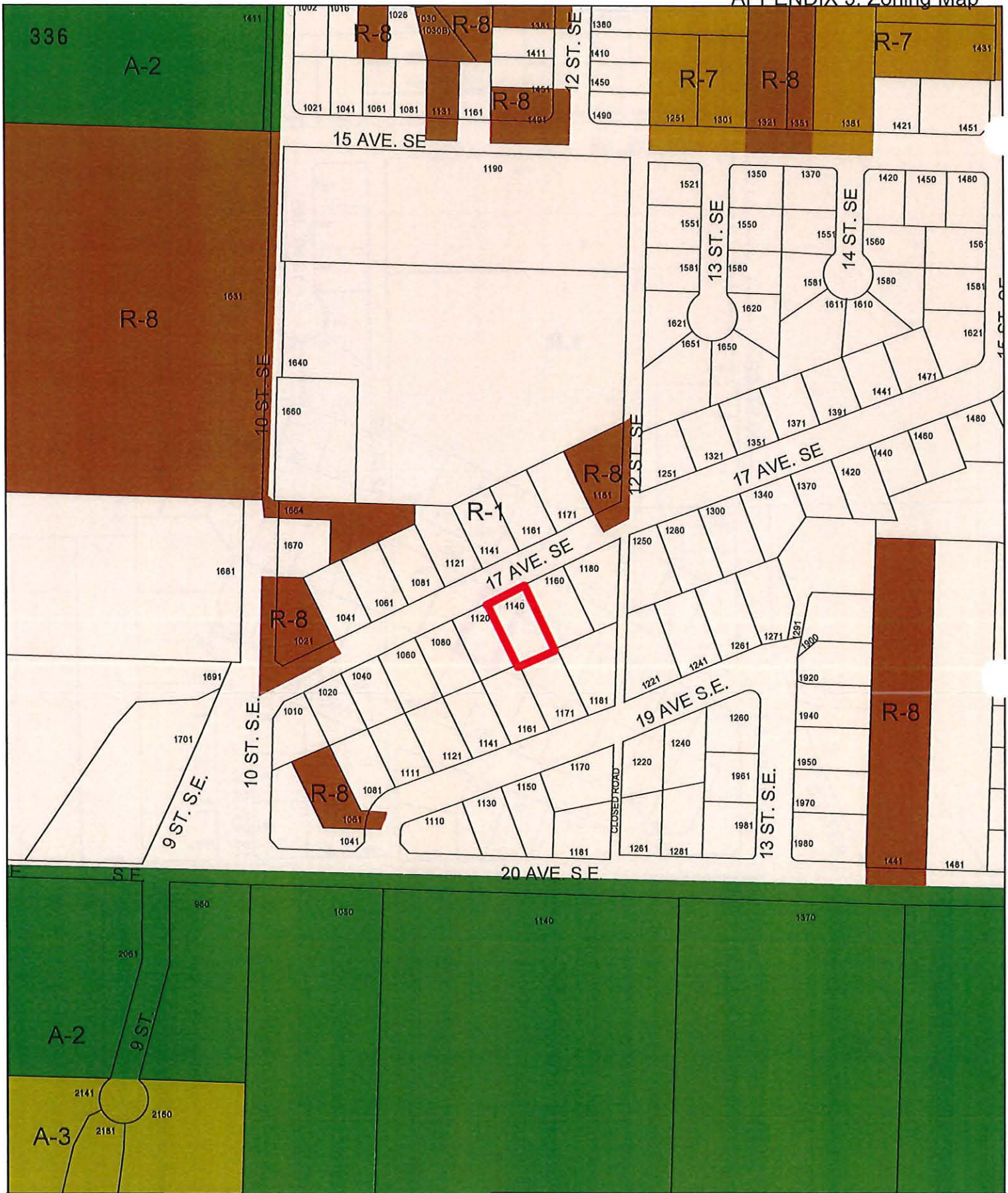
Subject Parcel



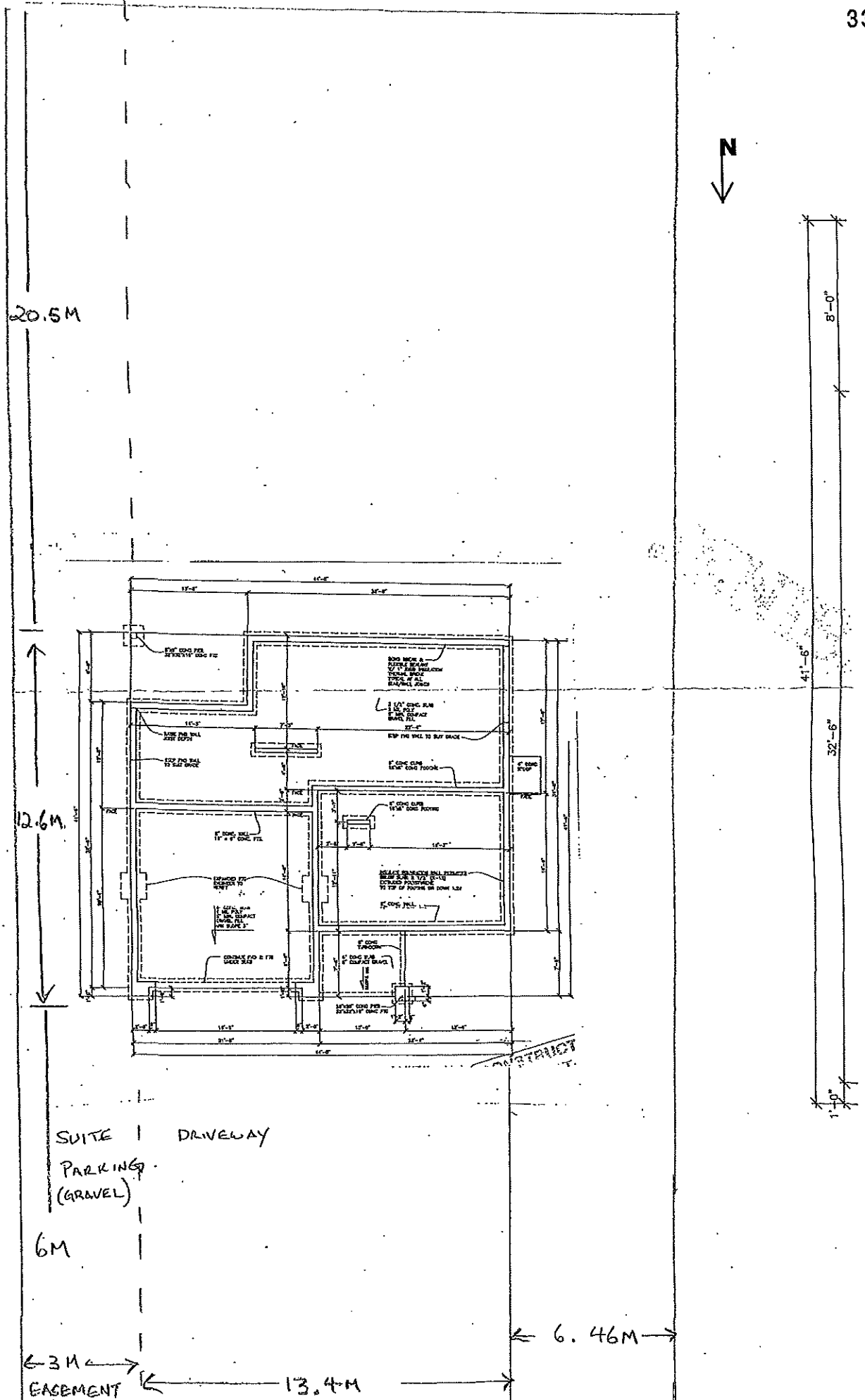
LR Low Density Residential



AR Acreage Reserve



- | | | | |
|---|-------------------------------|---|---|
|  | R-1 Single Family Residential |  | R-8 Residential Suite |
|  | A-2 Rural Holding |  | R-7 Large Lot Single Family Residential |
|  | A-3 Small Holding | | |



20.5M

12.6M

6M

← 3M ←
EASEMENT

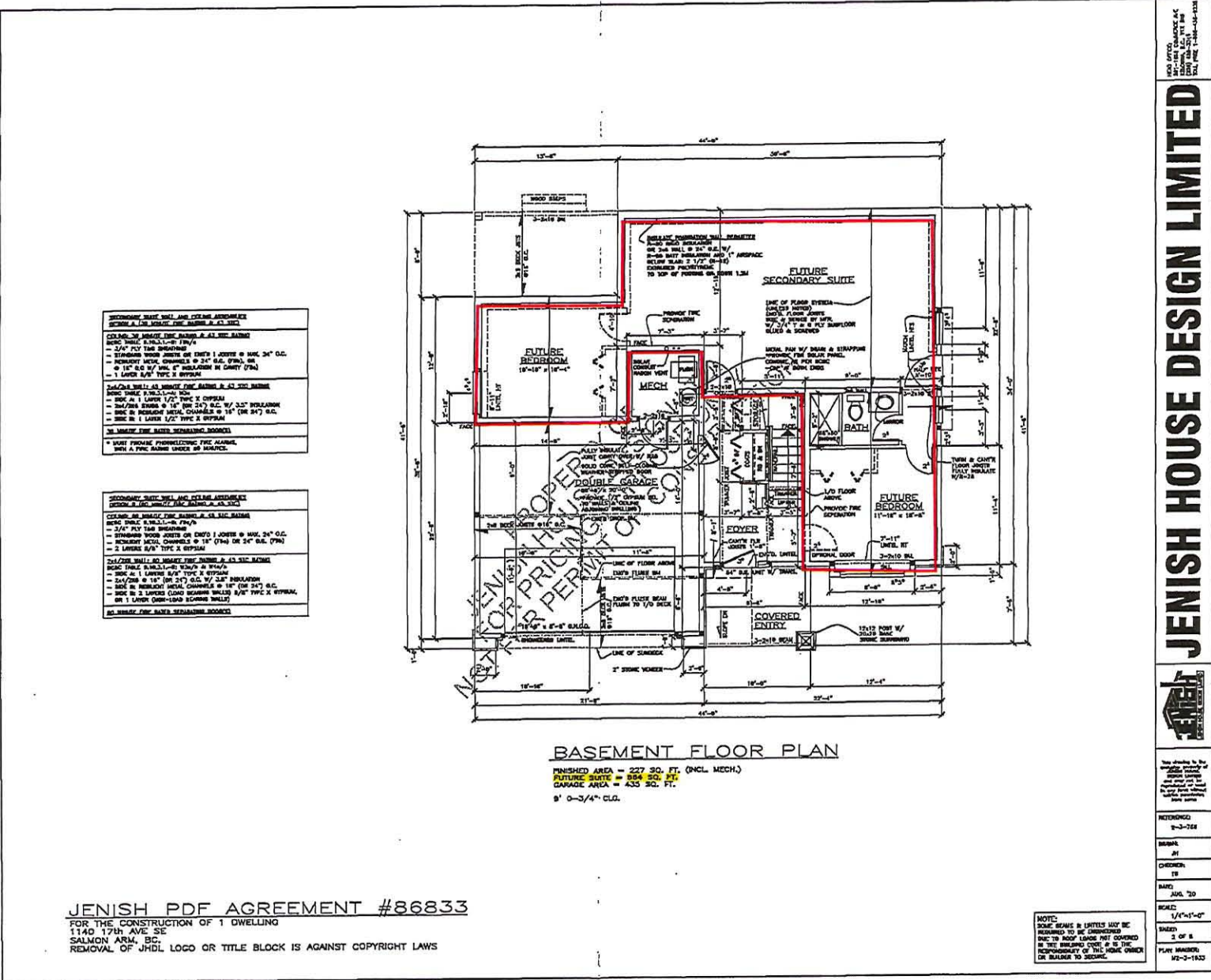
13.4M

← 6.46M →



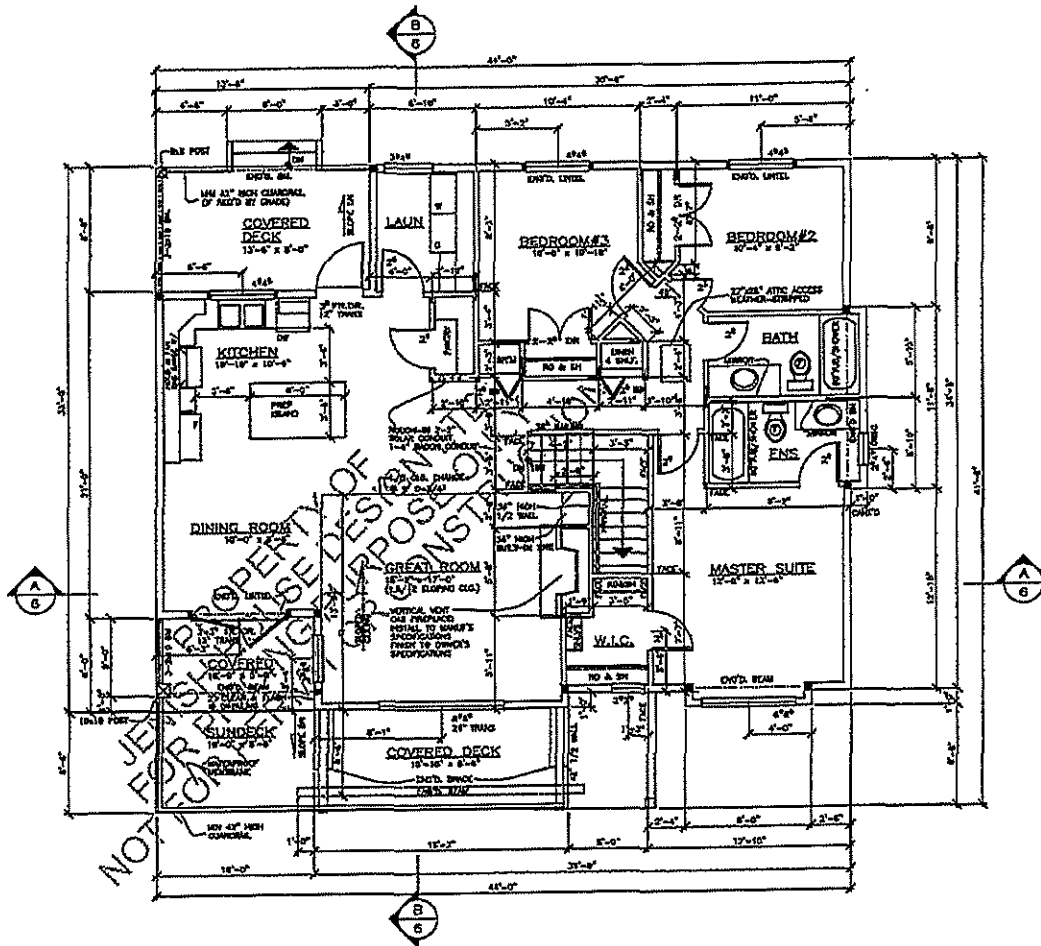
SUITE | DRIVEWAY
PARKING
(GRAVEL)

CONTRACT



JENISH PDF AGREEMENT #86833
 FOR THE CONSTRUCTION OF 1 DWELLING
 1140 17th AVE. SE
 SALMON ARM, BC
 REMOVAL OF JHD LOGO OR TITLE BLOCK IS AGAINST COPYRIGHT LAWS

1140 17th AVE. SE
 SALMON ARM, BC
 V2L 1P8
 TEL: 250-835-1833
 FAX: 250-835-1833



MAIN FLOOR PLAN

FINISHED AREA = 1374 SQ. FT.
9" 0-3/4" C.L.O.

NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

JENISH HOUSE DESIGN LIMITED



No design or construction shall be undertaken without the written consent of the architect.

REFERENCE:	3-5-768
DRAWN:	JH
CHECKED:	ZH
DATE:	ADD '98
SCALE:	1/8"=1'-0"
SHEET:	3 OF 4
PLAN NUMBER:	303-3-1633

NOTE:
SOME ROOMS & WALLS MAY BE REQUIRED TO BE ENLARGED DUE TO ROOM LAYOUT NOT COVERED BY THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.

JENISH PDF AGREEMENT #86833

FOR THE CONSTRUCTION OF 1 DWELLING
1140 17th AVE SE
SALMON ARM, BC
REMOVAL OF JHDJ LOGO OR TITLE BLOCK IS AGAINST COPYRIGHT LAWS

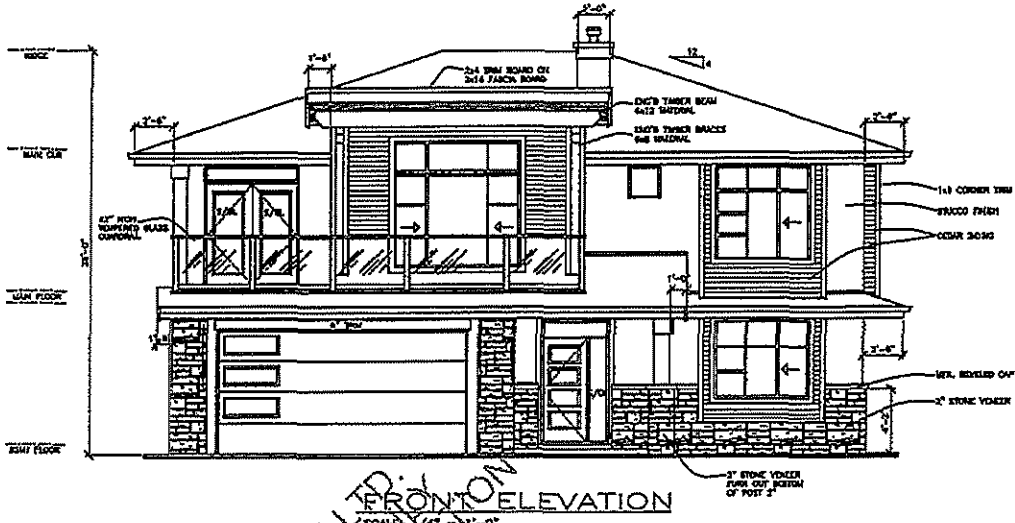
FOR INFO: CONTACT AT 1140 17TH AVE SE SALMON ARM, BC V8G 1A1 TEL: 250-833-1422

JENISH HOUSE DESIGN LIMITED

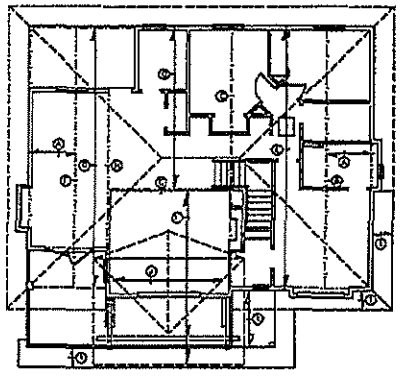


WE DESIGN & BUILD
 RESIDENTIAL HOMES
 COMMERCIAL BUILDINGS
 AND INDUSTRIAL FACILITIES
 WITH CARE AND
 WITH PASSION

REVISED	2-3-2014
DRAWN	JM
CHECKED	TR
DATE	AUG '10
BUILD	AS NOTED
SHEET	4 OF 8
PLAN NUMBER	30-3-1423



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

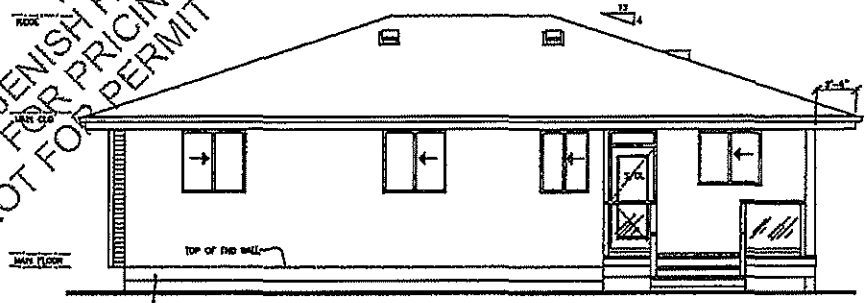


- MAIN ROOF**
- ① - JACK TRUSSES @ 24" O.C.
 - ② - HP BRICK TRUSSES
 - ③ - KROCK TRUSSES
 - ④ - BOBAIL ROOF TRUSSES @ 24" O.C.
 - ⑤ - ROOF TRUSSES @ 24" O.C.
 - ⑥ - 3-POST BOWING HP CHECK TRUSSES
 - ⑦ - 3-POST BOWING TRUSSES
 - ⑧ - BOWING CHECK TRUSSES
 - ⑨ - 2x12 ROOF JOISTS @ 24" O.C.
 - ⑩ - HANDRAIL OR VALLEY RST
- LOWER ROOF**
- ⑪ - JACK TRUSSES @ 24" O.C.

ROOF FRAME PLAN
 SCALE: 1/8" = 1'-0"

* TRUSS LAYOUT TO BE CHECKED, VENTED & ENGINEERED BY TRUSS MANUFACTURER

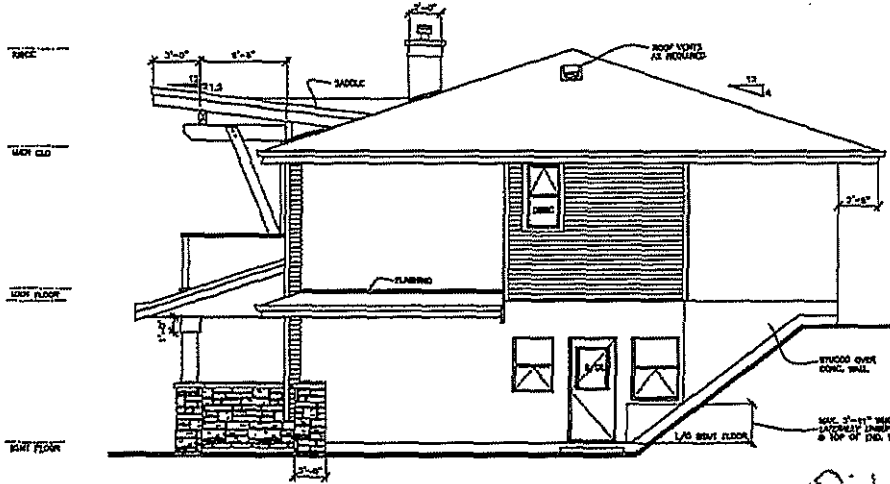
* POINTS FOR FINISH LOCATIONS OF 110 92, 75, 52 1/2" WOOD BOARDS PANEL



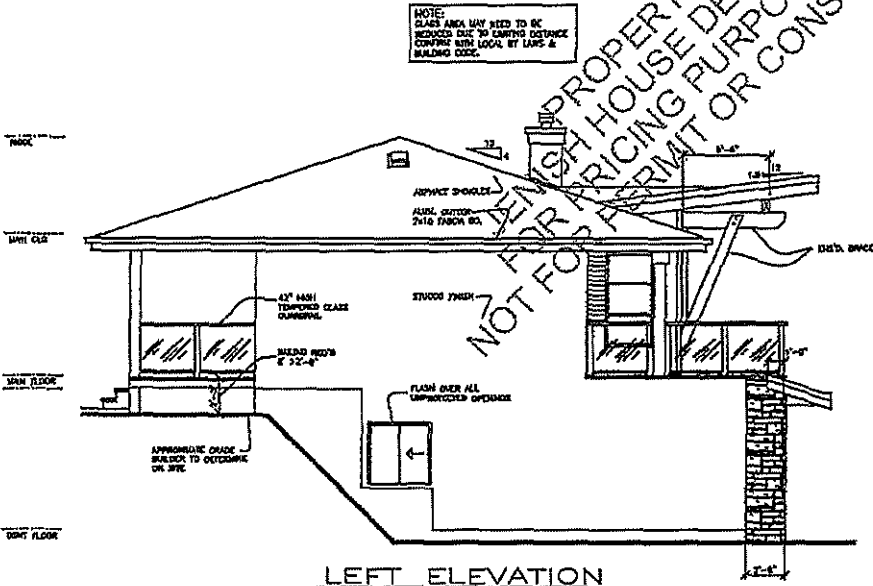
REAR ELEVATION
 SCALE: 1/4" = 1'-0"

JENISH PDF AGREEMENT #86833

FOR THE CONSTRUCTION OF 1 DWELLING
 1140 17TH AVE SE
 SALMON ARM, BC
 REMOVAL OF JHDL LOGO OR TITLE BLOCK IS AGAINST COPYRIGHT LAWS



RIGHT ELEVATION



LEFT ELEVATION

NOTE:
GLASS AREA MAY NEED TO BE REDUCED DUE TO LIGHTING DISTANCE CONTROL WITH LOGO BY L.A.S. & BUILDING CODE.

NOTE:
OWNER'S APPROXIMATE STRUCTURAL DETAILS AND WORK SPECIFICATIONS NOTED ON THIS DRAWING ARE SUBJECT TO DEPENDENCY ON LOCAL CONDITIONS.

GENERAL NOTES

STANDARD NOTES

- 1. THE FOLLOWING NOTES ARE TO BE READ WITH AND UNDER THE OTHER NOTES OF THIS DRAWING.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
- 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

FOUNDATIONS

- 1. FOUNDATIONS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.
- 2. FOUNDATIONS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.
- 3. FOUNDATIONS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.

WOOD FRAMING

- 1. ROOFING AND TRUSS SYSTEM SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.
- 2. ROOFING AND TRUSS SYSTEM SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.

STRUCTURAL DESIGN AND ENGINEERING

- 1. TO PROVIDE OUR CLIENTS WITH THE BEST SERVICE AND TO ENSURE THAT THE PROJECT IS COMPLETED ON TIME AND WITHIN BUDGET, WE WILL PROVIDE THE FOLLOWING SERVICES:
- 2. WE WILL PROVIDE THE FOLLOWING SERVICES:
- 3. WE WILL PROVIDE THE FOLLOWING SERVICES:

MECHANICAL AND ELECTRICAL

- 1. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.
- 2. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	Single Phase Line	(Symbol)	Single Phase Line
(Symbol)	Three Phase Line	(Symbol)	Three Phase Line
(Symbol)	Ground	(Symbol)	Ground
(Symbol)	Light	(Symbol)	Light
(Symbol)	Switch	(Symbol)	Switch
(Symbol)	Outlet	(Symbol)	Outlet
(Symbol)	Panel	(Symbol)	Panel
(Symbol)	Transformer	(Symbol)	Transformer
(Symbol)	Motor	(Symbol)	Motor
(Symbol)	Relay	(Symbol)	Relay
(Symbol)	Control	(Symbol)	Control
(Symbol)	Alarm	(Symbol)	Alarm
(Symbol)	Indicator	(Symbol)	Indicator
(Symbol)	Terminal	(Symbol)	Terminal
(Symbol)	Bus	(Symbol)	Bus
(Symbol)	Breaker	(Symbol)	Breaker
(Symbol)	Generator	(Symbol)	Generator
(Symbol)	Transformer	(Symbol)	Transformer
(Symbol)	Motor	(Symbol)	Motor
(Symbol)	Relay	(Symbol)	Relay
(Symbol)	Control	(Symbol)	Control
(Symbol)	Alarm	(Symbol)	Alarm
(Symbol)	Indicator	(Symbol)	Indicator
(Symbol)	Terminal	(Symbol)	Terminal
(Symbol)	Bus	(Symbol)	Bus
(Symbol)	Breaker	(Symbol)	Breaker
(Symbol)	Generator	(Symbol)	Generator

MECHANICAL AND ELECTRICAL

- 1. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.
- 2. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE CONSTRUCTED OF SOLID REINFORCED CONCRETE ON GRADE OR PIER FOUNDATION.

JENISH PDF AGREEMENT #86833
FOR THE CONSTRUCTION OF 1 DWELLING
1140 17th AVE SE
SALMON ARM, BC
REMOVAL OF JHD, LOGO OR TITLE BLOCK IS AGAINST COPYRIGHT LAWS

JENISH HOUSE DESIGN LIMITED



APPENDIX 6: Building Plans
341

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Item 24.1

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4405 be read a third time.

[ZON-1182; Cornerstone Christian Reformed Church/Roodzant, J.; 1191 22 Street NE; P-3 to C-6]

Vote Record

- Carried Unanimously
 - Carried
 - Defeated
 - Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4405

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on _____, 2020 at the hour of 7:00 p.m. was published in the _____ and _____, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot A, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP97409 from P-3 (Institutional Zone) to C-6 (Tourist / Recreation Commercial Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4405"

READ A FIRST TIME THIS 13 DAY OF October 2020

READ A SECOND TIME THIS 9 DAY OF November 2020

READ A THIRD TIME THIS DAY OF 2020

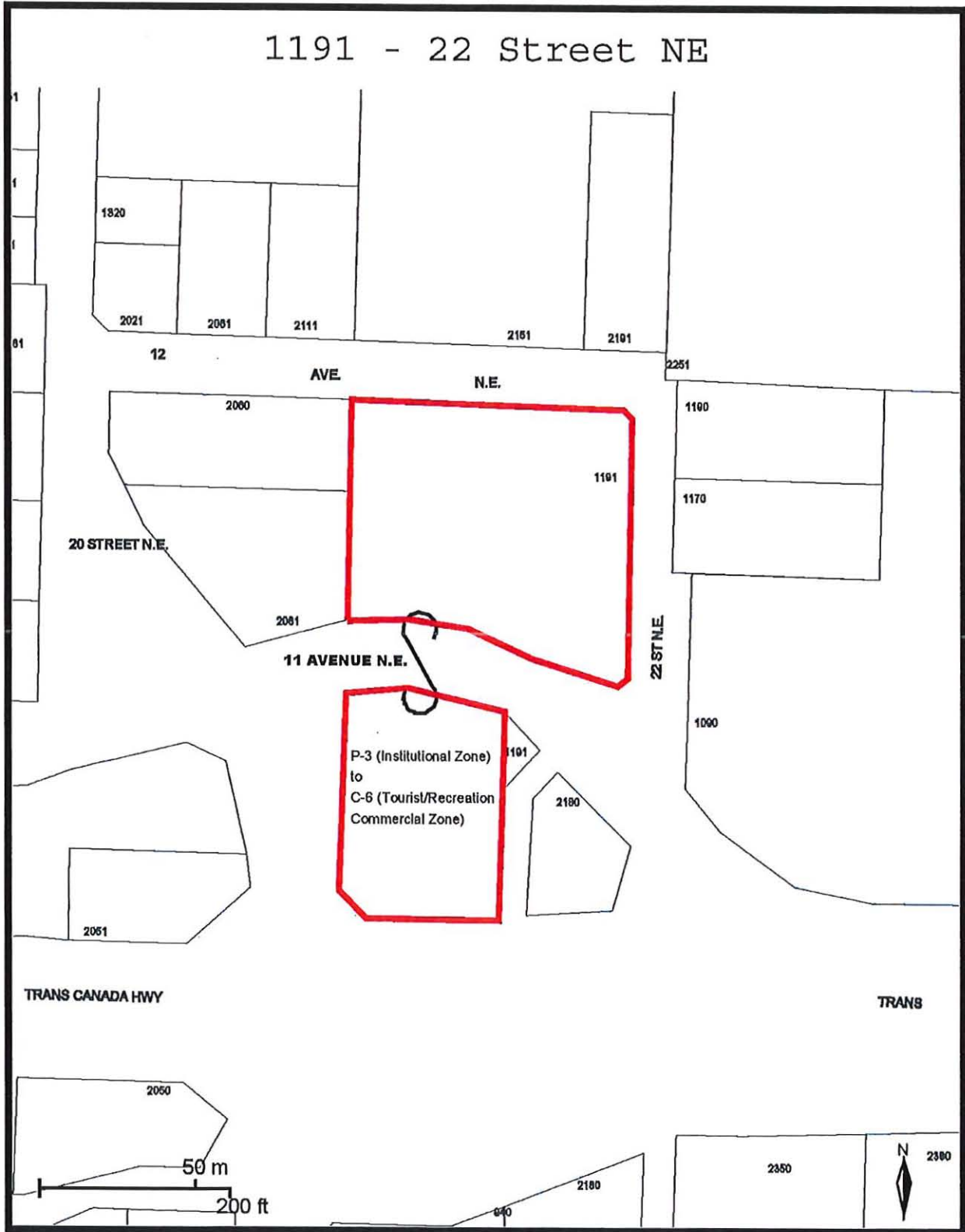
APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF 2020

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2020

MAYOR

CORPORATE OFFICER



Item 24.2

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4417 be read a third and final time.

[ZON-1189; South Central Electric Ltd.; 1140 17 Avenue SE; R1 to R8]

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously

Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

CITY OF SALMON ARM**BYLAW NO. 4417****A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"**

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means as authorized by Ministerial Order M192, British Columbia, on _____, 2020 at the hour of 7:00 p.m. was published in the _____ and _____, 2020 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 29, Section 12, Township 20, Range 10, W6M, KDYD, Plan EPP83069 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4417"

READ A FIRST TIME THIS	23	DAY OF	November	2020
READ A SECOND TIME THIS	23	DAY OF	November	2020
READ A THIRD TIME THIS		DAY OF		2020
ADOPTED BY COUNCIL THIS		DAY OF		2020

MAYOR

CORPORATE OFFICER

Item 26.

CITY OF SALMON ARM

Date: December 14, 2020

Moved: Councillor Cannon

Seconded: Councillor Lindgren

THAT: the Regular Council Meeting of December 14, 2020, be adjourned.

Vote Record

- Carried Unanimously
- Carried
- Defeated
- Defeated Unanimously
- Opposed:

- Harrison
- Cannon
- Eliason
- Flynn
- Lavery
- Lindgren
- Wallace Richmond

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