

# **AGENDA**

## **Regular Council Meeting**

**Monday, March 26, 2018**

**1:30 p.m.**

***[Public Session Begins at 2:30 p.m.]***

**Council Chamber of City Hall**

**500 – 2 Avenue NE**

<b>Page #</b>	<b>Item #</b>	<b>Description</b>
	1.	<b>CALL TO ORDER</b>
1 - 2	2.	<b>IN-CAMERA SESSION</b>
	3.	<b>ADOPTION OF AGENDA</b>
	4.	<b>DISCLOSURE OF INTEREST</b>
	5.	<b>PRESENTATIONS / DELEGATIONS</b>
3 - 4	1.	C. Grayston, General Manager, Chamber of Commerce - Visitor Centre Annual Report/Update
5 - 6	2.	K. MacMillan, President & E. Skelthorne, Director, Shuswap Theatre - Update
	6.	<b>CONFIRMATION OF MINUTES</b>
7 - 16	1.	Regular Council Meeting Minutes of March 12, 2018
	7.	<b>COMMITTEE REPORTS</b>
17 - 22	1.	Development and Planning Services Committee Meeting Minutes of March 19, 2018
23 - 26	2.	Court of Revision 2018 73 Avenue Water Main Extension Parcel Tax Assessments Meeting Minutes of March 12, 2018
27 - 30	3.	Court of Revision 2018 Transportation Parcel Tax Assessments Meeting Minutes of March 12, 2018
31 - 34	4.	Court of Revision 2018 Water and Sewer Frontage Tax Assessments Meeting Minutes of March 12, 2017
35 - 36	5.	Downtown Parking Commission Meeting Minutes of February 20, 2018

- 37 - 78      **8.      INTRODUCTION OF BYLAWS**
1.    a) City of Salmon Arm 2017 to 2021 Financial Plan Amendment Bylaw No. 4247 – First, Second and Third Readings
  - b) City of Salmon Arm Equipment Replacement Reserve Fund Expenditure Bylaw No. 4252 – First, Second and Third Readings
  - c) City of Salmon Arm Capital Expenditure Reserve Fund Expenditure Bylaw No. 4253 – First, Second and Third Readings
- 79 - 84      2.      Short Term Borrowing Bylaw No. 4244 – First, Second and Third Readings
- 85 - 88      3.      Revenue Anticipation Borrowing Bylaw No. 4259 – First, Second and Third Readings
- 89 - 102     4.      Zoning Amendment Bylaw No. 4254 [ZON-1123; Findlay, J. & R.; 4541 – 71 Avenue NE; R-1 to R-8] – First and Second Readings
- 103 - 116    5.      Zoning Amendment Bylaw No. 4255 [ZON-1122; Glanville, B. & Rose, A; 2621 – 30 Street NE; R-1 to R-8] – First and Second Readings
- 117 - 130    6.      Zoning Amendment Bylaw No. 4256 [ZON-1121; 1120170 BC Ltd. / Walters, R.; 1160 – 16 Street NE; R-1 to CD-7] – First and Second Readings
- 131 - 168    7.      Official Community Plan Amendment Bylaw No. 4257 [Wilmark Homes Ltd./Homecraft Construction Ltd./Onsite Engineering Ltd.; 6810 Park Hill Road NE] – First Reading
- 169 - 172    8.      Zoning Amendment Bylaw No. 4258 [ZON-1109; Wilmark Homes Ltd./Homecraft Construction Ltd./Onsite Engineering Ltd.; 6810 Park Hill Road NE; R-4 & R-7 to R-1] – First Reading
- 9.      RECONSIDERATION OF BYLAWS**
- 10.     CORRESPONDENCE**
- 173 - 174     1.      Informational Correspondence
- 175 - 178     2.      Honourable Mike Farnworth, Minister of Public Safety and Solicitor General - Cannabis Cost Sharing
- 11.     STAFF REPORTS**
- 179 - 182     1.      Chief Financial Officer – 2017 Yearend Surplus
- 183 - 188     2.      Chief Financial Officer – Debt Strategy and Capital Plan - Update
- 189 - 190     3.      Chief Administrative Officer – Chief Election Officer & Deputy Chief Election Officer Appointments
- 191 - 192     4.      Director of Engineering & Public Works – Park Picnic Tables Acquisition
- 193 - 194     5.      Director of Engineering & Public Works – New Aerator Purchase
- 195 - 198     6.      Director of Engineering & Public Works – 2018 Pavement Patching Program - Quote Award
- 199 - 206     7.      Corporate Officer – Shuswap Watershed Council Contribution Agreement Amendment



- 207 - 208      **12. NEW BUSINESS**  
                     1. Solar Photo Voltaic Pilot Project – Councillor Lavery
- 13. COUNCIL STATEMENTS**
- 14. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE**
- 15. SALMON ARM SECONDARY YOUTH COUNCIL**
- 16. NOTICE OF MOTION**
- 17. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS**
- 18. OTHER BUSINESS**
- 19. QUESTION AND ANSWER PERIOD**

**7:00 p.m.**

<b>Page #</b>	<b>Item #</b>	<b>Description</b>
	<b>20.</b>	<b>DISCLOSURE OF INTEREST</b>
	<b>21.</b>	<b>HEARINGS</b>
209 - 218	1.	Development Variance Permit No. VP-459 [City of Salmon Arm/Salmon Arm Folk Music Society/B. Hermanski; 541 - 3 Street SW; Setback Variance]
219 - 226	2.	Development Variance Permit No. VP-471 [Shmyr, J. & Weninger, J.; #27 - 481 Highway 97B NE; Site Coverage Variance]
227 - 246	3.	Development Variance Permit No. VP-468 [Unruh, D. & R./Hindbo Construction Group Inc.; 4431 - 17 Street NE; Accessory Building and Retaining Wall Height]
	<b>22.</b>	<b>STATUTORY PUBLIC HEARINGS</b>
247 - 266	1.	Zoning Amendment Application No. ZON-1115 [Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 17 Street NE; R-9 to R-8]
267 - 298	2.	Zoning Amendment Application No. ZON-1117 [Reimer, R. & R.; 791 - 5 Street SE; R-1 to R-4]
	<b>23.</b>	<b>RECONSIDERATION OF BYLAWS</b>
299 - 302	1.	Zoning Amendment Bylaw No. 4250 [ZON-1115; Unruh, D. & R./Hindbo Construction Group Inc.; 4431 - 17 Street NE; R-9 to R-8] - Third and Final Readings
303 - 306	2.	Zoning Amendment Bylaw No. 4251 [ZON-1117; Reimer, R. & R.; 791 - 5 Street SE; R-1 to R-4] - Third Reading

**24. QUESTION AND ANSWER PERIOD**

307 - 308 **25. ADJOURNMENT**

Item 2.

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: pursuant to Section 90(1) of the Community Charter, Council move In-Camera.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK



Item 5.1

## CITY OF SALMON ARM

Date: March 26, 2018

### PRESENTATION

Name: Corryn Grayston, Salmon Arm Chamber of Commerce  
Visitor Centre Annual Report/Update

#### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK

Item 5.2

## CITY OF SALMON ARM

Date: March 26, 2018

### PRESENTATION

Name: Kim MacMillan, President, Shuswap Theatre and  
Elizabeth Anne Skelhorne, Director, Shuswap Theatre  
Update

#### **Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK



Item 6.1

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Lavery

Seconded: Councillor Eliason

THAT: the Regular Council Meeting Minutes of March 12, 2018, be adopted as circulated.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

## REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chamber of the City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on Monday, March 12, 2018.

### PRESENT:

Mayor N. Cooper  
 Councillor L. Wallace Richmond  
 Councillor A. Harrison (entered the meeting at 2:30 p.m.)  
 Councillor C. Eliason  
 Councillor K. Jamieson

Chief Administrative Officer C. Bannister  
 Chief Financial Officer M. Dalziel  
 Corporate Officer E. Jackson  
 Director of Engineering & Public Works R. Niewenhuizen  
 Director of Development Services K. Pearson  
 Fire Chief B. Shirley  
 Recorder B. Puddifant

### ABSENT:

Councillor T. Lavery  
 Councillor K. Flynn

### 1. CALL TO ORDER

Mayor Cooper called the meeting to order at 1:30 p.m.

### 2. IN-CAMERA SESSION

0089-2018                      Moved: Councillor Eliason  
                                     Seconded: Councillor Harrison  
                                     THAT: Pursuant to Section 90 (1) of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:30 p.m.  
 Council returned to Regular Session at 2:10 p.m.  
 Council recessed until 2:30 p.m.

Councillor Harrison entered the meeting at 2:30 p.m.

### 3. REVIEW OF AGENDA

Addition under Item 18.1 – M. Simpson, Fraser Basin Council, Shuswap Local and Secwépemc Governments Community to Community Forum and Draft Communications Protocol Agreement.

4. DISCLOSURE OF INTEREST

5. PRESENTATIONS / DELEGATIONS

1. P. McIntyre-Paul, Executive Director, Shuswap Trail Alliance and J. Aitken, President, Salmon Arm Bay Nature Enhancement Society - Dogs on the Foreshore Trail Monitoring Update

Phil McIntyre-Paul, Executive Director, Shuswap Trail Alliance and Janet Aitken, President, Salmon Arm Bay Nature Enhancement Society provided an update on monitoring of dogs on the Foreshore Trail and were available to answer questions from Council.

6. CONFIRMATION OF MINUTES

1. Regular Council Meeting Minutes of February 26, 2018

0090-2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the Regular Council Meeting Minutes of February 26, 2018, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS

1. Development and Planning Services Committee Meeting Minutes of March 5, 2018

0091-2018

Moved: Councillor Harrison

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee Meeting Minutes of March 5, 2018, be received as information.

CARRIED UNANIMOUSLY

2. Greenways Liaison Committee Meeting Minutes of February 15, 2018

0092-2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: the Greenways Liaison Committee Meeting Minutes of February 15, 2018, be received as information.

CARRIED UNANIMOUSLY

## 8. INTRODUCTION OF BYLAWS

1. Zoning Amendment Bylaw No. 4250 [ZON-1115; Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 – 17 Street NE; R-9 to R-8] – First and Second Readings

0093-2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4250 be read a first and second time.

CARRIED UNANIMOUSLY

2. Zoning Amendment Bylaw No. 4251 [ZON-1117; Reimer, R. & R.; 791 – 5 Street SE; R-1 to R-4] – First and Second Readings

0094-2018

Moved: Councillor Jamieson

Seconded: Councillor Harrison

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4251 be read a first and second time;

AND THAT: final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

## 9. RECONSIDERATION OF BYLAWS

1. Fee for Service Amendment Bylaw No. 4249 [Airport Terminal Building Rental] – Final Reading

0095-2018

Moved: Councillor Jamieson

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4249 be read a final time.

CARRIED UNANIMOUSLY

## 10. CORRESPONDENCE

Councillor Jamieson left the meeting at 3:06 p.m.

Councillor Jamieson returned to the meeting at 3:08 p.m.

1. Informational Correspondence

20. G. McCune, Mayor, City of Enderby – letter dated February 20, 2018 – Revenue from Cannabis Sales – Equitable Share between Province and Local Government

0096-2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: Council authorize Councillor Eliason to work with the Corporate Officer to prepare a draft letter to the Minister of Public Safety and Solicitor General



**10. CORRESPONDENCE - continued****1. Informational Correspondence - continued****20. G. McCune, Mayor, City of Enderby - letter dated February 20, 2018 - Revenue from Cannabis Sales - Equitable Share between Province and Local Government - continued**

regarding revenue sharing from Cannabis sales between the Provincial and Local Governments, to be included on the March 26, 2018 Regular Council Meeting Agenda.

CARRIED UNANIMOUSLY

**11. STAFF REPORTS****1. Fire Chief - Sport Utility Vehicle**

0097-2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: Council award the purchase of the Sport Utility Vehicle, a 2018 4x4 Chevrolet Tahoe, to Salmon Arm GM in the amount of \$45,295.00 (plus applicable taxes and less trade-in value).

CARRIED UNANIMOUSLY

**2. Chief Administrative Officer - Shuswap Lakes Vacations Inc.**

0098-2018

Moved: Councillor Harrison

Seconded: Councillor Eliason

THAT: Council request the Inspector of Municipalities to authorize the City of Salmon Arm to reverse \$1,608.94 of outstanding penalties and interest associated with Shuswap Lakes Vacations Inc.'s former Lease and Sub-Lease of the Wharf and Foreshore:

- Roll No. 06868.002 - 814 Marine Park Drive NE - \$996.68 - Portion of the foreshore; and
- Roll No. 06800.541 - 750 Marine Park Drive NE - \$612.26 - Marina, access ramps and specified portions of the wharf and parking lot.

CARRIED UNANIMOUSLY

**3. Director of Engineering & Public Works - Downtown Parking Commission (Downtown Salmon Arm) Member Appointments**

0099-2018

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: Council appoint the following three (3) Downtown Salmon Arm representatives "Jacquie Gaudreau, Heather Finn and Gerald Foreman" to serve on the Downtown Parking Commission for the two (2) year term from February 27, 2018 to February 28, 2020.

CARRIED UNANIMOUSLY

**11. STAFF REPORTS – continued****4. Director of Engineering & Public Works – Crushing of Reclaimed Asphalt Pavement (RAP)**

0100-2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: Council award crushing of approximately 2500 m<sup>3</sup> of Reclaimed Asphalt Pavement (RAP) at the quoted unit price of \$9.75 / m<sup>3</sup> plus applicable taxes to Okanagan Aggregates Ltd., Armstrong, BC. Total extended cost is \$24,375.00 plus taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to Okanagan Aggregates Ltd.

CARRIED UNANIMOUSLY

**5. Director of Engineering & Public Works – Oxic Aerator Pump – New Pump Purchase**

0101-2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: Council approve the purchase of a new 20 Hp Flygt Submersible Sewage pump for Oxic Aeration from Electric Motor & Pump Service Ltd., for the quoted amount of \$24,390.00 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to Electric Motor & Pump Service Ltd.

CARRIED UNANIMOUSLY

**12. NEW BUSINESS****13. COUNCIL STATEMENTS****1. Committees of Council/Agency Representatives**

Members of Council reported on the Committees and Agencies they represent.

**14. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE****15. SALMON ARM SECONDARY YOUTH COUNCIL**

Chance McCoshen and Gray Simms, students from the Politics 12 class, addressed Council.

**16. NOTICE OF MOTION****1. Councillor Lavery – Solar Photo Voltaic Pilot Project**

WHEREAS: the City of Salmon Arm, as a signatory to the BC Climate Action Charter, acknowledges that climate change is a reality and has the goal to move towards carbon neutrality with respect to the City's operations;

AND WHEREAS: cities can take a leadership role in demonstrating alternative energy options,

THEREFORE BE IT RESOLVED THAT: the City consider initiating a grid-tied net metering Solar Photo Voltaic Pilot Project on a City property with all data and live metrics of the project to be readily shared with the public;

AND THAT: staff report back regarding:

- (a) potential viable sites;
- (b) the cost estimates including site audits, installation, grid connections and estimated annual maintenance of the recommended panel sizing and configuration;
- (c) estimates of energy generation and payback length; and
- (d) recommendations of how best to structure usage agreements where tenants of leased city properties currently pay for the electricity they use if that city building is a potentially viable site.

AND FURTHER THAT: the costs associated with this pilot project, including auditing of potential sites, installation, connections and three (3) years of annual maintenance be funded from the Climate Action Reserve.

**17. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS****18. OTHER BUSINESS****1. M. Simpson, Fraser Basin Council, Shuswap Local and Secwépemc Governments Community to Community Forum and Draft Communications Protocol**

Received for information.

**19. QUESTION AND ANSWER PERIOD**

Council held a Question and Answer session with the members of the public present.

The Meeting recessed at 3:58 p.m.

The Meeting reconvened at 7:05 p.m.

**PRESENT:**

Mayor N. Cooper  
Councillor A. Harrison  
Councillor L. Wallace Richmond  
Councillor K. Jamieson  
Councillor C. Eliason

Chief Administrative Officer C. Bannister  
Chief Financial Officer M. Dalziel  
Corporate Officer E. Jackson  
Director of Engineering & Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Recorder B. Puddifant

**ABSENT:**

Councillor K. Flynn  
Councillor T. Lavery

20. **DISCLOSURE OF INTEREST**

21. **HEARINGS**

1. **Development Variance Permit Application No. VP-469 [McKinnon, B. / Walters, R.: 2820 - 30 Street NE; Setback Variance]**

0102-2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: Development Variance Permit Application No. VP-469 be authorized for issuance for proposed Lot 1, resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672, which will vary the provisions of Zoning Bylaw No. 2303 as follows:

1. Section 4.9.1.1 – decrease the minimum setback requirement from the centre line of an Arterial Street (30 Street NE) for a principal building on proposed Lot 1 resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672 as shown in the staff report dated February 21, 2018, from 18.5 metres to 17.0 metres.

Following three calls for submissions and questions from Council, the Hearing for VP-469 was declared closed at 7:09 p.m.

**CARRIED UNANIMOUSLY**



**22. PUBLIC HEARING**

1. Zoning Amendment Application No. ZON-1119 [Chang, P. & J.; 1370 - 47 Avenue NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time

P. Chang, the applicant, was available to answer questions from Council.

Following three calls for submissions and questions from Council, the Public Hearing for Bylaw No. 4245 was declared closed at 7:13 p.m. and consideration of the next item ensued.

2. Zoning Amendment Application No. ZON-1120 [Butler, L.; 1370 Auto Road SE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time.

L. Butler, the applicant, was available to answer questions from Council.

Following three calls for submissions and questions from Council, the Public Hearing for Bylaw No. 4246 was declared closed at 7:14 p.m.

**23. RECONSIDERATION OF BYLAWS**

1. Zoning Amendment Bylaw No. 4245 [ZON-1119; Chang, P. & J.; 1370 - 47 Avenue NE; R-1 to R-8] - Third and Final Readings

0103-2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4245, be read a third and final time.

CARRIED UNANIMOUSLY

2. Zoning Amendment Bylaw No. 4246 [ZON-1120; Butler, L.; 1370 Auto Road SE; R-1 to R-8] - Third and Final Readings

0104-2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4246, be read a third and final time.

CARRIED UNANIMOUSLY

24. OTHER BUSINESS

25. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

26. ADJOURNMENT

0105-2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Harrison

THAT: the Regular Council Meeting of March 12, 2018, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:15 p.m.

CERTIFIED CORRECT:

Adopted by Council the      day of              2018.

\_\_\_\_\_  
CORPORATE OFFICER

\_\_\_\_\_  
MAYOR

Item 7.1

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of March 19, 2018, be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

## DEVELOPMENT AND PLANNING SERVICES COMMITTEE

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in the Council Chambers of the City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, March 19, 2018.**

### PRESENT:

Mayor N. Cooper  
Councillor L. Wallace Richmond  
Councillor A. Harrison  
Councillor K. Jamieson  
Councillor C. Eliason  
Councillor K. Flynn  
Councillor T. Lavery

Chief Administrative Officer C. Bannister  
City Engineer J. Wilson  
Corporate Officer E. Jackson  
Director of Development Services K. Pearson  
Recorder B. Puddifant

### ABSENT:

#### 1. CALL TO ORDER

Mayor Cooper called the meeting to order at 8:00 a.m.

#### 2. REVIEW OF THE AGENDA

#### 3. DECLARATION OF INTEREST

#### 4. PRESENTATIONS

#### 5. REPORTS

1. Zoning Amendment Application No. ZON-1123 [Findlay, J. & R.; 4541 - 71 Avenue NE; R-1 to R-8]

Moved: Councillor Harrison

Seconded: Councillor Lavery

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 21, Section 6, Township 21,

5. REPORTS - continued

1. Zoning Amendment Application No. ZON-1123 [Findlay, J. & R.; 4541 - 71 Avenue NE; R-1 to R-8] - continued

Range 9, W6M, KDYD, Plan EPP67163 from R-1 (Single Family Residential) to R-8 (Residential Suite Zone).

CARRIED UNANIMOUSLY

2. Zoning Amendment Application No. ZON-1122 [Glanville, B. & Rose A.; 2621 - 30 Street NE; R-1 to R-8]

Moved: Councillor Flynn

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP59280 from R-1 (Single Family Residential) to R-8 (Residential Suite Zone);

AND THAT: final reading of the zoning amendment bylaw be withheld subject to confirmation that the proposed suite meets Zoning Bylaw and BC Building Code requirements.

A. Rose, the applicant, spoke regarding the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Zoning Amendment Application No. ZON-1121 [1120170 BC Ltd. / Walters, R.; 1160 - 16 Street NE; R-1 to CD-7]

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 3898, Except Plan KAP55055 from R-1 (Single Family Residential) to CD-7 (Comprehensive Development Zone - 7).

AND THAT: final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

**5. REPORTS - continued****4. Development Variance Permit Application No. VP-459 [City of Salmon Arm / Salmon Arm Folk Music Society / B. Hermanski; 541 - 3 Street SW - Setback Variance]**

Moved: Councillor Lavery

Seconded: Councillor Harrison

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-459 be authorized for issuance for Lot 1, Section 14, Township 20, Range 10, W6M, KDYD, Plan EPP34573 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 26.9.1 Minimum Setback of Principle Building - decrease the minimum setback of a principle building from the front parcel line from 6.0 m to 0.0 m.

D. Gonella, the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

**5. Development Variance Permit Application No. VP-471 [Shmyr, J. & Weninger, J.; #27 - 481 Highway 97B NE; Site Coverage Variance]**

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-471 be authorized for issuance for Strata Lot 9, Section 18, Township 20, Range 9, W6M, KDYD, Strata Plan EPS2062 which will vary Mobile Home Park Bylaw No. 1435 as follows:

1. Section 4.06 - Site Coverage - increase the maximum site coverage from 35% to 38%.

J. Shmyr & J. Weninger, the applicants, were available to answer questions from the Committee.

CARRIED UNANIMOUSLY

**6. Official Community Plan Amendment Application No. OCP4000-32 [Wilmark Homes Ltd./ Homecraft Construction Ltd./ Onsite Engineering Ltd.; 6810 Park Hill Road NE]**

Moved: Councillor Jamieson

Seconded: Councillor Harrison

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Official Community Plan Bylaw No. 4000 as follows:

1. Re-designate that part of Amended Legal Subdivision 15 of Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686 as shown on Appendix 10 on the staff report dated March 12, 2018, from Medium Density Residential to Low Density Residential; and
2. Amend Map No. 11.1 by removing the proposed Neighbourhood Park on Amended Legal Subdivision 15 of Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686.

5. REPORTS - continued

6. Official Community Plan Amendment Application No. OCP4000-32 [Wilmark Homes Ltd. / Homecraft Construction Ltd. / Onsite Engineering Ltd.; 6810 Park Hill Road NE] - continued

AND THAT: pursuant to Section 475 of the *Local Government Act*, Council has considered the Official Community Plan amendment after appropriate consultation with affected organizations and authorities;

AND THAT: Pursuant to Section 477(3)(a) of the *Local Government Act*, Second Reading of the Official Community Plan amendment be withheld pending Council's consideration of the proposed Official Community Plan amendment in conjunction with:

- 1) The Financial Plans of the City of Salmon Arm; and
- 2) The Liquid Waste Management Plan of the City of Salmon Arm.

J. van Lindert, the agent, spoke regarding the application was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

7. Zoning Amendment Application No. ZON-1109 [Wilmark Homes Ltd. / Homecraft Construction Ltd. / Onsite Engineering Ltd.; 6810 Park Hill Road NE; R-4 and R-7 to R-1]

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 as follows:

1. Rezone that Part of Amended Legal Subdivision 15 of Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686 as shown on Appendix 11 on the staff report dated March 12, 2018, from R-4 (Medium Density Residential) and R-7 (Large Lot Single Family Residential) to R-1 (Single Family Residential);

AND THAT: final reading of the Zoning Bylaw be withheld pending Final Reading of the Official Community Plan Amendment Bylaw.

J. van Lindert, the agent, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

6. FOR INFORMATION

1. Regulating Cannabis Retail Sales

Moved: Councillor Jamieson

Seconded: Councillor Flynn

THAT: the staff report dated March 13, 2018 be received as information;

AND THAT: Council approve, in principal, Option 2 - Moderately Regulated Approach - as set out in the staff report dated March 13, 2018.

CARRIED UNANIMOUSLY

7. IN CAMERA

8. LATE ITEMS

No Items.

9. ADJOURNMENT

Moved: Councillor Flynn

Seconded: Councillor Eliason

THAT: the Development and Planning Services Committee meeting of March 19, 2018, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 9:44 a.m.

Minutes received as information by Council  
at their Regular Meeting of , 2018.

---

Mayor Nancy Cooper  
Chair



Item 7.2

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the Court of Revision 2018 73 Avenue Water Main Extension Parcel Tax Assessments Meeting Minutes of March 12, 2018, be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

**CITY OF SALMON ARM COURT OF REVISION  
2018 73 AVENUE WATER MAIN  
EXTENSION PARCEL TAX ASSESSMENTS**

Minutes of the Court of Revision for the 2018 73 Avenue Water Main Extension Parcel Assessments held in Room 100 of City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on Monday, March 12, 2018.

**PRESENT:**

Mayor N. Cooper  
Councillor C. Eliason  
Councillor A. Harrison  
Councillor K. Jamieson  
Councillor L. Wallace Richmond

Chief Administrative Officer C. Bannister  
Chief Financial Officer M. Dalziel  
Corporate Officer E. Jackson  
Director of Engineering & Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Recorder B. Puddifant

**ABSENT:**

Councillor K. Flynn  
Councillor T. Lavery

**1. CALL TO ORDER**

Mayor Cooper called the meeting to order at 7:00 p.m.

**2. ADMINISTRATION OF OATHS**

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer prior to the commencement of the Court of Revision

**3. COURT OF REVISION FOR 2018 73 AVENUE WATER MAIN EXTENSION - APPEALS**

The Chief Financial Officer addressed the Court advising that no appeals had been received.

**4. AUTHENTICATION OF 2018 73 AVENUE WATER MAIN EXTENSION PARCEL TAX ASSESSMENT ROLL**

Moved: Councillor Harrison  
Seconded: Councillor Eliason

THAT: This 73 Avenue Water Main Extension Parcel Tax Assessment Roll, comprised of 6 parcels, is hereby confirmed by the Court of Revision of the City of Salmon Arm, and, except as may be amended on further appeal, is hereby certified to be the "73 Avenue Water Main Extension Parcel Tax Assessment Roll."

**CARRIED UNANIMOUSLY**

5. ADJOURNMENT

Moved: Councillor Wallace Richmond

Seconded: Councillor Harrison

THAT: the 2018 73 Avenue Water Main Extension Parcel Tax Court of Revision be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:02 p.m.

CERTIFIED CORRECT:

\_\_\_\_\_  
CORPORATE OFFICER

\_\_\_\_\_  
MAYOR

Received as information by Council  
on the      day of      , 2018.

)

THIS PAGE INTENTIONALLY LEFT BLANK

Item 7.3

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Court of Revision 2018 Transportation Parcel Tax Assessments Meeting Minutes of March 12, 2018, be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

## **CITY OF SALMON ARM COURT OF REVISION** **2018 TRANSPORTATION PARCEL TAX ASSESSMENTS**

Minutes of the Court of Revision for the 2018 Transportation Parcel Tax Rolls held in Room 100 of City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, March 12, 2018.**

### **PRESENT:**

Mayor N. Cooper  
 Councillor C. Eliason  
 Councillor A. Harrison  
 Councillor K. Jamieson  
 Councillor L. Wallace Richmond

Chief Administrative Officer C. Bannister  
 Chief Financial Officer M. Dalziel  
 Corporate Officer E. Jackson  
 Director of Engineering & Public Works R. Niewenhuizen  
 Director of Development Services K. Pearson  
 Recorder B. Puddifant

### **ABSENT:**

Councillor K. Flynn  
 Councillor T. Lavery

#### **1. CALL TO ORDER**

Mayor Cooper called the meeting to order at 7:02 p.m.

#### **2. ADMINISTRATION OF OATHS**

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer.

#### **3. COURT OF REVISION FOR TRANSPORTATION PARCEL TAX - APPEALS**

The Chief Financial Officer addressed the Court advising that no appeals had been received.

#### **4. AUTHENTICATION OF 2018 TRANSPORTATION PARCEL TAX ASSESSMENT ROLL**

Moved: Councillor Jamieson  
 Seconded: Councillor Wallace Richmond  
 THAT: this Transportation Parcel Tax Assessment Roll, comprised of 8,332 parcels, is hereby confirmed by the Court of Revision of the City of Salmon Arm and, except as may be amended on further appeal, is hereby certified to be the "Transportation Parcel Tax Assessment Roll".

**CARRIED UNANIMOUSLY**

5. ADJOURNMENT

Moved: Councillor Harrison

Seconded: Councillor Eliason

THAT: the 2018 Transportation Parcel Tax Court of Revision be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:03 p.m.

CERTIFIED CORRECT:

\_\_\_\_\_  
CORPORATE OFFICER

\_\_\_\_\_  
MAYOR

Received as information by Council  
on the            day of            , 2018.

}

THIS PAGE INTENTIONALLY LEFT BLANK



Item 7.4

**CITY OF SALMON ARM**

Date: March 26, 2018

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: the Court of Revision 2018 Water and Sewer Frontage Tax Assessments Meeting Minutes of March 12, 2018, be received as information.

**Vote Record**

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

## **CITY OF SALMON ARM COURT OF REVISION** **2018 WATER AND SEWER FRONTAGE ASSESSMENTS**

Minutes of the Court of Revision for the 2018 Water and Sewer Frontage Tax Rolls held in Room 100 of City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on Monday, March 12, 2018.

**PRESENT:**

Mayor N. Cooper  
 Councillor C. Eliason  
 Councillor A. Harrison  
 Councillor K. Jamieson  
 Councillor L. Wallace Richmond

Chief Administrative Officer C. Bannister  
 Chief Financial Officer M. Dalziel  
 Corporate Officer E. Jackson  
 Director of Engineering & Public Works R. Niewenhuizen  
 Director of Development Services K. Pearson  
 Recorder B. Puddifant

**ABSENT:**

Councillor K. Flynn  
 Councillor T. Lavery

**1. CALL TO ORDER**

Mayor Cooper called the meeting to order at 7:04 p.m.

**2. ADMINISTRATION OF OATHS**

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer.

**3. COURT OF REVISION FOR WATER AND SEWER - APPEALS**

The Chief Financial Officer addressed the Court advising that no appeals had been received.

**4. AUTHENTICATION OF 2018 WATER AND SEWER FRONTAGE TAX ASSESSMENT ROLL**

Moved: Councillor Eliason

Seconded: Councillor Harrison

THAT: This frontage tax assessment roll, comprised of 7,056 properties for water and 6,085 for sewer, and representing a total taxable frontage of 689,528 feet for water and 469,731 feet for sewer, is hereby confirmed by the Court of Revision of the City of Salmon Arm and, except as may be amended on further appeal, is hereby certified to be the frontage tax assessment roll for Water and Sewer.

**CARRIED UNANIMOUSLY**

5. ADJOURNMENT

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the 2018 Water and Sewer Frontage Tax Court of Revision be  
adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:05 p.m.

CERTIFIED CORRECT:

\_\_\_\_\_  
CORPORATE OFFICER

\_\_\_\_\_  
MAYOR

Received as information by Council  
on the       day of       , 2018.

THIS PAGE INTENTIONALLY LEFT BLANK

Item 7.5

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Flynn

THAT: the Downtown Parking Commission Meeting Minutes of February 20, 2018, be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



**DOWNTOWN PARKING COMMISSION**  
**Tuesday, February 20, 2018**  
**TIME: 8:00 A.M.**  
**MEETING ROOM 100 - CITY HALL**

---

Minutes of the Downtown Parking Commission Meeting held in Meeting Room 100, City Hall, 500 – 2 Avenue NE, Salmon Arm, BC on Tuesday, February 20, 2018 at 8:00 a.m.

**Present:**

City of Salmon Arm  
 Representatives:

Bill Laird  
 Vic Hamilton  
 Regan Ready

Downtown Improvement Association  
 Representatives:

Heather Finn  
 Gerald Foreman

Resource Personnel:

Robert Niewenhuizen, Director of Engineering &  
 Public Works  
 Jenn Wilson, City Engineer  
 Marcel Bedard, Bylaw Officer  
 Chad Eliason, Councilor

Absent:

Jacquie Gaudreau  
 Cathy Ingebrigtsen

The meeting was called to order at 8:00 am by Chairperson V. Hamilton

**1. Minutes of Meeting January 20, 2018**

- Motion to adopt incorrect, as R. Ready absent from meeting. Minutes were seconded by G. Forman

**Motion: G. Forman / B. Laird**  
**Carried Unanimously**

**2. Ross Street Underpass**

- Very little impact on parking when underpass completed

**Received As Information**

Minutes – Downtown Parking Commission  
Page 2

**3. Downtown Parking Plan**

**Received As Information**

**4. City of Vernon – Parking Strategy**

- Carried forward to next meeting

**5. Correspondence**

- None

**6. Any Other Business**

- None

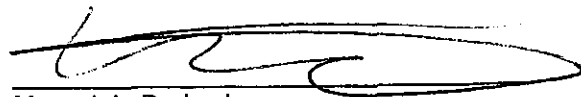
**7. Adjournment**

- Meeting Adjourned at 9:00 am

**Motion: G. Forman / R. Ready  
Carried Unanimously**

**Next Meeting Date: March 20, 2018**

**Certified Correct**



Marcel A. Bedard  
Bylaw Enforcement Officer

Minutes received as information by Council on the      day of      , 2017

cc: Downtown Salmon Arm  
Kevin Pearson, Director of Development Services  
Council Correspondence

)

THIS PAGE INTENTIONALLY LEFT BLANK



## Item 8.1

**CITY OF SALMON ARM**Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the following bylaws be read a first, second and third time:

- bylaw entitled City of Salmon Arm 2017 to 2021 Financial Plan Amendment Bylaw No. 4247;
- bylaw entitled City of Salmon Arm Equipment Replacement Reserve Fund Expenditure Bylaw No. 4252; and
- bylaw entitled City of Salmon Arm Capital Expenditure Reserve Fund Expenditure Bylaw No. 4253.

[2017 Financial Plan Amendment; Equipment Replacement Reserve Fund Expenditure; Capital Expenditure Reserve Fund Expenditure]

**Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



## *City of Salmon Arm*

### *Memorandum from the Chief Financial Officer*

---

Date: March 12, 2018  
 To: Mayor Cooper and Members of Council  
 Subject: 2017 Final Budget

---

#### **Recommendation**

That bylaw no. 4247 cited as "City of Salmon Arm 2017 to 2021 Financial Plan Amendment Bylaw No. 4247" be given 3 readings;

And that bylaw no. 4252 cited as "City of Salmon Arm Equipment Replacement Reserve Fund Expenditure Bylaw No. 4252" be given 3 readings;

And further that bylaw no. 4253 cited as "City of Salmon Arm Capital Expenditure Reserve Fund Expenditure Bylaw No. 4253" be given 3 readings.

#### **Background**

The 2017 Final Budget requires amendments to reflect Council resolutions and to redirect allocations between budget accounts.

#### **General Fund**

##### **Revenue**

##### *Property Taxes – Decrease (\$190,000.00)*

Attributed to supplemental assessment changes received during the year. One (1) large supplemental assessment was received for Piccadilly Place Mall for the three (3) years 2015, 2016 and 2017 which resulted in a decrease to their assessment of between \$4 and \$5 million in each year. The essence of the appeal was that the net operating income was determined to be lower than the assessed value attributed by BCAA with respect tenant rents, vacancies, expense allowances, etc. This was a very complex twenty (20) page appeal decision. Other supplemental assessments resulting in decreased tax revenue included SA Savings and Credit Union, a few residential properties and Sea-Dog Rentals Inc.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Transportation – Parcel Tax – Increase \$ 12,520.00*

To reflect actual – redirected to capital for same.

*Grants in Lieu of Taxes – Decrease (\$20,000.00)*

Properties (Shuswap Independent Living Association) originally assessed as “grant-in-lieu properties” are now permissively exempt (as approved by Council). BC Assessment inadvertently included in the Grant Assessment Roll.

*Municipal Regional District Tax – Decrease (\$27,245.00)*

To reflect actual. Offsets with expenditure for same.

*Transportation Services*

*Custom Work – Increase - \$135,000.00*

Attributed to work completed by City crews where cost is recoverable. Offsets with increased expenditures for same (i.e. Roads, Drainage and Sidewalk Extensions/Replacements).

*Storm Sewer Connections – Increase \$54,500.00*

To reflect actual. Offsets with increase in expenditures for same.

*Transit – Passes – Increase \$8,500.00*

To reflect actual.

*Transit – ALIB – Increase \$3,000.00*

To reflect actual.

*Airport Services*

*Gas and Oil Sales – Increase \$20,000.00*

To reflect actual. Redirected to the Tree Encroachment Reserve.

*Environmental Services*

*Solid Waste and Recycling Program – Increase \$7,230.00*

Analyzed and reallocated actual expenses; and balanced with user fees resulting in a transfer to the Solid Waste and Recycling Reserve of \$66,780.00.

*Recreation and Cultural Services*

*Shaw Centre*

*Contracted Services – Decrease (\$22,565.00)*

To reflect actual. Offsets with decrease in expenditures for same.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*SASCU Recreation Centre*

*Contract Services – Decrease (\$8,030.00)*

To reflect actual. Offsets with increase in expenditures for same.

*General Government Services*

*Taxation Penalties – Decrease (\$20,000.00)*

To reflect actual – collection taxation rate increased from 93.87% to 95.08% resulting in fewer penalties levied.

*Interest – MFA – Decrease (\$20,000.00)*

To reflect actual. Interest rate utilized in budget estimate overstated.

*Climate Action Revenue – Carbon Tax - Increase \$50,000.00*

Provision for carbon tax rebate. Redirected to Reserve for same.

*Building Permit Revenue – Increase \$160,000.00*

To reflect actual – In part, redirected to Turner Creek Connector Trail property acquisition and development plan.

*Plumbing Permits – Increase \$15,000.00*

To reflect actual.

*Business Licences – Increase \$10,000.00*

To reflect actual.

*Dog Licences – Increase \$5,000.00*

To reflect actual.

*Planning and Development Applications – Increase \$23,000.00*

To reflect actual.

*Park Services*

*Other Revenue – Increase \$9,000.00*

To reflect deficiency holdback relative to hydro seeding and top dressing at Blackburn Park – works undertaken by the City. Offsets with expenditure for same.

*Grant – Brownfield Study Grant – Decrease (\$12,185.00)*

To reflect actual – project under budget. Offsets with expenditure for same.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Reserves*

*Transfer From Surplus – Decrease (\$24,775.00)*

To reflect actual. Brownfield Study – Phase II Project largely completed in 2016.

*Transfer From Reserve For Unexpended – Increase \$163,300.00*

Attributed to prior year capital projects that were completed under budget.

*Transfer From Reserve - Safety Courses – Increase \$27,000.00*

To amalgamate safety related reserves into one (1) account. Offsets with expenditure for same.

*Transfer From Reserve - Building Vehicle – Increase \$25,700.00*

Transfer to one (1) reserve account to purchase hybrid vehicles in 2018. Offsets with expenditure for same.

*Transfer From Reserve - Planning Vehicle – Increase \$23,500.00*

Transfer to one (1) reserve account to purchase hybrid vehicles in 2018. Offsets with expenditure for same.

*Transfer From Reserve – Trans. – 5 Ave SE – Road Allocation – Increase \$20,000.00*

Transferred to 20 Ave/20 St Intersection Realignment Reserve. Provision for future works in keeping with Debt Strategy and Capital Plan.

*Transfer From Reserve - Shoemaker Hill/Auto Road Ext. Reserve - Increase \$265,000.00*

As resolved by Council. Provision for transfer to Downtown Parking (General) Reserve in keeping with Debt Strategy and Capital Plan.

*Transfer From Reserve - Transit Expansion – Increase \$30,500.00*

To amalgamate transit related reserves into one (1) account. Offsets with expenditure for same.

*Transfer From Reserve - Police – Building Modifications – Increase \$33,500.00*

To amalgamate RCMP Building related reserves into one (1) account. Offsets with expenditure for same.

*Transfer From Reserve - Downtown Parking Specified Area – Increase \$35,000.00*

To reflect amount due to Lessor for parking revenue collected since 2010 but not remitted due to an unspecified location of Ticket Spitter and subsequently identified as Inner Core Lot - Funded from Specified Area Parking Lot. Offsets with expenditure for same.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Collections for Other Governments*

*Residential School Taxes – Decrease (\$5,000.00)*

To reflect actual. Offsets with expenditure for same.

*Non-Residential School Taxes – Increase (\$74,630.00)*

To reflect actual. Offsets with expenditure for same.

*Regional Hospital District – Decrease (\$15,000.00)*

To reflect actual. Offsets with expenditure for same.

*BC Assessment Authority – Decrease (\$5,000.00)*

To reflect actual. Offsets with expenditure for same.

*Regional District – Decrease (\$10,000.00)*

To reflect actual. Offsets with expenditure for same.

*Okanagan Regional Library – Decrease (\$7,625.00)*

To reflect actual. Offsets with expenditure for same.

*Expenditures*

*General Government*

*Salaries and Benefits – Increase \$55,000.00*

As resolved by Council - Attributed to severance pay, backfilling vacancy internally and replacement of Human Resources Manager.

*Other - Decrease (\$75,000.00)*

Transfer to Reserve.

*Postage – Decrease (\$6,500.00)*

To reflect actual.

*Advertising – Decrease (\$8,500.00)*

To reflect actual.

*Legal Fees – Decrease (\$20,000.00)*

To reflect actual.

*Relocation Expense – Increase \$3,000.00*

To reflect actual.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Contract Service – Increase \$7,000.00*

To reflect actual.

*Recruitment Expense – Increase \$2,500.00*

To reflect actual.

*Employee Assistance Plan/Assessments – Decrease (\$2,500.00)*

To reflect actual.

*Retirement/Long Service Awards – Decrease (\$3,500.00)*

To reflect actual.

*Safety Coordinator – Wages and Benefits – Decrease (\$4,000.00)*

To reflect actual.

*Office Supplies – Decrease (\$1,000.00)*

To reflect actual.

*Safety Training – Decrease (\$9,060.00)*

To reflect actual. Additional safety training initiatives in its development stages and not fully implemented in 2017.

*Wages and Benefits – Decrease (\$65,000.00)*

Redirected to contract employee remuneration.

*Consulting Service – Increase \$50,000.00*

To reflect actual. Redirected to Wages and Benefits – See above.

*Computer Maintenance Contracts – Decrease (\$10,000.00)*

Minimal telephone/VoIP and website upgrades required in 2017. It is anticipated that the telephone/VoIP system will require upgrading in the near future at an estimated cost of \$100,000.00.

*Computer Supplies – Decrease (\$4,000.00)*

Fewer repairs as a result of workstation rollover program and new office equipment; applicable maintenance agreements have reduced the cost of ink cartridges, toners and repairs.

*Server Rentals – Decrease (\$5,000.00)*

Project undertaken in late 2016. Rental payments commence in February 2017. Redirected to Communications – Fibre/Internet Costs noted below.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Communications – Fibre/Internet Costs – Increase \$5,000.00*

To reflect actual. Redirected from Communications – Fibre/Internet Costs noted below.

*GIS – Consulting – Decrease (\$5,000.00)*

To reflect actual.

*Printers - Decrease (\$2,500.00)*

To reflect actual.

*Professional Development – Decrease (\$1,000.00)*

To reflect actual.

*Insurance – Property – Decrease (\$8,000.00)*

To reflect actual.

*Insurance – Claims – Net Decrease (\$12,500.00)*

To reflect actual.

*Fire Protection Services*

*Fire Department Administration - Wages and Benefits – Decrease (\$95,000.00)*

Attributed to vacancy. Redirected to Fire Buildings, Emergency Apparatus and West Bay Connector Trail Reserves.

*Clerical – Wages and Benefits – Increase \$5,000.00*

To reflect actual.

*Contracted Services – Decrease (\$1,500.00)*

To reflect actual. Redirected to increase in energy costs - Overhead Lighting.

*Fire Fighting Force – Net Decrease (\$32,000.00)*

Lower than anticipated expenses associated with fires and fire practices.

*Fire Investigation and Prevention – Net Decrease – (\$12,000.00)*

To reflect actual – budget overstated.

*Fire Training – Net Decrease (\$55,000.00)*

Attributed to vacancy in position.



Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Building Inspection Services*

*Wages and Benefits – Decrease (\$20,000.00)*

Attributed to vacancy.

*Legal Fees – Decrease (\$3,000.00)*

To reflect actual.

*Conferences and Seminars – Decrease (\$2,500.00)*

To reflect actual.

*Police Protection*

*RCMP Detachment Maintenance – Decrease (\$15,000.00)*

Decrease attributed to carry forward of prison cell retro-fit costs as mandated by Federal Government.

*RCMP – Steno – Wages and Benefits – Decrease (\$80,000.00)*

To reflect employee vacancy and new employees at lower rate of pay. Redirected to RCMP Building Roof Replacement and RCMP Musical Ride Reserves and Turner Creek Connector Trail Project.

*RCMP – Court Liaison/IT - Wages and Benefits – Increase \$10,000.00*

To reflect reallocation of wages and benefits for IT support.

*Auxiliary Police – Decrease (\$3,000.00)*

To reflect actual.

*RCMP Police Force – Increase \$15,000.00*

To reflect actual.

*Prisoner Costs – Decrease (\$5,000.00)*

To reflect actual.

*CCVE – Increase \$5,000.00*

To reflect actual. Costs recovered through E Division.

*DNA Analysis – Decrease (\$4,500.00)*

To reflect actual.

*Law Enforcement Services*

*Bylaw Infractions – Decrease (\$3,000.00)*

To reflect actual.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Other – Decrease (\$500.00)*

To reflect actual.

*Animal Control – Decrease (\$3,000.00)*

To reflect actual.

*Wildfire – Increase \$25,000.00*

To reflect costs associated with fire payroll – Reimbursed by Province.

*Transportation Services*

*Common Services, Administration and Engineering – Net Decrease (\$50,000.00)*

To reflect actual.

*Machinery and Equipment – Net Change – Zero*

To adjust expenditures and associated revenue for charge-out to City functions. A more significant overage is summarized below:

*Unit No. 63 – 2007 International Tandem Dump – Increase \$17,500.00*

The usage of this unit was increased significantly this past year and as a result o & m is up proportionately – while fuel consumption has increased proportionately with increased usage, the original budget allocation was understated. Other unanticipated repairs included tires, filters, breaks, etc.

*Gravel Roads – Decrease (\$9,000.00)*

City crews not available due to weather related events in addition to late spring and wet weather.

*Grading Roads – Decrease (\$6,000.00)*

City crews not available due to weather related events in addition to late spring and wet weather consequently only one (1) grading cycle was undertaken in 2017.

*Asphalt Patching – Decrease (\$5,500.00)*

City crews not available due to weather related events in addition to late spring and wet weather.

*Crack Seal Maintenance – Decrease (\$7,000.00)*

Decrease attributed to a price increase which resulted in conservatism in extending additional work outside of initial contracted work. There were also issues surrounding contractor availability.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Roadway Maintenance – Decrease (\$6,000.00)*

City crews not available due to weather related events in addition to late spring and wet weather.

*Road Extensions and Replacements – Increase \$53,000.00*

To reflect actual. Attributed to work completed by City crews where cost is recoverable. Offsets with increased revenue from same (i.e. Custom Work).

*Sidewalks – Repairs and Maintenance – Decrease (\$12,000.00)*

Decrease attributed to City crews not available due to weather related events.

*Extensions and Replacements – Increase \$40,000.00*

To reflect actual. Attributed to work completed by City crews where cost is recoverable. Offsets with increased revenue from same (i.e. Custom Work).

*Brick Strips – Repairs and Maintenance – Decrease (\$8,000.00)*

Decrease attributed to City crews not available due to weather related events.

*Drainage Ditch Maintenance – Decrease (\$30,000.00)*

To reflect actual. Redirected to other Hudson Ave Revitalization Reserve for completion in 2018.

*Flood Control – Decrease (\$10,000.00)*

Decrease attributed to emergency charges being directed to specific emergency flood events.

*Service Connections – Increase \$40,000.00*

To reflect actual. Offsets with revenue for same.

*Culvert Maintenance – Increase \$18,000.00*

Higher than normal number of events related to blocked culverts due to spring freshet.

*Drainage – Extensions & Replacements – Decrease (\$18,000.00)*

To reflect actual. Fewer unidentified issues in 2017.

*Street Cleaning & Flushing – Decrease (\$25,000.00)*

Decrease attributed to last spring sand quantities and limited work in fall due to the delayed leaf drop and early winter snowfall in November.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Ice and Snow Removal & Sanding – Increase \$56,000.00*

To reflect actual. Attributed to large number of freeze/thaw events in the spring and the early winter snowfall in November.

*Sidewalk Snow Removal/Sanding – Decrease (\$10,000.00)*

To reflect actual. Redirected to Ice and Snow Control Account noted above.

*Vandalism – Decrease (\$13,000.00)*

To reflect actual.

*R.R. Grade Crossings – Increase \$120,000.00*

To reflect unanticipated billing from CPR for \$121,458.88 plus GST for crossing rehabilitation at Marine Park Drive.

*Overhead Lighting – Increase \$30,000.00*

Attributed to energy costs.

*Ornamental Overhead Lighting – Increase \$23,000.00*

Attributed to energy costs.

*Ornamental Lighting – Pole Refurbishment – Decrease (\$13,000.00)*

To reflect actual. City crews not available due to weather related events in addition to late spring and wet weather.

*Decorative Lighting – Decrease (\$3,000.00)*

To reflect actual.

*Street Name Signs Maintenance – Decrease (\$6,000.00)*

To reflect actual.

*Traffic & Crosswalk Markings – Decrease (\$17,000.00)*

To reflect actual. City crews not available due to weather related events in addition to late spring and wet weather.

*Transit System – Decrease (\$5,000.00)*

To reflect actual.

*Transit Shelters Maintenance – Decrease (\$9,000.00)*

Attributed to extended delivery time of one (1) shelter and consequently not installed in 2017.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Outfall Rehabilitation/Cleaning – Decrease (\$17,500.00)*

No major cleanings or revitalizations were undertaken in 2017. The amount of debris that washed out in 2017 did not require coordination for a major cleaning event and consequently only routine maintenance was undertaken.

*Traffic Calming Device – Decrease (\$6,000.00)*

To reflect actual. Reduced cost associated with new ICBC flashing light.

*Downtown Parking*

*Inner Core Parking Lot Maintenance – Increase \$35,000.00*

To reflect amount due to Lessor for parking revenue collected since 2010 but not remitted due to an unspecified location of Ticket Spitter and subsequently identified as Inner Core Lot - Funded from Specified Area Parking Lot.

*Airport Services*

*Grounds Maintenance – Decrease (\$9,000.00)*

City crews not available due to weather related events; maintenance restricted to issues as they arose. Redirected to Airport – Tree Encroachment Reserve.

*Terminal Building Maintenance – Decrease (\$10,000.00)*

Structural assessment not undertaken in 2017 – deferred to 2019. Redirected to Airport – Tree Encroachment Reserve.

*Runway Lighting Maintenance – Decrease (\$4,500.00)*

Reactive maintenance, fewer burnt out lights in 2017. Redirected to Airport – Tree Encroachment Reserve.

*CSA Hangars Maintenance – Decrease (\$550.00)*

Redirected to Airport – Tree Encroachment Reserve.

*Equipment Storage Shed – Maintenance – Decrease (\$3,000.00)*

Minimum maintenance undertaken in 2017 as the life of the building is under review. Redirected to Airport – Tree Encroachment Reserve.

*Runway and Road Maintenance – Decrease (\$7,000.00)*

Decrease attributed to contractor availability – maintenance undertaken on the apron with crack sealing deferred to 2018. Redirected to Airport – Tree Encroachment Reserve.

*Hazard Beacon Maintenance – Increase \$6,000.00*

Increase attributed to unanticipated major repairs at two (2) sites coupled with vandalism. Redirected to Airport – Tree Encroachment Reserve.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Navigational Equipment Maintenance – Decrease (\$5,500.00)*

Pursuant to annual assessment, no significant repairs or upgrades required in 2017.  
Redirected to Airport – Tree Encroachment Reserve.

*Fueling System Maintenance – Decrease (\$3,000.00)*

Repairs kept to a minimum pending installation of new fuel delivery system in 2018.  
Redirected to Airport – Tree Encroachment Reserve.

*Brownfield Study – Phase II – Decrease (\$36,960.00)*

To reflect actual – project largely completed in 2016.

*Environmental Health Services*

*EV Charging Station – Increase \$5,000.00*

To reflect actual – attributed to hydro costs. Associated revenue of \$373.92 equates to approximately 80 sessions.

*Access Awareness – Decrease (\$10,000.00)*

City crews not available due to weather related events in addition to late spring and wet weather.

*Solid Waste and Recycling Program – Decrease (\$59,550.00)*

Analyzed and reallocated actual expenses; and balanced with user fees resulting in a transfer to the Solid Waste and Recycling Reserve.

*Recycling – Downtown Collection – Contracted – Decrease (\$5,000.00)*

Contracted costs were less than anticipated and program commenced later than originally anticipated.

*Cemetery Services*

*Maintenance (Mt. Ida) – Net Decrease (\$18,000.00)*

To reflect actual. Redirected to Cemetery Reserves.

*Maintenance (Shuswap Memorial) - Net Decrease (\$12,850.00)*

To reflect actual. Redirected to Cemetery Reserves.

*Planning and Development Services*

*Administration – Net Change – Decrease (\$48,000.00)*

Largely attributed to vacancy in engineering department and decreased use of consultants in 2017.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Community Development*

*Economic Development Society – Decrease (\$5,000.00)*

To reflect actual. Budget allocation overstated.

*Municipal Regional District Tax – Decrease (\$27,245.00)*

To reflect actual. Offsets with revenue for same.

*Shaw Centre – Contracted Services – Decrease (\$22,565.00)*

To reflect actual. Offsets with revenue for same.

*Parks Services*

*Administration – Decrease (\$25,850.00)*

Largely attributed to employee vacancy and many minor variances.

*Park and Facility Maintenance – Net Decrease (\$99,500.00)*

Various increases and decreases throughout section. Savings has been redirected to Recreation Amenities and Jackson Park Improvements Reserves. The more notable changes are as follows:

*Blackburn Park Maintenance – Net Decrease (\$4,500.00)*

Unable to undertake regular maintenance due to capital construction project in progress.

To reflect deficiency holdback relative to hydro seeding and top dressing at Blackburn Park – works undertaken by the City. Offsets with revenue for same.

*Blackburn Park Spray Park Maintenance – Increase \$18,500.00*

To reflect water usage and pre-season work required attributed to the irrigation system (i.e. wiring and power).

*Fletcher Park Maintenance – Decrease (\$7,000.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*McGuire Lake Park Maintenance – Decrease (\$10,000.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*Marine Park Maintenance – Decrease (\$5,500.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Snow Removal – Shaw/Recreation Centres – Decrease (\$8,000.00)*

Snow piles were not trucked out to other locations.

*Little Mountain Sports – Decrease (\$10,000.00)*

Decrease attributed to the inability to undertake deep tine aeration due to unusual wet weather events (i.e. fields closed).

*Central Business District/Urban Tree Replacement Maintenance – Decrease (\$9,000.00)*

City crews not available due to other weather (flood and wind) related events in addition to late spring and wet weather.

*Little Mountain Park – Decrease (\$5,000.00)*

Attributed to assistance from Rap-Attack Forestry crews who undertook cleanup in 2017.

*Mosquito Park Maintenance – Decrease (\$4,000.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*Jackson Campus Grounds (Joint Use) - Decrease (\$6,500.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*Other Park Maintenance – Decrease (\$9,000.00)*

Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*Special Events – Increase \$11,000.00*

Significantly more events are resulting in additional work associated with City crews (i.e. Roots and Blues, Canada Day Festival, Pride Gathering, etc.). There is an increased trend in the number of community sponsored events that crews are expected to do in-kind work for (i.e. Halloween Treat Trail, Remembrance Day, Cycle Cross Races (Klahani Park), Town Centre Christmas Setup, etc.).

*City Hall/Courthouse Facility Maintenance – Decrease (\$14,000.00)*

To reflect actual. Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*TCH West Maintenance – Decrease (\$8,000.00)*

As a result of the MoTI Highway four (4) laning, reduced maintenance required along TCH West area.



Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Parks Boulevards – Decrease (\$5,000.00)*

To reflect actual. Spring maintenance delayed attributed to weather related events in addition to late spring and wet weather.

*SAGA Building Maintenance – Decrease (\$9,000.00)*

To reflect actual. Water leak resulted in shutdown of irrigation resulting in reduced o & m related expenditures.

*Parks – Major Maintenance – Net Change Decrease (\$11,000.00)*

To reflect changes in major maintenance including deck and sidewalk installation/repairs at Little Mountain Sports Field House.

*Downtown Drop-In Senior Centre – Decrease (\$5,000.00)*

To reflect actual.

*SASCU Recreation Centre*

*Recreation Centre - Operating – Decrease (\$30,000.00)*

Attributed to decreased costs associated with programming, grant administration costs, administration and building costs.

*Recreation Centre - Contracted Services – Decrease (\$58,030.00)*

To reflect actual. Offsets with revenue for same.

*Wharf*

*Wharf Maintenance – Decrease (\$7,500.00)*

A change in operation at the Wharf has resulted in fewer maintenance requirements.

*Wharf Vandalism – Decrease (\$3,000.00)*

To reflect actual.

*Canada 150 Celebrations – Decrease (\$6,795.00)*

To reflect actual. Net expenditure transferred to reserve for same.

*Fiscal Services*

*Interest and Bank Charges – Decrease (\$5,000.00)*

To reflect actual.

*Transfer to Reserves*

*Future Expenditure Reserve – Increase \$3,705.00*

To balance budget.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Environmental - Climate Action – Energy Initiatives Reserve – Increase \$50,000.00*  
Provision for carbon tax rebate. It is envisioned that significant modifications will be made to these facilities to reduce energy consumption and green house gas emissions.

*General - Civic Vehicles – Increase \$64,200.00*  
To amalgamate civic vehicle reserves to one (1) account to purchase hybrid vehicles in 2018.

*General - Law Courts Balloon Payment – Increase \$15,000.00*  
To provide for payment required to meet \$1,000,000.00 commitment in 2022.

*General - Canada 150 Celebrations – Increase \$6,795.00*  
To reflect remaining dollars associated with 2017 celebrations.

*General - Server/Workstation Software Upgrade – Increase \$70,000.00*  
Provision for software upgrade in 2018.

*General - RCMP Musical Ride – Increase \$15,000.00*  
Provision for event in 2018.

*General - Strategic Wildfire Plan Reserve – Increase \$15,000.00*  
Provision for same.

*General – Recreation Amenities – Increase \$125,000.00*  
Provision for future recreation related capital expenditures including initiatives such as pool, tennis, track etc.

*General - Safety Initiatives – Increase \$27,000.00*  
To amalgamate safety related reserves into one (1) account. Offsets with revenue for same.

*Environmental - Solid Waste and Recycling Program – Increase \$66,780.00*  
Program surplus transferred to reserve to offset future increases.

*Other – Increase \$80,000.00*  
Provision for costs associated with various labour agreements and associated costs.

*Bylaw – Electronic Ticket Writer – Increase \$2,000.00*  
Provision of same.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Police – Building Repairs and Maintenance – Increase \$33,500.00*

To amalgamate RCMP Building related reserves into one (1) account. Offsets with revenue for same.

*Police - RCMP Building – Roof Replacement – Increase - \$25,000.00*

Provision for replacement of roof in 2019.

*Transportation - Hudson Ave Revitalization Road Project – Increase \$50,000.00*

Provision to undertake project in 2018.

*Transportation – 4 Street Connector Reserve – Increase \$45,000.00*

Original balance was transferred to cover spring flooding issues. Provision to fund remaining 2017 design work on the 4 Street Connector Project.

*Underpass Reserve – Increase \$24,360.00*

Provision for Underpass Reserve in keeping with Debt Strategy and Capital Plan.

*Transportation – 20 Ave/20 St Intersection Realignment – Increase \$20,000.00*

As resolved by Council. Provision for future works in keeping with Debt Strategy and Capital Plan.

*Transportation - Outfall Rehabilitation/Cleaning – Increase \$17,500.00*

Redirected from expense for same.

*Transit Services – Increase \$30,500.00*

To amalgamate transit related reserves into one (1) account. Offsets with revenue for same.

*Transportation - Hudson Street NE Revitalization – Increase \$50,000.00*

Provision for additional funds for 2018 project. Original budget based on Class C estimate and did not include the 4 Street works and services. In addition, confirmed prices have now been received from the other utilities (i.e. Telus, Hydro and Gas).

*Downtown Parking (General) Reserve - Increase \$265,000.00*

As resolved by Council. Provision for transfer from Shoemaker Hill/Auto Road Ext. Reserve in keeping with Debt Strategy and Capital Plan.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Airport - Marketing and Promotion Reserve – Increase \$6,000.00*

As per Council policy. Provision for 2% of gas and oil sales to be transferred to the Marketing and Promotion Reserve. Considerations should be given to reducing this percentage of sales from 2% to 1% as the reserve for the Airport Event is approximately \$42,000.00 and the 1% could be redirected to any one of several reserves such as tree encroachment.

*Airport – Tree Encroachment – Increase \$50,550.00*

Redirected from Airport expenditures to address runway tree encroachment issue.

*Mt. Ida Cemetery – Building Replacement – Increase \$18,000.00*

Provision for building replacement – redirected from reduction in Mt. Ida Cemetery operational expenditures.

*Shuswap Memorial Cemetery – Columbarium Reserve – Increase \$16,000.00*

Provision for columbarium replacement – redirected from reduction in Shuswap Memorial Cemetery operational expenditures.

*Parks – Peter Jannick Park – Increase \$25,000.00*

Provision for upgrades to the Naturalist Park.

*Parks – Peoples Corner Landscaping – Increase \$10,000.00*

Provision to undertake improvements in 2018.

*Parks – West Bay Connector Trail – Increase \$50,000.00*

As resolved by Council. Provision for future trail in keeping with Debt Strategy and Capital Plan.

*Parks - Jackson Park Improvements - Increase \$125,000.00*

Provision for improvements for same in conjunction with staff report.

*Transfer to Other Governments*

*Residential School Taxes – Decrease (\$5,000.00)*

To reflect actual. Offsets with expenditure for same.

*Non-Residential School Taxes – Increase (\$74,630.00)*

To reflect actual. Offsets with expenditure for same.

*Regional Hospital District – Decrease (\$15,000.00)*

To reflect actual. Offsets with expenditure for same.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Regional District – Decrease (\$10,000.00)*

To reflect actual. Offsets with expenditure for same.

*Okanagan Regional Library – Decrease (\$7,625.00)*

To reflect actual. Offsets with expenditure for same.

*BC Assessment Authority – Decrease (\$5,000.00)*

To reflect actual. Offsets with expenditure for same.

*Capital*

*General Government*

*Council Chambers – Audio/Visual – Increase \$25,000.00*

Provision for completion of upgrade to Council Chamber's audio/visual, computer equipment, furniture, etc.

*Transportation Services*

*Asphaltic Overlays – Increase \$12,520.00*

To reflect actual. Redirected from Transportation Parcel Tax collection.

*Underpass – Design – Increase \$50,000.00*

Originally envisioned that this project would be funded by DCC Underpass.

*Foothills Road (Hobson Creek) – Increase \$9,000.00*

Initially the budget was for design only. Originally, contract was awarded for the design with respect to the creek crossing, however due to the high water flows in May which washed out the culvert, construction works were required and completed resulting in the scope of works changing. A RFQ was issued in August for construction component and because estimates were very preliminary due to the emergency response and quick timelines encountered the budget amount estimated was understated. The extra works included the removal of materials from the site due to the emergency response.

*5 St SE (5 Ave – Auto Road SW) – Phase 1 – Decrease (\$35,000.00)*

The budget allocation for this project was \$90,000.00 which included design and construction of the sidewalk from 5 Avenue to 10 Avenue SE. After the design works were completed an opinion of probable costs was provided which surpassed the available budget (i.e. approximately \$185,000.00). The project was scaled back proportionally pursuant to the Engineer's estimate to stay within the budget allocation but still undertake improvements (5 Avenue to Old Auto Road SE).

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*70 Ave NE – Walkway to 47 St NE – Decrease (\$15,000.00)*

Attributed to design and construction being undertaken in house without any unanticipated issues.

*Shuswap St – East Side (5 Ave - 2 Ave) – Increase \$6,000.00*

Project was originally to be funded from the Community Works Fund. Only a minor component was completed. Project re-budgeted in 2018.

*Public Works Building – Alarm System – Decrease (\$10,000.00)*

Redirected to Public Works Building – Fire Alarm System. See below.

*Public Works Building – Fire Alarm System – Increase \$10,000.00*

Redirected to Public Works Building – Alarm System. See above.

*Volvo Loader – Unit No. 79 – Net Decrease (\$92,000.00)*

After several consultations with Supplier, it was decided to scale back repairs to bodywork corrosion and repainting. Amount funded of \$8,000.00 funded from revenue.

*Little Mtn Sports Field - Asphalt Storage Pad (for Containers) – Decrease (\$12,500.00)*

Less than anticipated site preparation and asphalt required to install storage container.

*Turner Creek Connector Trail – Increase \$126,000.00*

As resolved by Council. Funded by building permit revenue.

**Water Fund**

*Revenue*

*User Fees – Flat Rate - Increase \$15,000.00*

To reflect actual. Redirected to Reserves.

*User Fees – Metered Rate - Increase \$35,000.00*

To reflect the ongoing conversion of accounts from flat rate to metered (i.e. commercial and stratas). Redirected to Reserves.

*Water Connections – Increase \$140,000.00*

To reflect actual – offsets with expenditure for same under Service Connections.

*Water Supply – Increase \$50,000.00*

To reflect additional City facilities and parks being metered for water – significant increase attributed to Blackburn Spray Park (i.e. approximately \$20,000.00). Redirected to Reserves.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Custom Work – Increase \$15,000.00*

To reflect actual – attributed work completed by City crews where cost is recoverable.

*Return on Investment – Decrease (\$5,000.00)*

To reflect actual. Interest rate utilized in budget estimate overstated.

*Expenditures*

*Wages and Benefits – Net Decrease (\$35,000.00)*

To reflect employee vacancies.

*Property Insurance – Increase \$4,000.00*

To reflect actual. Redirected from Wages and Benefits – see above.

*Water Treatment Plant – Standby Pay - Increase \$11,000.00*

To reflect correct overhead rate on standby pay.

*UV Building (Metford Dam) – Decrease (\$6,000.00)*

To reflect actual.

*Chlorination – Decrease (\$6,000.00)*

Interior Health's turbidity target has increased resulting in fewer chemicals being required for disinfection at Metford Dam.

*Main Repair – Decrease (\$10,000.00)*

Decrease attributed to fewer significant (and costly) water main breaks and repairs.

*Service Connections – Increase \$125,000.00*

To reflect actual – offsets with revenue for same.

*Cross Connection Control Maintenance – Decrease (\$10,000.00)*

Less property assessments were completed this year than in previous years as the program focus was to get previously assessed properties in compliance with the bylaw and then devise a strategy going forward. Strategy is in progress.

*Canoe Pump Station Maintenance – Increase \$75,000.00*

Increase largely attributed to increase in energy costs to meet water demands associated with extremely dry summer. Additionally, the Metford source was offline most of the year due to the damage that occurred to the spillway and reservoir during spring freshet and the subsequent reconstruction and cleaning – this resulted in substantial increases in the volume of water pumped from Canoe Pump Station. In addition, a variable frequency drive was replaced due to the failure of the existing unit.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*1860 Pump Station Maintenance – Increase \$10,000.00*

Increase largely attributed to increase in energy costs to meet water demands.

*Transfer to Reserve for TCH West (MoTI Project) – Increase \$77,000.00*

Provision for future contribution for capital upgrades west of town.

*Transfer to Water Major Maintenance Reserve Fund – Increase \$100,000.00*

Provision for future capital upgrades to reduce borrowing implications.

*Capital*

*Metford Dam – Flooding – Decrease (\$85,000.00)*

Redirected to Reserve. Toe Berm Construction Project to be reinstated in the 2018 Budget.

**Sewer Fund**

*Revenue*

*User Fees - Increase \$20,000.00*

To reflect actual. Redirected to Reserves.

*Metered Fees - Increase \$30,000.00*

To reflect actual. Redirected to Reserves.

*Service Connections – Increase \$20,000.00*

To reflect actual. Offsets with expenditure for same under Service Connections.

*Return on Investment – Decrease (\$5,000.00)*

To reflect actual. Interest rate utilized in budget estimate overstated.

*Reserve for Unexpended – Increase \$65,000.00*

Attributed to prior year capital projects that were completed under budget.

*Expenditures*

*Wages and Benefits – Decrease (\$22,000.00)*

To reflect actual – Attributed to staff vacancies. Redirected to Sewer Major Maintenance Reserve.

*Property Insurance – Increase \$10,000.00*

To reflect increase to insurable assets. Redirected from Wages and Benefits – see above.



Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

*Manhole Maintenance - Decrease (\$11,000.00)*

Decrease attributed to shortfall in Utilities manpower due to various employees on short term disability resulting in program being reduced for 2017.

*Main Repairs – Decrease (\$12,000.00)*

It was envisioned that the Utilities crew would undertake a sanitary mainline inspection program in 2017 however; due to manpower shortages attributed to various employees on short term disability; the program was deferred to 2018.

*Services – Decrease (\$3,500.00)*

To reflect actual.

*Service Connections – Increase \$15,000.00*

To reflect actual. Offsets with increased revenue for same.

*Extensions and Replacements – Decrease (\$10,000.00)*

To reflect actual. Fewer unidentified issues in 2017.

*Mosquito Lift Station – Decrease (\$5,000.00)*

To reflect actual. New pump and a rebuilt pump installed in 2017 resulting in substantial savings in o & m costs.

*Monitor and Testing – Decrease (\$13,000.00)*

WPCC operational ‘Phosphorus’ removal was excellent resulting in less time spent testing resulting which resulted in substantial savings in o & m costs.

*Biosolids Handling – Decrease (\$20,000.00)*

To reflect actual. Redirected to Reserves.

*WPCC Audit Update – Decrease (\$15,000.00)*

The budget allocation estimated was higher than required. Redirected to Sewer Major Maintenance Reserve.

*Transfer to Reserve for Debenture Debt Bylaw No. 4051 – Increase \$15,000.00*

To reflect interest earned.

*Transfer to Sewer Major Maintenance Reserve – Increase \$291,500.00*

Provision for future capital upgrades.

Mayor Cooper and Council  
Memorandum – 2017 Final Budget

---

Capital

*2 St SE (10 Ave – 5 Ave) Construction – Decrease (\$75,000.00)*

This budget allocation was for design and construction costs. The construction component was on budget; however a component of the design was completed in 2016 and inadvertently re-budgeted in 2017.

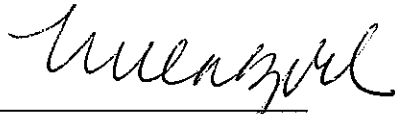
*Mosquito Lift Station – Rebuild Pump – Decrease (\$10,000.00)*

A basic repair kit for this pump was utilized from the City inventory and it was decided after the repairs were completed that it was not prudent to restock this item due to limited shelf life (i.e. seals dry out).

*WPCC – Turburator Replacement – Decrease (\$5,000.00)*

Attributed to fluctuations in the USD vs. CDN dollar exchange rates and lower than anticipated shipping costs.

Respectfully Submitted,



---

Monica Dalziel, CPA, CMA

## CITY OF SALMON ARM

### BYLAW NO. 4247

A bylaw to amend the 2017 to 2021 Financial Plan

---

WHEREAS in accordance with the provisions of Section 165 of the Community Charter, the Council has adopted a financial plan for the period of 2017 to 2021;

AND WHEREAS it is deemed expedient to amend the Financial Plan;

NOW THEREFORE the Council of the City of Salmon Arm, in the Province of British Columbia, in an open meeting assembled, hereby enacts as follows:

1. "Schedule "A" of "City of Salmon Arm 2017 to 2021 Financial Plan Bylaw No. 4228" is hereby deleted in its entirety and replaced with Schedule "A" attached hereto and forming part of this bylaw.
2. "Schedule "B" of "City of Salmon Arm 2017 to 2021 Financial Plan Bylaw No. 4228" is hereby deleted in its entirety and replaced with Schedule "B" attached hereto and forming part of this bylaw.

#### 3. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

#### 4. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

#### 5. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

## 6. CITATION

This bylaw may be cited for all purposes as "City of Salmon Arm 2017 to 2021 Financial Plan Amendment Bylaw No. 4247".

READ A FIRST TIME THIS	DAY OF	2018
READ A SECOND TIME THIS	DAY OF	2018
READ A THIRD TIME THIS	DAY OF	2018
ADOPTED BY COUNCIL THIS	DAY OF	2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

## City of Salmon Arm

## 2017 - 2021 Financial Plan

	2017 Budget	2018 Budget	2019 Budget	2020 Budget	2021 Budget
<b>Consolidated Revenues</b>					
Property and MRDT Taxes - Net	\$ 17,160,605	\$ 17,949,420	\$ 18,308,408	\$ 18,674,577	\$ 19,048,068
Frontage & Parcel Taxes	3,258,610	3,306,090	3,372,212	3,439,656	3,508,449
Sales of Service	8,148,695	7,784,768	7,940,463	8,099,273	8,261,258
Revenue From Own Sources	2,544,139	2,420,790	2,469,206	2,518,590	2,568,962
Rentals	776,485	778,350	793,917	809,795	825,991
Federal Government Transfers	-	-	-	-	-
Provincial Government Transfers	336,015	363,350	370,617	378,029	385,590
Other Government Transfers	210,160	211,295	215,521	219,831	224,228
Transfer From Prior Year Surplus	961,901	285,300	291,006	296,826	302,763
Transfer From Reserve Accounts	3,051,020	659,397	672,585	686,037	699,757
Transfer From Reserve Funds	12,810	12,810	12,810	12,810	12,810
<b>Total Consolidated Revenues</b>	<b>\$36,460,440</b>	<b>\$33,771,570</b>	<b>\$ 34,446,745</b>	<b>\$ 35,135,424</b>	<b>\$ 35,837,876</b>
<b>Consolidated Expenditures</b>					
General Government Services	\$ 3,286,395	\$ 3,470,345	\$ 3,539,752	\$ 3,610,547	\$ 3,682,758
Protective Services	5,150,145	5,473,725	5,583,200	5,694,863	5,808,761
Transportation Services	5,118,750	4,916,430	5,014,759	5,115,054	5,217,355
Environmental Health Services	52,777	57,777	58,933	60,111	61,313
Environmental Development Service	2,335,500	2,571,110	2,622,532	2,674,983	2,728,483
Recreation and Cultural Services	3,899,770	4,249,145	4,334,128	4,420,810	4,509,227
Fiscal Services - Interest	1,638,138	1,598,638	1,630,611	1,663,223	1,696,487
Fiscal Services - Principal	1,509,660	1,155,895	1,179,013	1,202,593	1,226,645
Capital Expenditures	2,916,755	2,809,990	2,684,154	3,021,834	2,943,280
Transfer to Surplus	-	-	-	-	-
Transfer to Reserve Accounts	4,996,370	2,163,820	2,388,876	2,152,400	2,334,183
Transfer to Reserve Funds	1,370,880	908,680	926,854	945,391	964,298
Water Services	2,334,245	2,333,815	2,380,491	2,428,101	2,476,663
Sewer Services	1,851,055	2,062,200	2,103,444	2,145,513	2,188,423
<b>Total Consolidated Expenditures</b>	<b>\$36,460,440</b>	<b>\$33,771,570</b>	<b>\$ 34,446,745</b>	<b>\$ 35,135,424</b>	<b>\$ 35,837,876</b>

## City of Salmon Arm

## 2017 - 2021 Financial Plan

## Capital Projects

## Finances Acquired

	2017 Budget	2018 Budget	2019 Budget	2020 Budget	2021 Budget
General Operating Fund	\$ 2,225,180	\$ 1,886,000	\$ 1,959,154	\$ 1,896,834	\$ 1,953,280
Water Operating Fund	380,500	468,710	250,000	450,000	490,000
Sewer Operating Fund	311,075	455,280	475,000	675,000	500,000
Federal Government Grants	7,403,000	6,689,000	25,000	190,000	-
Provincial Government Grants	7,301,280	6,914,000	-	190,000	-
Prior Year Surplus	438,990	265,000	-	-	510,000
Reserve Accounts	5,797,595	3,552,245	629,700	875,000	690,000
Reserve Funds	1,505,500	2,610,500	1,287,500	698,500	2,808,750
Development Cost Charges	115,000	210,000	2,450,000	2,125,000	2,307,500
Short Term Debt	-	835,000	-	-	-
Long Term Debt	1,071,000	3,050,000	-	-	-
Developer Contributions	1,163,300	1,712,000	40,000	40,000	40,000
<b>Total Funding Sources</b>	<b>\$ 27,712,420</b>	<b>\$ 28,647,735</b>	<b>\$ 7,116,354</b>	<b>\$ 7,140,334</b>	<b>\$ 9,299,530</b>

## Finances Applied

Transportation Infrastructure	\$ 16,257,305	\$ 17,636,000	\$ 3,692,000	\$ 5,079,500	\$ 4,222,000
Buildings	4,572,985	5,908,500	335,476	117,000	197,000
Land	-	-	-	-	-
IT Infrastructure	1,204,665	668,500	115,000	125,000	721,500
Machinery and Equipment	1,442,260	1,930,000	656,378	383,834	1,192,780
Vehicles	125,000	391,500	-	90,000	35,000
Parks Infrastructure	778,765	474,165	322,500	260,000	966,250
Utility Infrastructure	3,331,440	1,639,070	1,995,000	1,085,000	1,965,000
<b>Total Capital Expense</b>	<b>\$ 27,712,420</b>	<b>\$ 28,647,735</b>	<b>\$ 7,116,354</b>	<b>\$ 7,140,334</b>	<b>\$ 9,299,530</b>

## Departmental Summary:

	2017 Budget	2018 Budget	2019 Budget	2020 Budget	2021 Budget
General Government Services	\$ 999,500	\$ 721,000	\$ 108,500	\$ 108,500	\$ 193,500
Protective Services	859,500	1,130,000	55,000	145,000	805,000
Transportation Services	17,340,165	19,053,000	3,875,000	5,376,000	4,523,500
Environmental Health Services	60,295	72,665	-	12,500	2,500
Environmental Development Services	-	45,000	-	-	-
Recreation and Cultural Services	1,148,695	605,000	1,012,854	333,334	1,235,030
Water Services	4,150,555	5,848,070	1,590,000	490,000	2,040,000
Sewer Services	3,153,710	1,173,000	475,000	675,000	500,000
<b>Total by Department</b>	<b>\$ 27,712,420</b>	<b>\$ 28,647,735</b>	<b>\$ 7,116,354</b>	<b>\$ 7,140,334</b>	<b>\$ 9,299,530</b>

06/03/2018

2017-2021 FP Bylaw (Cap)

Schedule "B" – Bylaw #4247  
2017 Revenue Policy Disclosure

1. Table One (1) reflects the proportion of total revenue proposed to be raised from each funding source in 2017. Property taxes form the greatest proportion of revenue of the City. The first column details the proposed percentage of revenue including Conditional Government Transfers and the second column shows the proposed percentage of revenue excluding Conditional Government Transfers. Conditional Government Transfers are funds provided by other levels of government or government agencies to fund specific projects. The absence of this funding would result in an increase to property taxes, debt borrowing or funding from reserves or other sources (ie. developers, donations, etc.) or result in the project not being undertaken.

The City collects three (3) types of parcel tax; a water frontage tax; a sewer frontage tax and a transportation parcel tax. The water and sewer frontage tax rate is applied to each parcel of land taxable foot frontage. The frontage rate is comprised of a capital debt repayment component plus 10% of the water and sewer operation and maintenance budget for preventative maintenance of the utilities infrastructure. The City introduced a transportation parcel tax in 2003. The transportation parcel tax is collected to maintain the City's transportation network to an adequate level to minimize future reconstruction costs and ensure the network is safe from hazards and disrepair. To this end, the transportation parcel tax provides a stable and dedicated source of funding. The transportation parcel tax was specifically implemented on a "flat rate per parcel" rather than an "ad valorem tax" basis recognizing that all classes of property are afforded equal access to the City's transportation network and should contribute to its sustainability equally. This method directed tax dollars away from business and industry to residential.

The City also anticipates receiving a Municipal Regional District Tax (MRDT) which will be levied and collected by the Provincial Government on all daily accommodation rentals within the City. Under the direction and approval of the Accommodation Industry, the City has applied to the Provincial Government to levy a 2% MRDT which will be utilized on initiatives that will increase exposure/awareness of Salmon Arm as a tourism destination with emphasis on off-season event expansion.

The City endorses a 'user pay' philosophy in its collection of fees and charges. Such fees and charges (ie. development, building, plumbing and fire permits, recreational program and rental fees and cemetery services) are reviewed annually to ensure adequate cost recovery for the provision of services. The policy of the City is to work towards full cost recovery for services provided. The objective in reviewing fees and charges periodically is to measure the cost of providing municipal services versus the cost recovery established through user fees and charges. Development Cost Charges are based on the City's Long Term Financial Plan. Included in this percentage is the City's investment income. The City exercises a stringent cash management plan to maximize investment and interest income.

Other sources of revenue provide funding for specific functions such as the Columbia Shuswap Regional District's contribution to the Shuswap Regional Airport, Recreation Centre, Sunwave Centre, Cemetery and Fire Training Centre.

The proceeds from borrowing and developer contributions fund capital projects pursuant to the City's Long Term Financial Plan.

Schedule "B" – Bylaw #4247  
2017 Revenue Policy Disclosure

Table 1: Proportions of Total Revenue

<b>Revenue Source</b>	<b>Percentage to Total Revenue</b> Includes Conditional Government Transfers	<b>Percentage to Total Revenue</b> Excludes Conditional Government Transfers
Property Taxes	34.76%	51.54%
Parcel Taxes	6.60%	9.79%
User Fees, Charges and Interest Income	23.23%	34.45%
Other Sources	33.24%	1.00%
Proceeds From Borrowing	2.17%	3.22%
	100.00%	100.00%

2. Table Two (2) reflects the distribution of property tax between the different property classes. The objective of the City is to set tax rates in order to maintain tax stability while maintaining equality between the property classes. The policy of the City is to develop a tax rate which maintains the proportionate relationship between the property classes. Inflationary increases in assessments are reduced to reflect only the 'real' increase attributed to new construction for each property class. This allows the property owner to be confident that, in any year, their property tax bill will only increase as much as their proportion of the increase in tax revenue required year to year.

The City reviewed the property tax multiple structure and equalized the general municipal property tax rate and associated multiple for Class 5 (Light Industry) and Class 6 (Business) by shifting \$174,700.69 in general municipal property taxes from Class 5 (Light Industry) to Class 6 (Business) commencing in 2017. This property tax stability strategy is in keeping with its objective to maintain tax stability while maintaining equality between property classifications.

Assessment values fluctuate as market values change in one class or another. It is this market value change that may precipitate an amendment to the class multiple.

The Provincial Government has legislated a municipal taxation rate cap for the Class 2 (Utilities) assessments. The City of Salmon Arm Class 2 (Utilities) general municipal property tax rate adheres to this legislation.



Schedule "B" – Bylaw #4247  
2017 Revenue Policy Disclosure

Table 2: Distribution of Property Taxes Between Property Classes

Property Class	2017 Tax Rate	Class Multiple	Percentage to Total Property Tax	Percentage to Total Property Assessment Value
Residential	4.3509	1.00:1	64.89%	84.58%
Utilities	27.1572	6.24:1	0.86%	0.18%
Supportive Housing	0.0000	0:1	0.00%	0.00%
Major Industry	67.9896	15.63:1	2.97%	0.25%
Light Industry	11.9450	2.75:1	2.12%	1.01%
Business	11.9450	2.75:1	28.36%	13.46%
Managed Forest Land	9.7322	2.24:1	0.00%	0.00%
Recreational/Non Profit	3.3499	0.77:1	0.13%	0.22%
Farm	12.8204	2.95:1	0.67%	0.30%

3. The City adopted a Permissive Tax Exemption Policy in 1998 which outlines the eligibility criteria to receive a permissive tax exemption. The Annual Municipal Report for 2013 contains a schedule of permissive tax exemptions granted for the year and the amount of tax revenue exempted.

Commencing in 1999, the City provided a three (3) year permissive tax exemption for each eligible organization. These include religious institutions, historical societies, some recreational facilities, service organizations and cultural institutions.

Table 3: Permissive Tax Exemptions

Organization	General Municipal Tax Exemption	Other Government Tax Exemption	Total
Churches	\$ 41,958.00	\$ 39,019.50	\$ 80,977.50
Non Profit Societies	332,183.00	222,264.00	554,447.00
Senior Centers	16,371.00	10,377.00	26,748.00
Other	14,819.00	13,327.00	28,146.00
Sports Clubs	243,692.00	158,651.00	402,343.00
<b>Total</b>	<b>\$ 649,023.00</b>	<b>\$ 443,638.50</b>	<b>\$ 1,092,661.50</b>

Schedule "B" – Bylaw #4247  
2017 Revenue Policy Disclosure

4. The Official Community Plan for the City of Salmon Arm identifies the revitalization of the downtown as a priority. As a result, in 2005, the City established a Downtown Revitalization Tax Exemption Program pursuant to City of Salmon Arm Revitalization Tax Exemption Bylaw No. 3471.

The Revitalization Tax Exemption Program is a tool that Council is using to encourage property investment in the downtown area (hereinafter referred to as the Revitalization Area). Council's objective is to stimulate and reinforce development initiatives in the Revitalization Area by promoting property investment within the C-2, "Town Centre Commercial Zone" and to reinforce the City's investment in infrastructure upgrades and beautification projects.

City of Salmon Arm Revitalization Tax Exemption Bylaw No. 3741 establishes property tax exemptions in respect of construction of a new improvement or alteration of an existing improvement where the alteration has a value in excess of \$75,000.00 to encourage revitalization in the Revitalization Area.

Table 4: Revitalization Tax Exemptions

Area	2012 General Municipal Tax Exemption	2013 General Municipal Tax Exemption	2014 General Municipal Tax Exemption	2015 General Municipal Tax Exemption	2016 General Municipal Tax Exemption	2017 General Municipal Tax Exemption
C-2 "Downtown Commercial Zone"	\$ 41,619.87	\$ 46,974.30	\$ 47,032.50	\$ 45,846.66	\$ 34,828.47	\$ 29,851.20

5. The Official Community Plan for the City of Salmon Arm identifies the revitalization of the "Industrial Zones" as a priority. As a result, in 2014, the City established an Industrial Revitalization Tax Exemption Program pursuant to City of Salmon Arm Revitalization Tax Exemption Bylaw No. 4020.

The Revitalization Tax Exemption Program is a tool that Council is using to encourage property investment in the "Industrial Zones" (hereinafter referred to as the Revitalization Area). Council's objective is to stimulate and reinforce development initiatives in the Revitalization Area by promoting property investment within the "Industrial Zone" and to reinforce the City's investment in infrastructure upgrades and beautification projects.

City of Salmon Arm Revitalization Tax Exemption Bylaw No. 4020 establishes general municipal property tax exemptions in respect of construction of a new improvement or alteration of an existing improvement where the alteration has a value in excess of \$300,000.00 to encourage revitalization in the Revitalization Area.

This bylaw shall have an expiration date of five (5) years from the date of adoption.

Schedule "B" – Bylaw #4247  
2017 Revenue Policy Disclosure

Table 5: Revitalization Tax Exemptions

Area	2014 General Municipal Tax Exemption	2015 General Municipal Tax Exemption	2016 General Municipal Tax Exemption	2017 General Municipal Tax Exemption
"Industrial Zone"	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00

# CITY OF SALMON ARM

## BYLAW NO. 4252

### **A bylaw authorizing the expenditure of monies in the Equipment Replacement Reserve Fund**

WHEREAS under the provisions of Section 189 of the Community Charter (S.B.C., 2003, c.26), the Council may, by bylaw, provide for the expenditure of any money in a reserve fund and interest earned on it;

AND WHEREAS Council deems it desirable to expend a portion of the monies set aside under the District of Salmon Arm Equipment Replacement Reserve Fund for the purpose of purchasing machinery and equipment;

AND WHEREAS there is an unappropriated balance in the Equipment Replacement Reserve Fund established under District of Salmon Arm Equipment Replacement Reserve Fund Bylaw, 1973 (Bylaw No. 1080) of \$2,958,472.54 as at December 31, 2017, which amount has been calculated as follows:

Balance in Equipment Replacement Reserve Fund at December 31, 2016	\$2,405,242.38
Add: Additions to fund including interest earnings for current year to date	\$553,230.16
Deduct: Commitments outstanding under bylaws previously adopted	<u>Nil</u>
Balance in Equipment Replacement Reserve Fund at December 31, 2017	<u>\$ 2,958,472.54</u>

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. The sum of two hundred and twenty-eight thousand nine hundred and eleven dollars and eighty-four cents (\$228,911.84) is hereby appropriated from the Equipment Replacement Reserve Fund for the following purchases:

Walker Mower - Unit No. 27	\$ 21,853.15
Paint Sprayer - Unit No. 56	20,426.30
Trackless Tractor - Unit No. 34	186,632.39
	<u>\$228,911.84</u>

2. The expenditures to be carried out by monies hereby appropriated may be more particularly specified and authorized by resolution of the Council.

2. The expenditures to be carried out by monies hereby appropriated may be more particularly specified and authorized by resolution of the Council.
3. Should any of the above amount remain unexpended after the expenditures hereby authorized have been made, any unexpended balance shall be returned to the credit of the Equipment Replacement Reserve Fund.
4. SEVERABILITY  
  
If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.
5. ENACTMENT  
  
Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.
6. EFFECTIVE DATE  
  
This bylaw shall come into full force and effect upon adoption of same.
7. CITATION

This bylaw may be cited as "City of Salmon Arm Equipment Replacement Reserve Fund Expenditure Bylaw No. 4252".

READ A FIRST TIME THIS	DAY OF	2018
READ A SECOND TIME THIS	DAY OF	2018
READ A THIRD TIME THIS	DAY OF	2018
ADOPTED BY COUNCIL THIS	DAY OF	2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

# CITY OF SALMON ARM

## BYLAW NO. 4253

### **A bylaw authorizing the expenditure of money in the General Capital Reserve Fund**

WHEREAS under the provisions of Section 189 of the Community Charter, the Council may, by bylaw, provide for the expenditure of any money in a reserve fund and interest earned on it;

AND WHEREAS Council deems it desirable to expend a portion of the monies set aside under the District of Salmon Arm General Capital Reserve Fund for the purpose of capital works;

AND WHEREAS there is an unappropriated balance in the General Capital Reserve Fund established under District of Salmon Arm General Capital Reserve Fund Bylaw No. 1, 1979, (Bylaw No. 1304) of \$404,784.41 as at December 31, 2017 which has been calculated as follows:

Balance in General Capital Reserve Fund at December 31, 2016	\$374,246.35
Add: Additions to fund including interest earnings for current year to date	\$30,538.06
Deduct: Commitments outstanding under bylaws Previously adopted	<u>Nil</u>
Balance in General Capital Reserve Fund at March 2, 2018	<u>\$404,784.41</u>

NOW THEREFORE the Council of the City of Salmon Arm, in an open meeting assembled, enacts as follows:

1. The sum of Fifteen Thousand Four Hundred and Fifty Dollars (\$15,450.00) is hereby appropriated from the General Capital Reserve Fund to be expended on a swim platform at Canoe Beach.
2. The expenditure to be carried out by monies hereby appropriated may be more particularly specified and authorized by resolution of the Council.
3. Should any of the above amount remain unexpended after the expenditures hereby authorized have been made, any unexpended balance shall be returned to the credit of the General Capital Reserve Fund.

#### 4. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed

and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

5. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

6. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

7. CITATION

This bylaw may be cited for all purposes as "City of Salmon Arm General Capital Reserve Fund Expenditure Bylaw No. 4253".

READ A FIRST TIME THIS	DAY OF	2018
READ A SECOND TIME THIS	DAY OF	2018
READ A THIRD TIME THIS	DAY OF	2018
ADOPTED BY COUNCIL THIS	DAY OF	2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

THIS PAGE INTENTIONALLY LEFT BLANK



Item 8.2

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled City of Salmon Arm Short Term Capital Borrowing Bylaw No. 4244 be read a first, second and third time.

[Short Term Capital Borrowing]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



## *City of Salmon Arm*

### *Memorandum from the Chief Financial Officer*

Date: March 19, 2018  
 To: Mayor Cooper and Members of Council  
 Subject: Drainage Projects – Short Term Capital Borrowing

#### **Recommendation**

That Bylaw No. 4244, cited as "City of Salmon Arm Short Term Capital Borrowing Bylaw No. 4244", be given 3 readings;

#### **Background**

As outlined in the 2018 Budget Report and as authorized by the 2018 to 2022 Financial Plan, adoption of a short term capital borrowing bylaw is required to access funds for the various drainage projects.

It is recommended that short term capital borrowing be utilized as the funding mechanism to address three (3) high priority major storm water projects in the amount of \$835,000.00 as follows:

#### **44 and 42 St NW – Gleneden – Culvert Upgrade**

The culverts along Gleneden Creek and Upper Syphon Creek are significantly undersized and have been identified as medium/long term priority upgrades in the Storm Water Master Plan completed by Dayton & Knight in 2007. The weather events over the past few years have only served to expedite the need for the upgrade. In the Spring of 2017, the freshet exceeded the capacity of the undersized culverts causing upstream damage and washing out the roadway. These particular culverts were replaced with the appropriately sized culverts and the roadway reconstructed; however, the culvert immediately upstream on 44 Avenue NW still requires replacement. The estimated cost is \$60,000.00.

#### **10 Ave NW – Culvert Upgrade**

This drainage project was identified in the historical Storm Water Master Plan as the number one (1) top priority. The undersized culvert is located in a deep gulley crossing 10 Ave NW which causes significant backwater issues when the culvert capacity is exceeded. There is a high probability of private property damage and/or a catastrophic washout of 10 Ave NW if it is not replaced. The culvert is in poor shape and is showing signs of failure. The estimated cost is \$375,000.00 based on a Class B cost estimate.

Mayor Cooper and Members of Council  
Memorandum – Drainage Projects – Short Term Capital Borrowing  
March 19, 2018

Page 2

---

10 Ave SE – Storm Extension and Upgrade

The 10 Ave SE Storm Extension and Upgrade is located at 10 Ave SE, east of 20 Ave SE. There is a significant depression in the subject area where surface water pools and has the potential to overflow onto private property. The minor water flows from the large residential development area east of Hillcrest School are directed to City storm mains; however, major water flows drain to this depression area. Currently, the storm sewer does not extend to this portion of 10 Ave SE. This project intends to extend the storm sewer to capture both the minor and major storm water flows and discharge same at an appropriate location downstream. The detailed design has been completed and the estimated cost is \$400,000.00 based on a Class B cost estimate.

Short term interest rates are favourable and it is envisioned that new growth in 2019 will fund the repayment required. For information - in 2002, the City short term borrowed \$523,500.00, over five (5) years to address a number of sidewalk, drainage and road projects.

Council has already funded a Master Storm Drainage Study to be completed in 2018. It is envisioned that this Study will inform Council on the merits of a standalone Storm Drainage Utility Fund and priorities moving forward.

The City can short term borrow without the assent of electors (referendum/alternative approval process) to a maximum of \$50.00 per capita. This would be approximately  $\$50.00 \times 17,464$  people or \$873,200.00 less any existing short term loans outstanding to which there are none envisioned by the Debt Strategy and Capital Plan.

Following three (3) readings of City of Salmon Arm Short Term Capital Borrowing Bylaw No. 4244, the bylaw will be forwarded to the Inspector of Municipalities for approval prior to adoption.

Respectfully Submitted,

  
\_\_\_\_\_  
Monica Dalziel, CPA, CMA

**CITY OF SALMON ARM****BYLAW NO. 4244****A bylaw to authorize the borrowing of money for the purposes of Capital Works**

---

WHEREAS under the provisions of Section 178 of the Community Charter, Council may, by bylaw adopted with the approval of the Inspector, contract a debt for any purpose of a capital nature, such debt must not cause the municipality to exceed the limit prescribed by regulation. The debt and securities must be payable no later than the lesser of five (5) years from the date on which the securities were issued or the reasonable life expectancy of the capital asset for which the debt is contracted;

AND WHEREAS the amount of the existing obligations of the municipality authorized under said Section 178 at the date hereof is \$0.00;

AND WHEREAS the Council deems it necessary to borrow the sum of Eight Hundred and Thirty-Five Thousand Dollars (\$835,000.00) for the purpose of drainage improvements;

AND WHEREAS the approval of the Inspector of Municipalities has been obtained;

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. The Council is hereby authorized and empowered to borrow upon the credit of the City of Salmon Arm from the Municipal Finance Authority, the sum of Eight Hundred and Thirty-Five Thousand Dollars (\$835,000.00), to be repaid, with interest, over a term of five (5) years for the purposes hereinbefore recited.
2. The purpose for which the debt is contracted shall be for the purpose of undertaking drainage improvements at the following locations:
  - 10 Avenue SE - Storm Extension and Upgrade;
  - 10 Avenue NW - Culvert Upgrade; and
  - 44 and 42 Street SW - Gleneden - Culvert Upgrade,
3. The interest on the debt shall be at a rate as prescribed by the Municipal Finance Authority.
4. There shall be raised and levied during the currency of the obligation hereby created by a rate sufficient therefore over and above all other rates upon all land and improvements subject to taxation for general municipal purposes in the municipality for the repayment of the principal in the respective years the amount as follows:

# PRINCIPAL

2019	\$167,000.00
2020	\$167,000.00
2021	\$167,000.00
2022	\$167,000.00
2023	\$167,000.00

5. The Mayor and Chief Financial Officer are hereby authorized to do all necessary acts and things to carry out the intent of this bylaw.
6. This bylaw may be cited as "City of Salmon Arm Short Term Capital Borrowing Bylaw No. 4244."

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

APPROVED BY THE INSPECTOR OF MUNICIPALITIES PURSUANT TO SECTION 178  
OF THE COMMUNITY CHARTER THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF 2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

THIS PAGE INTENTIONALLY LEFT BLANK

## Item 8.3

**CITY OF SALMON ARM**Date: March 26, 2018

Moved: Councillor Jamieson

Seconded: Councillor Lavery

THAT: the bylaw entitled Revenue Anticipation Borrowing Bylaw No. 4259 be read a first, second and third time;

AND THAT: the Mayor and Corporate Officer be authorized to execute any applicable agreements to facilitate same.

[Revenue Anticipation Borrowing]

**Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*  
*Memorandum from the Chief Financial Officer*

---

Date: March 20, 2018  
To: Mayor Cooper and Members of Council  
Subject: Revenue Anticipation Bylaw No. 4259

---

**Recommendation**

That Bylaw No. 4259 cited as the "City of Salmon Arm Revenue Anticipation Borrowing Bylaw No. 4259", be given 3 readings;

And that the Mayor and Corporate Officer be authorized to execute any applicable agreements to facilitate same.

**Background**

As tax collection does not occur until July 3, 2018, it may be necessary to temporarily borrow funds to cover expenditures in the first six (6) months of 2018.

The aforementioned bylaw provides the City with the authority to undertake such borrowings.

Respectfully Submitted,

  
\_\_\_\_\_  
Monica Dalziel, CFA, CMA



## CITY OF SALMON ARM

### BYLAW NO. 4259

#### **A bylaw to provide for the borrowing of money in anticipation of revenue required to meet current lawful expenditures of the municipality in 2018**

---

WHEREAS the Council of the City of Salmon Arm may, by bylaw, in accordance with Section 177 of the Community Charter, without assent of the electors or the approval of the Inspector of Municipalities, provide for the borrowing of money as may be necessary to meet current lawful expenditures of the municipality and to pay amounts required to meet the municipality's taxing obligations in relation to another local government or other public body;

AND WHEREAS the debt outstanding shall not exceed, at any time, the sum of the unpaid taxes for all purposes imposed during the current year and the money remaining due from other governments;

AND WHEREAS prior to the adoption of the Annual Property Tax Bylaw in any year, the taxes in that year are deemed to be 75% of all taxes imposed for all purposes in the preceding year;

AND WHEREAS the whole amount of taxes imposed in the immediate preceding year was \$30,603,192.10;

AND WHEREAS the sum of unpaid current taxes for all purposes imposed during the current year and the money remaining due from Other Governments totals \$22,952,394.08;

AND WHEREAS in order to meet the current lawful expenditures of the municipality it may be necessary to borrow up to the sum of \$1,000,000.00;

AND WHEREAS there are no liabilities outstanding under Section 177;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. The Council shall be and is hereby empowered and authorized to borrow upon the credit of the municipality an amount or amounts not exceeding the sum of One Million Dollars (\$1,000,000.00).
2. The form of obligation to be given as acknowledgement of the liability shall be a promissory note or notes bearing the corporate seal and signed by the Mayor and Treasurer.

3. All unpaid taxes and the taxes of the current year when levied or so much thereof as may be necessary shall, when collected, be used to repay the money so borrowed.

SEVERABILITY

4. If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

ENACTMENT

5. Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

EFFECTIVE DATE

6. This bylaw shall come into full force and effect upon adoption.

CITATION

7. This bylaw may be cited as "City of Salmon Arm Revenue Anticipation Borrowing Bylaw No. 4259".

READ A FIRST TIME THIS	DAY OF	2018
READ A SECOND TIME THIS	DAY OF	2018
READ A THIRD TIME THIS	DAY OF	2018
ADOPTED BY COUNCIL THIS	DAY OF	2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

Item 8.4

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4254 be read a first and second time.

[ZON-1123; Findlay, J. & R.; 4541 – 71 Avenue NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm

## Development Services Department Memorandum

To: Her Worship Mayor Cooper and Members of Council

Date: March 9, 2018

Subject: Zoning Bylaw Amendment Application No. 1123

Legal: Lot 21, Section 6, Township 21, Range 9, W6M, KDYD, Plan EPP67163

Civic: 4541 – 71 Avenue NE

Owner / Applicant: Findlay, J. & R.

### MOTION FOR CONSIDERATION

**THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 21, Section 6, Township 21, Range 9, W6M, KDYD, Plan EPP67163 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).**

### STAFF RECOMMENDATION

**THAT:** The motion for consideration be adopted.

### PROPOSAL

The subject parcel is located in Canoe at 4541 71 Avenue NE (Appendix 1 and 2) and is presently vacant. The proposal is to rezone the parcel from R-1 (Single Family Residential) to R-8 (Residential Suite) to permit the construction and use of a *secondary suite* within a new single family dwelling.

### BACKGROUND

The subject parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4). The subject parcel is located in an area largely comprised of R-1 zoned parcels containing single family dwellings. There are three R-8 zoned parcels within the vicinity of the subject parcel.

The subject parcel meets the conditions as specified to permit a secondary suite within the proposed R-8 zone. Site photos are attached as Appendix 5. The intent of the applicant is to develop a conforming *secondary suite* just over 550 square feet in area within the new single family dwelling, as shown in a site plans attached as Appendix 6.

### **Secondary Suites**

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in Low Density Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on parcel area and width, the subject property has potential to meet the conditions for the development of a *secondary suite*, including sufficient space for an additional off-street parking stall.

COMMENTSEngineering Department

No objections to the proposed rezoning, subject to the provision of sufficient onsite parking.

Building Department

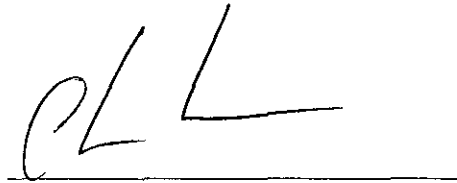
BC Building Code will apply. No concerns with proposed zoning.

Fire Department

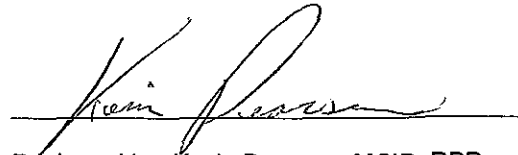
No concerns.

Planning Department

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. The site plan provided indicates that all R-8 Zone requirements can be met, including the provision of onsite parking, and that the proposed building substantially aligns with development patterns in the area. Any development of a secondary suite would require a building permit and will be subject to meeting Zoning Bylaw and BC Building Code requirements.

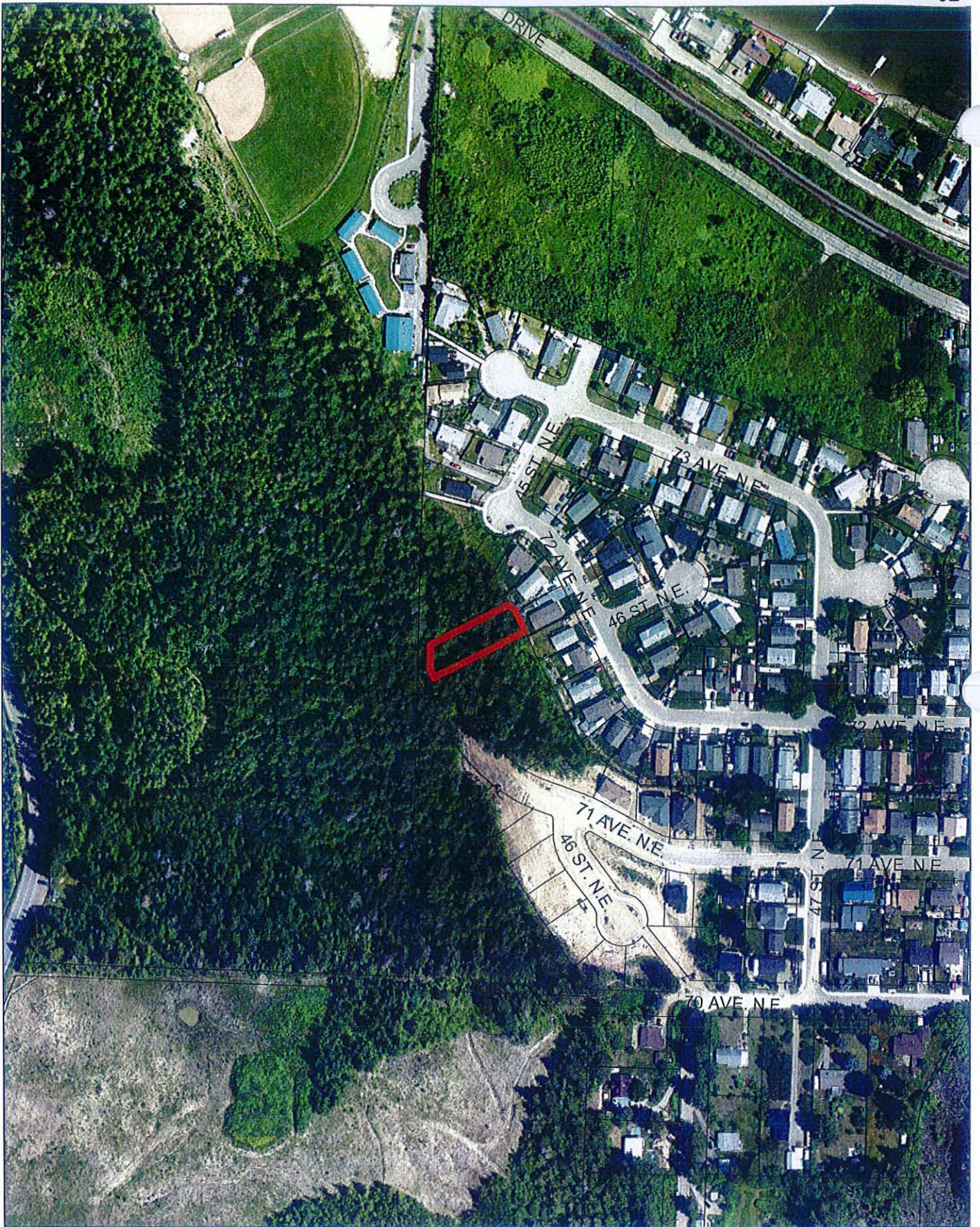


Prepared by: Chris Larson, MCP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



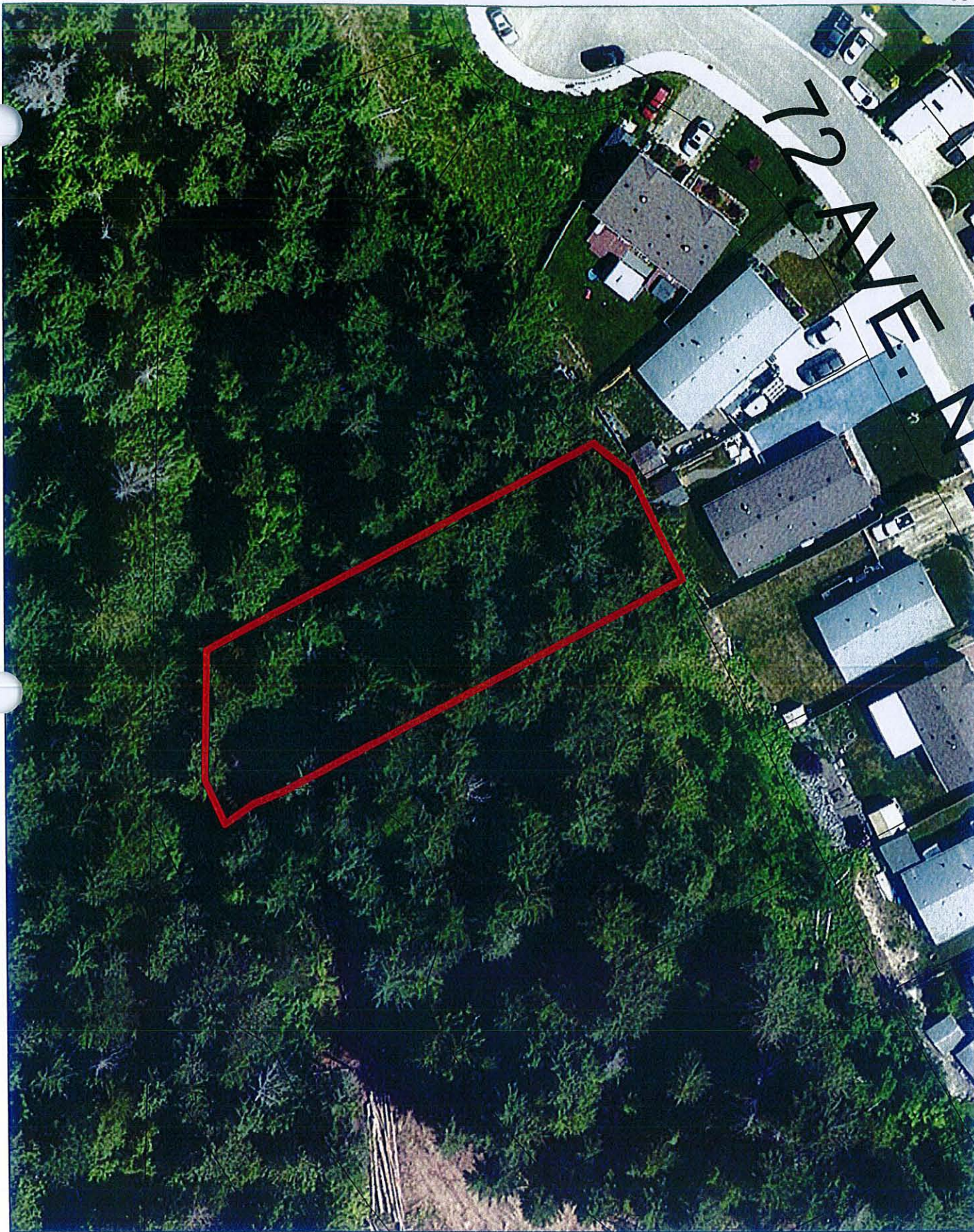


0 30 60 120 180 240 Meters



Subject Parcel



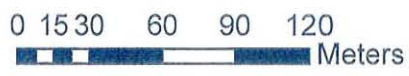
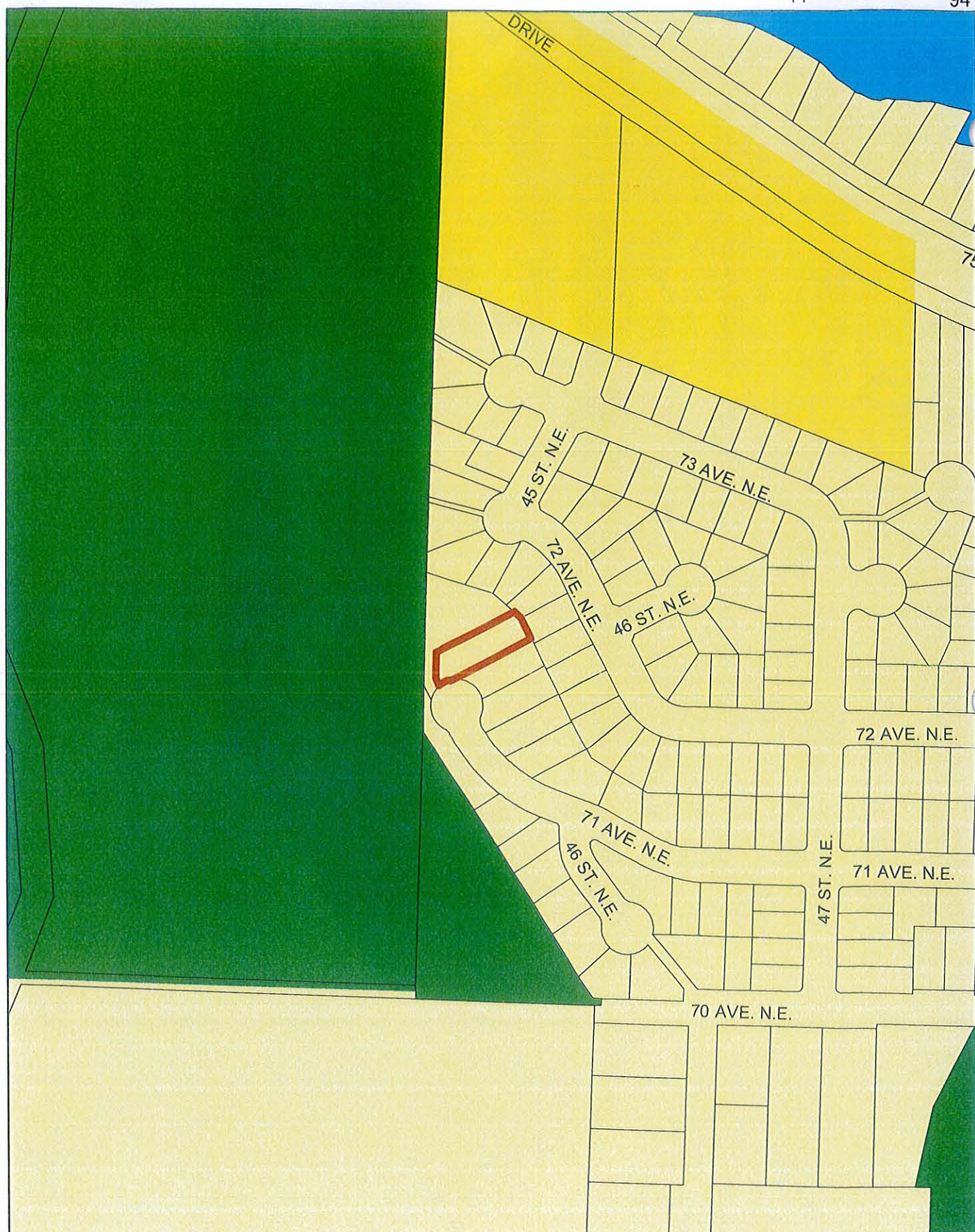


0 5 10 20 30 40 Meters



Subject Parcel





Subject Parcel



Park

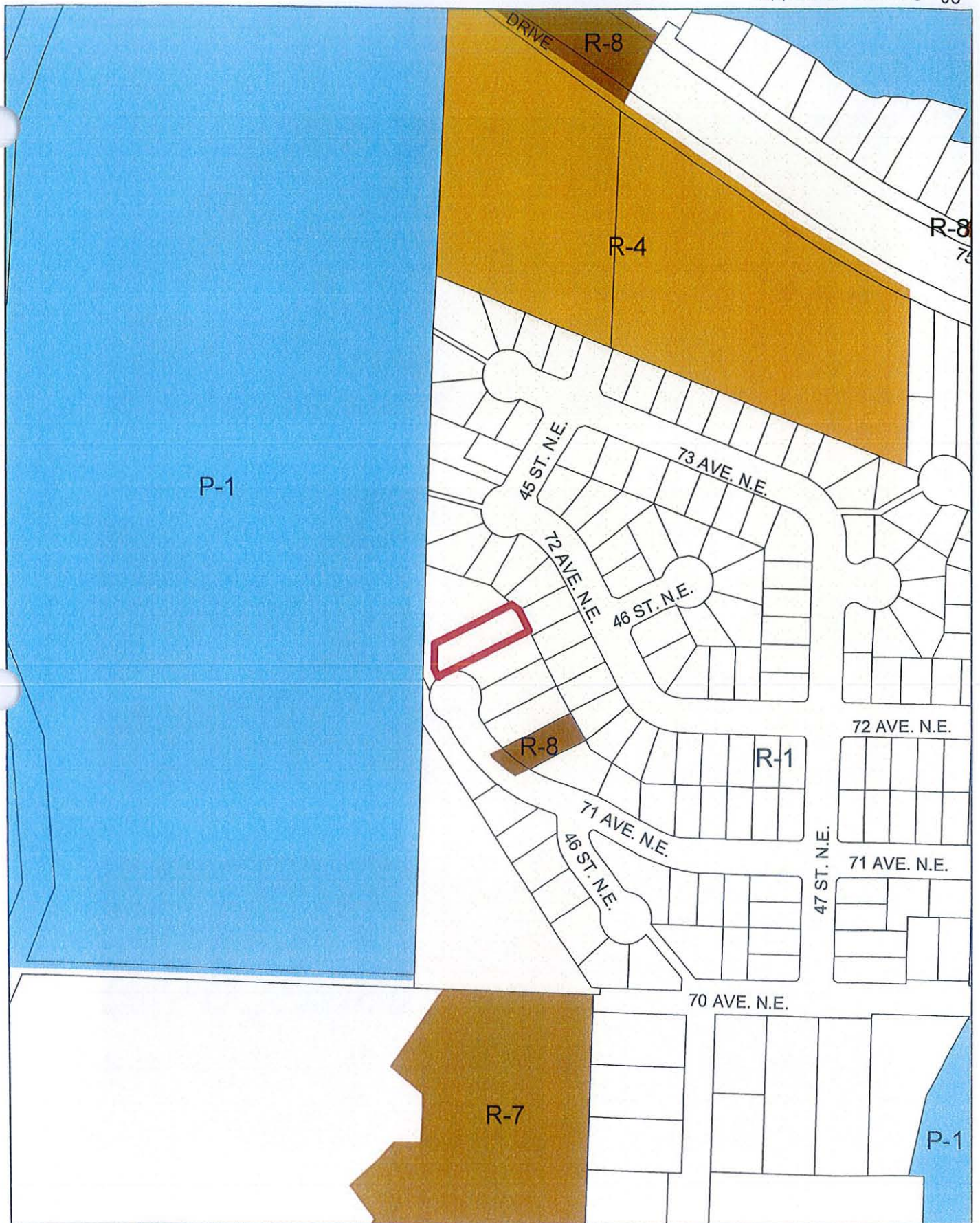


Low Density Residential



Medium Density - Residential





0 30 60 120 180 240 Meters



Subject Parcel





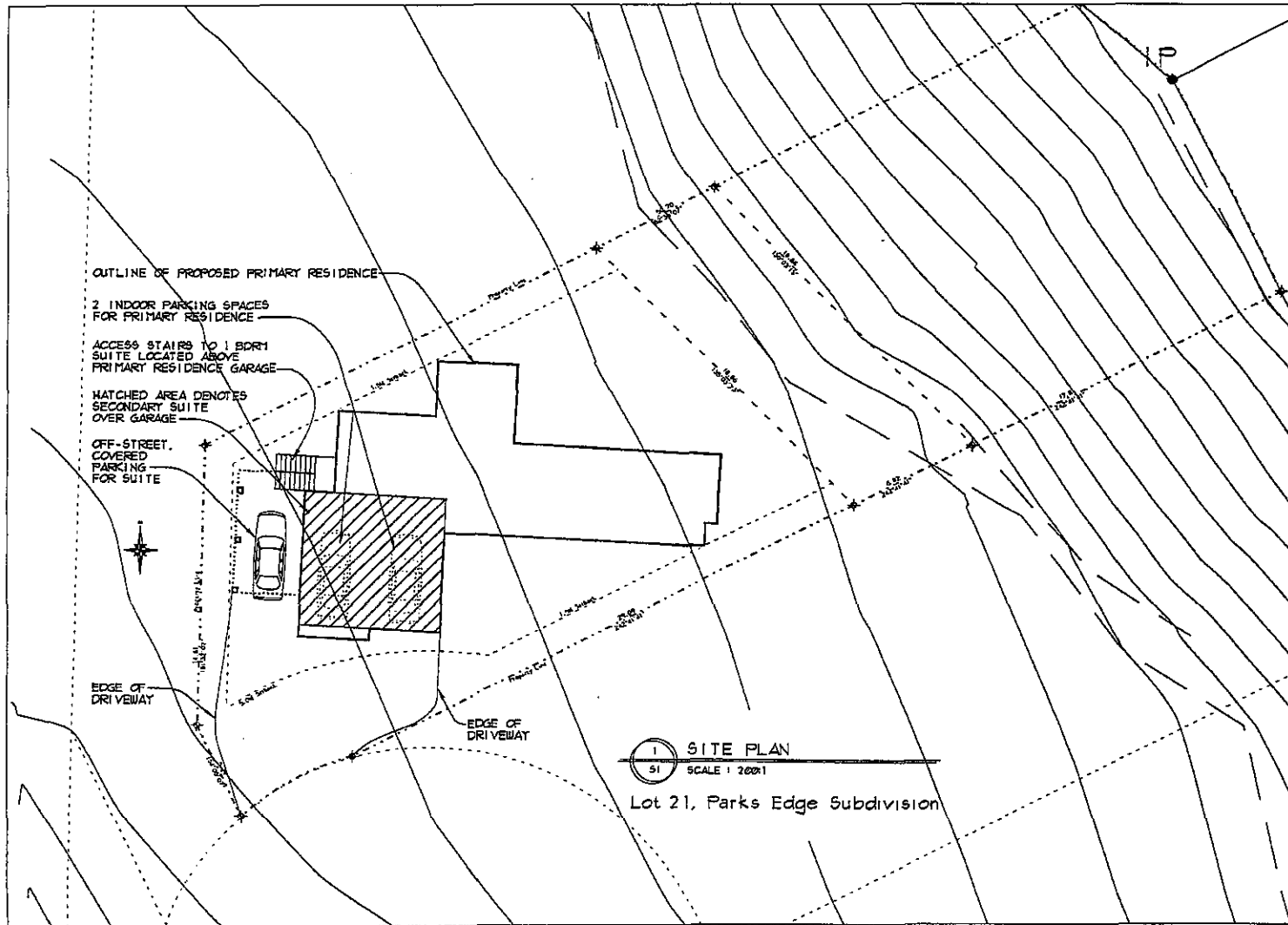
View north of subject parcel from 71 Avenue NE.

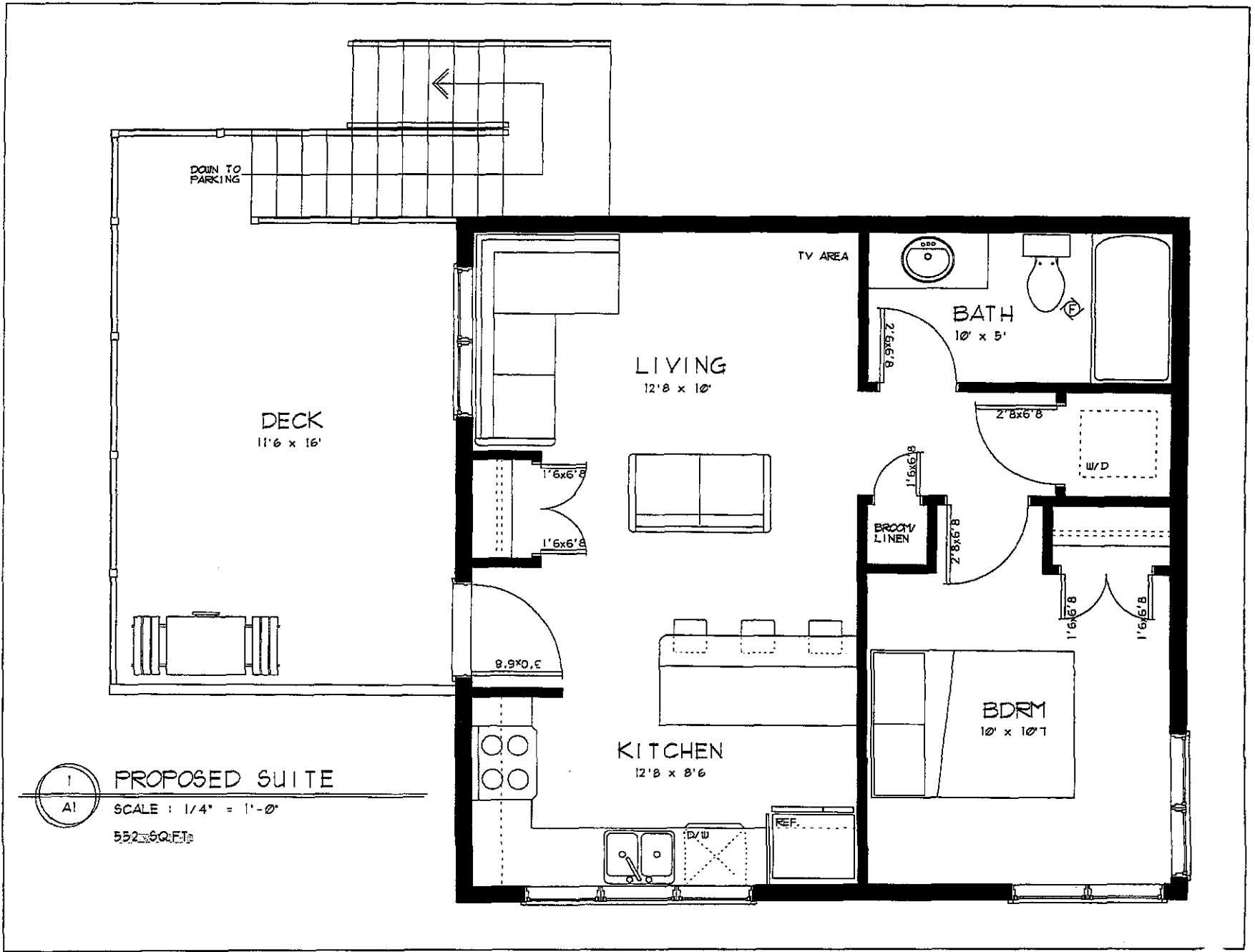


View east of subject parcel from trail at north end of 71 Avenue.



View south of subject parcel from 45 Street NE showing adjacent development.





1  
A1  
**PROPOSED SUITE**  
SCALE : 1/4" = 1'-0"  
552-56Q-ET

# CITY OF SALMON ARM

## BYLAW NO. 4254

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Room 100 at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on April 9, 2018 at the hour of 7:00 p.m. was published in the \_\_\_\_\_, 2018 and \_\_\_\_\_, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 21, Section 6, Township 21, Range 9, W6M, KDYD, Plan EPP67163 from R-1 Single Family Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4254"**

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF , 2018

---

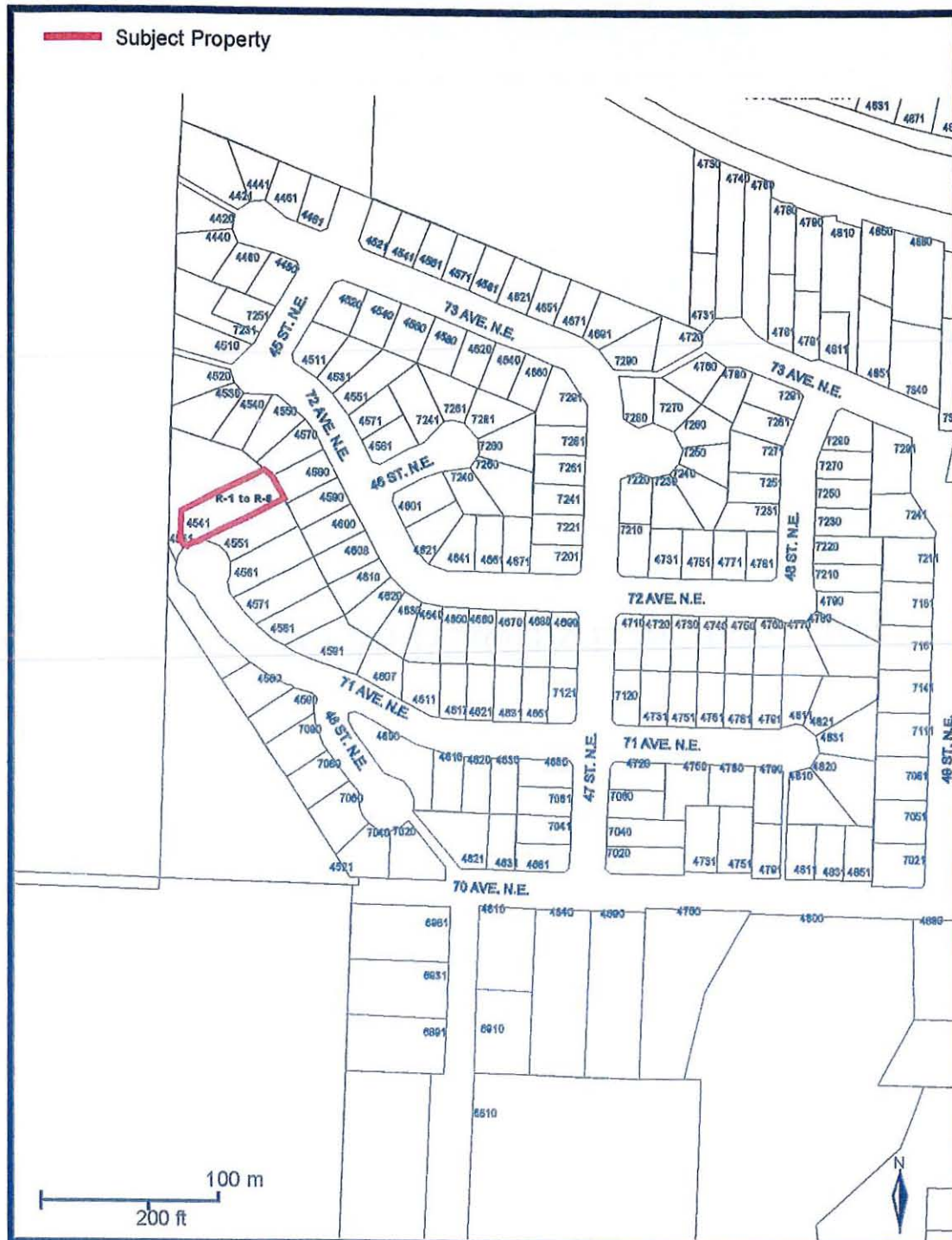
MAYOR

---

CORPORATE OFFICER



SCHEDULE "A"



THIS PAGE INTENTIONALLY LEFT BLANK



Item 8.5

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Flynn

Seconded: Councillor Eliason

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4255 be read a first and second time;

AND THAT: final reading of the Zoning Amendment Bylaw be withheld subject to confirmation that the proposed suite meets Zoning Bylaw and BC Building Code requirements.

[ZON-1122; Glanville, B. & Rose, A.; 2621 – 30 Street NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm

Development Services Department Memorandum

To: Her Worship Mayor Cooper and Members of Council

Date: March 8, 2018

Subject: Zoning Bylaw Amendment Application No. 1122

Legal: Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP59280  
 Civic: 2621 30 Street NE  
 Owner: Glanville, B. & Rose, A.

**MOTION FOR CONSIDERATION**

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP59280 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone);

**AND FURTHER THAT:** final reading of the zoning amendment bylaw be withheld subject to confirmation that the proposed suite meets Zoning Bylaw and BC Building Code requirements.

**STAFF RECOMMENDATION**

**THAT:** The motion for consideration be adopted.

**PROPOSAL**

The subject parcel is located at 2621 30 Street NE and currently contains a single-family dwelling and accessory buildings (Appendix 1 and 2). The proposal is to rezone the parcel from R-1 (Single Family Residential Zone) to R-8 (Residential Suite) in order to develop a *detached suite* within an existing accessory building.

**BACKGROUND**

The subject parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 and 4). The subject parcel is located just north of the Uptown commercial area and the secondary school, a residential area largely comprised of R-1, R-8, and A-2 zoned parcels. There are currently five R-8 zoned parcels within close proximity of the subject parcel.

The large subject parcel is just under 1 acre in area and meets the conditions of minimum parcel area and minimum parcel width as specified by the proposed R-8 zone. Site photos are attached as Appendix 5. The intent of the applicant is to renovate an existing accessory building (currently a workshop) to contain a *secondary suite* (a Letter of Intent is attached as Appendix 6). Staff note that the residential area of a suite is limited to 90 square metres (to be confirmed at Building Permit stage).

Any development of a *detached suite* would require a building permit and will be subject to Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

Secondary Suites

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in Low Density Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on the parcel area, the lot as it presently exists has potential for the development of either a *secondary suite* or a *detached suite*, including sufficient parking to serve the suite.

COMMENTSEngineering Department

No objections provided that onsite parking requirements are met.

Building Department

No Concerns with rezoning.

Staff note that the conversion of existing garage buildings for residential use can present a significant challenge. Often the building must be completely dismantled and reconstructed to meet the energy, window/egress, ventilation, and radon mitigation requirements of the BCBC.

A secondary suite is subject to BC Building Code requirements.

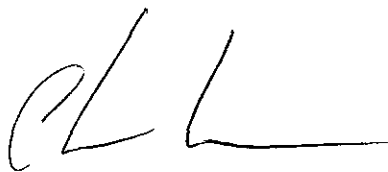
Fire Department

No concerns.

Planning Department

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. Any development of a *secondary suite* or *detached suite* will require a building permit and will be subject to meeting Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

While the proposed conversion of an accessory building to residential use can be practically challenging, the proposed use substantially aligns with existing development patterns in the area.

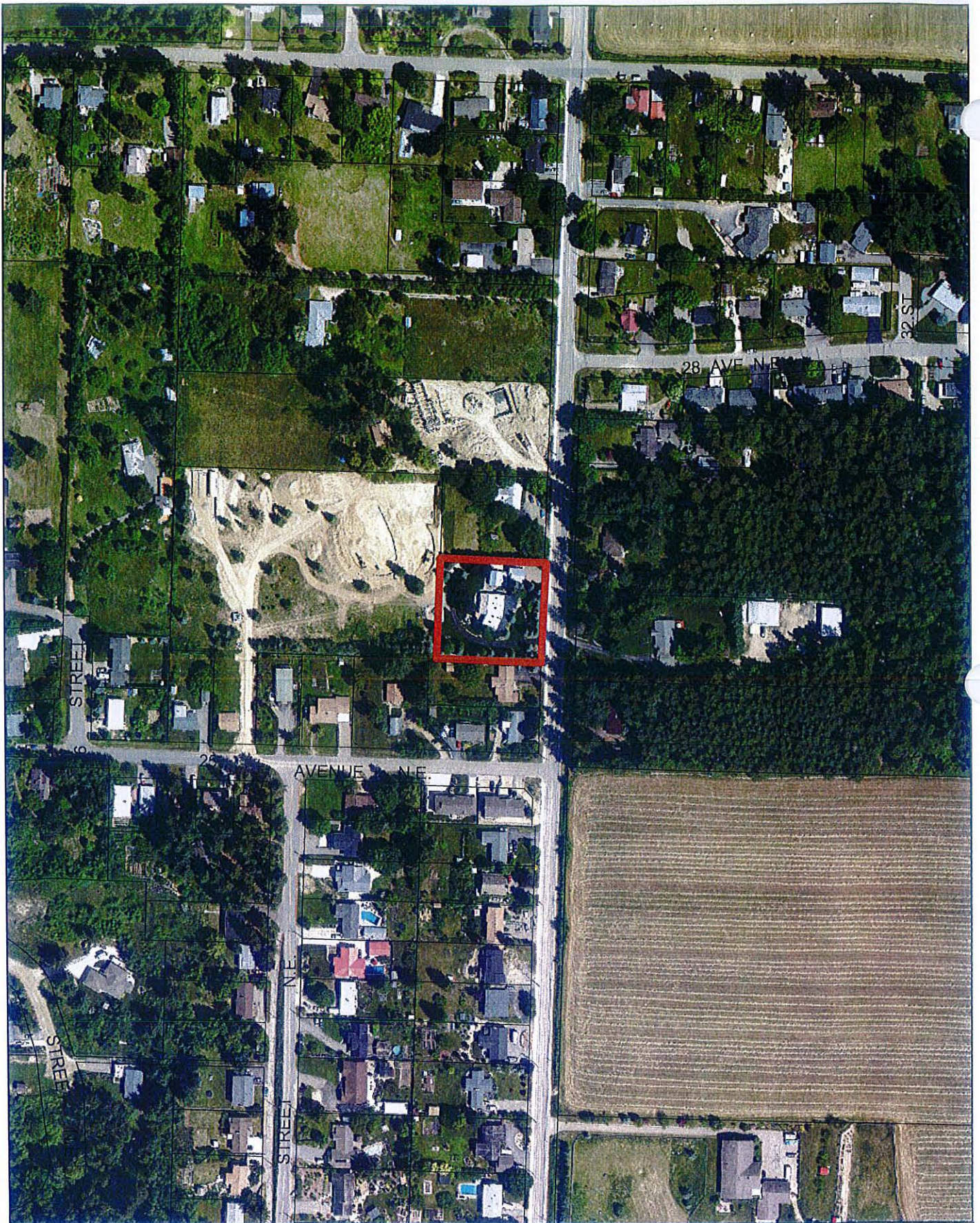


Prepared by: Chris Larson  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



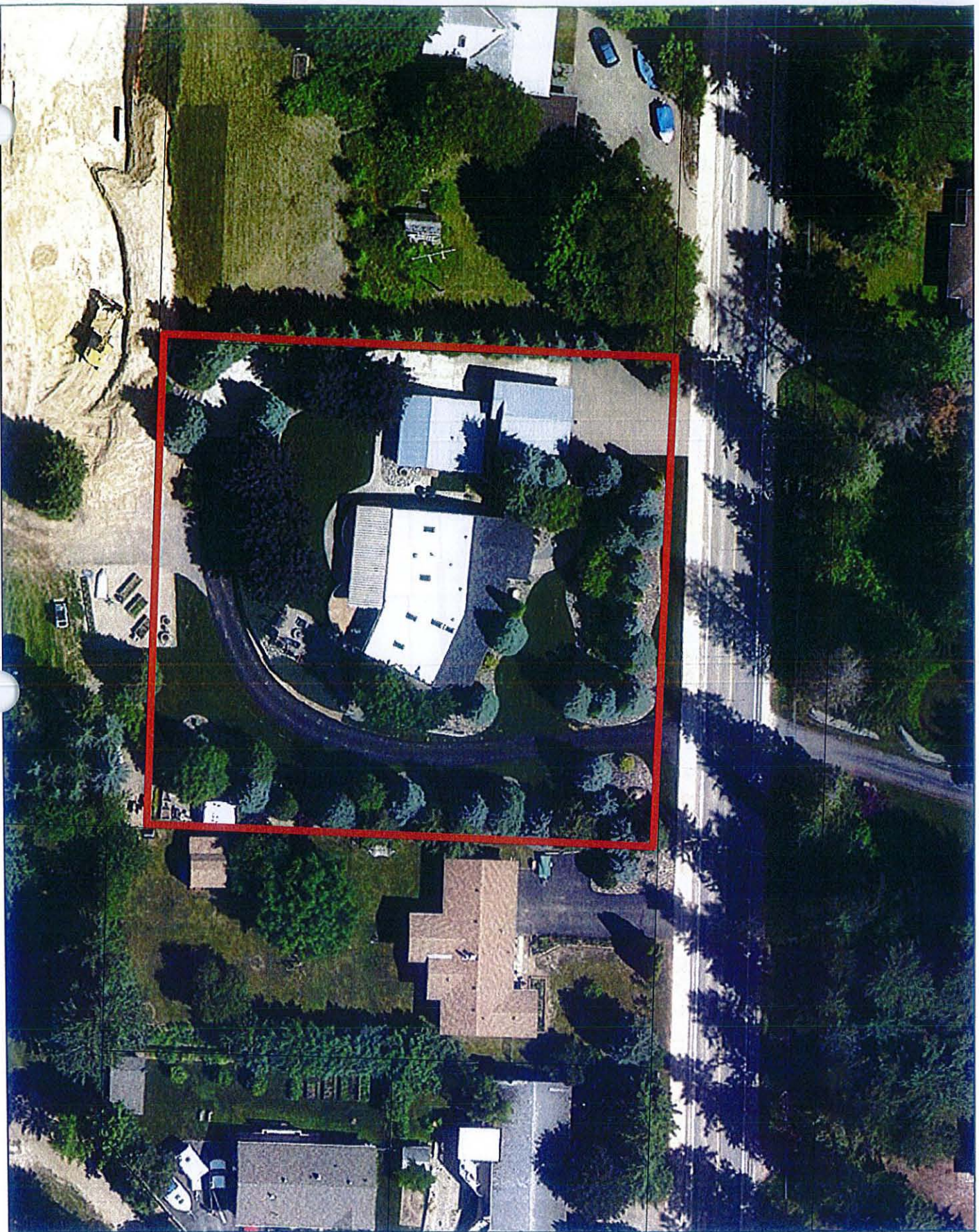


0 35 70 140 210 280 Meters



Subject Parcel



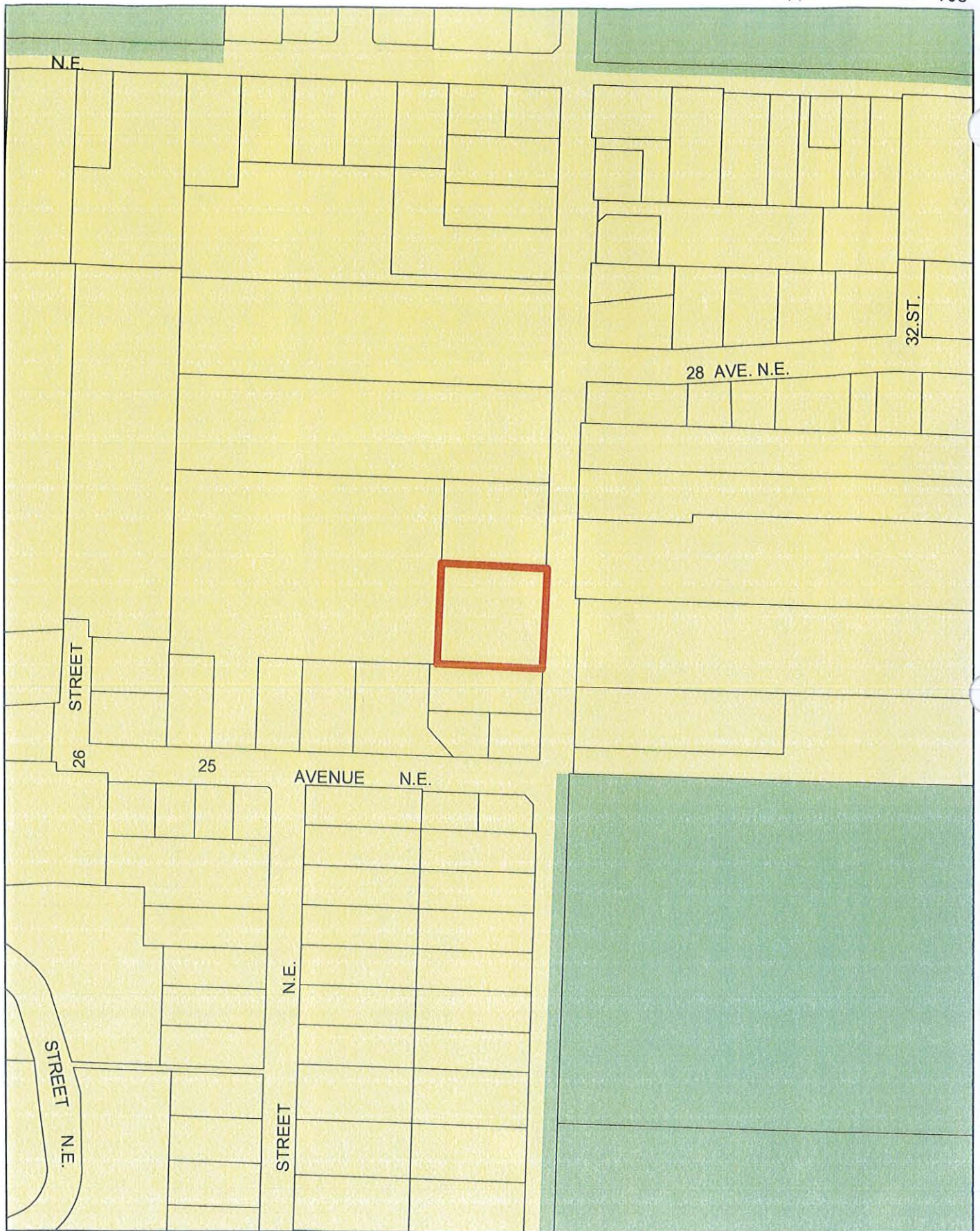


0 5 10 20 30 40  
Meters



Subject Parcel





0 15 30 60 90 120  
Meters

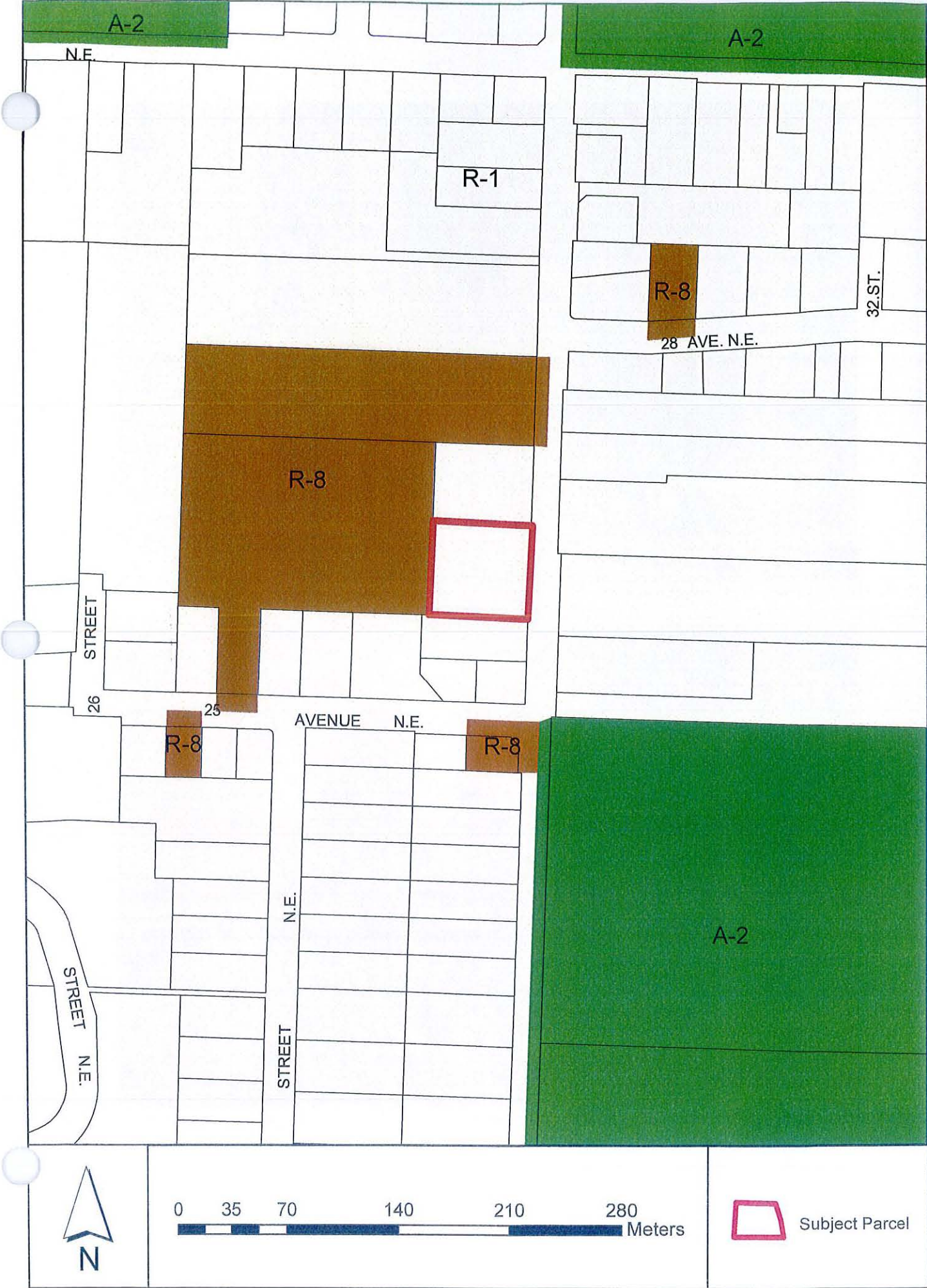


Subject Parcel

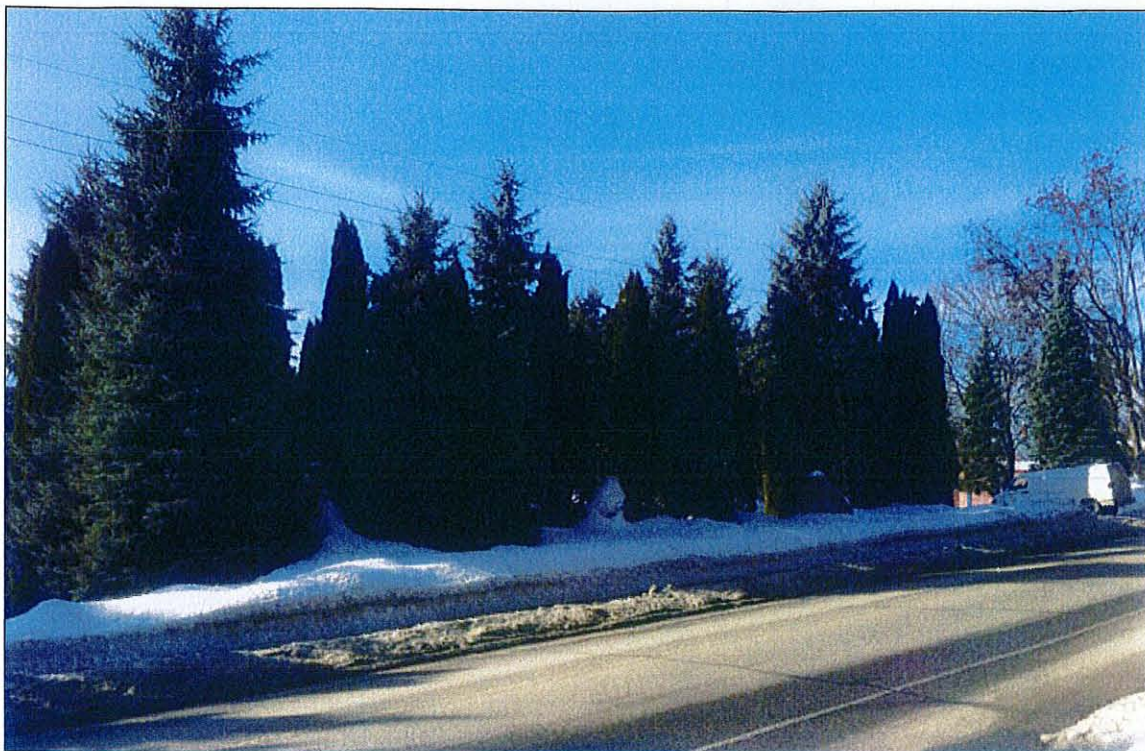
Low Density  
Residential

Acreage Reserve









View north-west of subject parcel from 30 Street NE. The parcel lines have a buffer of mature trees.



View south-west of subject parcel from 30 Street NE.



To: City of Salmon Arm

Date: January 14, 2018

Re: Rose/Glanville Guest and Caregiver Suite (2621 30 st NE Salmon Arm) – Rezoning and building permit

To whom it may concern,

On our property, there is a free standing building behind the garage and next to the house that currently serves as a shop. We are hoping to convert it into a guest/live in care giver suite as there is not an extra room in the house to fit that purpose. There are therefore 2 parts to this application – 1. A rezoning application from R1 to R8, and 2. A building permit application for the changes we would like to make to the building.

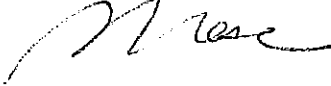
Of note, we would not be changing the dimensions or location of the building. We would be separating the building into a guest suite at the back and a smaller storage area at the front (see drawn plans for details). We would be adding a bathroom (tied into the existing house sewer system), insulating and dry walling, putting in a subfloor and flooring, and adding a window at the back.

Both my husband and I are family physicians in Salmon Arm and are needing to complete this project as soon as possible to accommodate a live in caregiver for our children starting this summer. If there is any way to expedite the rezoning/permit process to help us with this we would be very grateful!

Thanks for your consideration.

Sincerely,

Andrea Rose



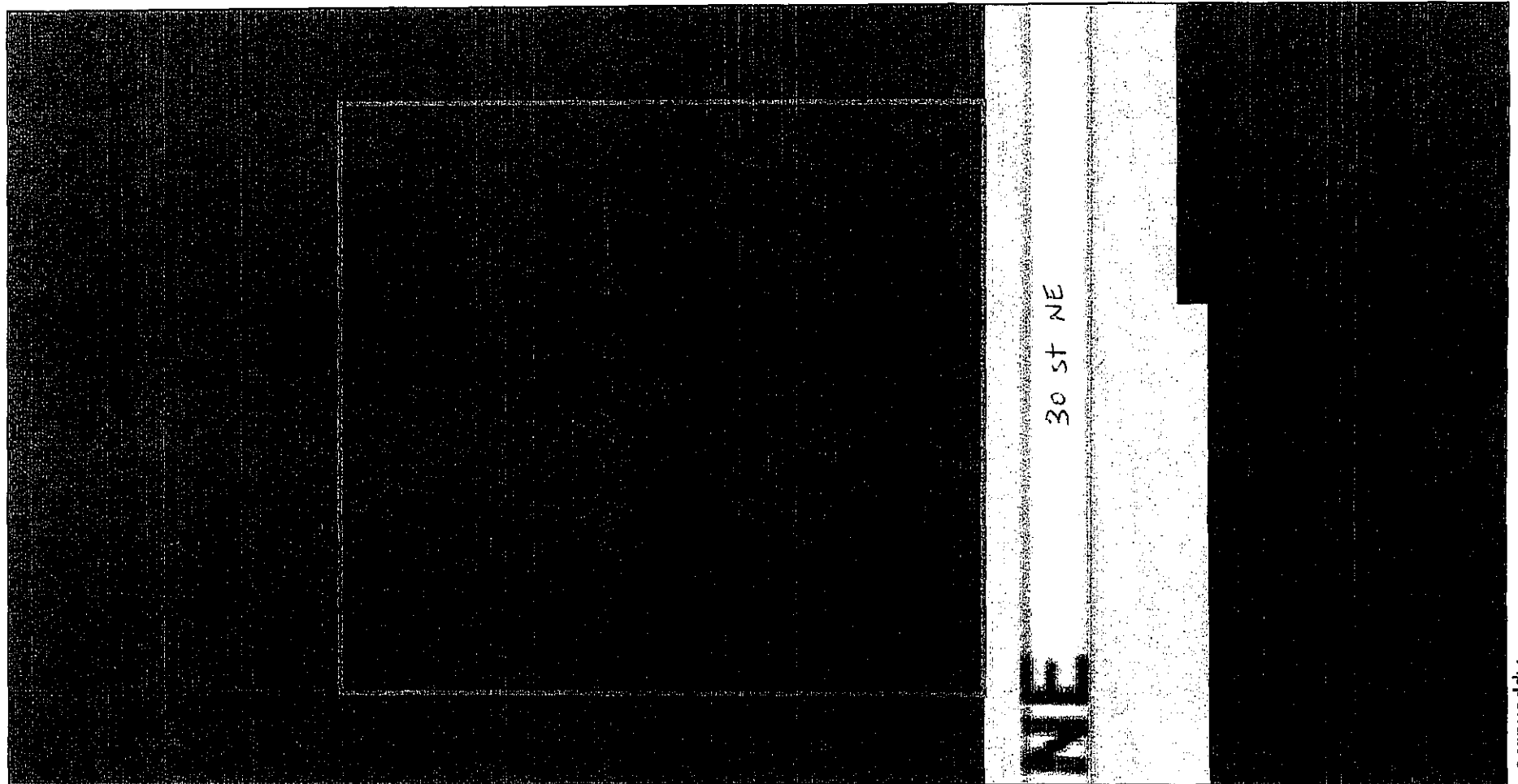
Phone: 250-253-3510







# ParcelMap BC Print Report



January 11, 2018

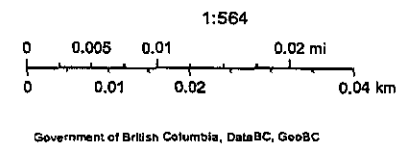
## Interest Parcels

Interest

## Parcels By Class

Subdivision  
Absolute Fee Book  
Building Strata

Bare Land Strata  
Common Ownership  
Park  
Air Space  
Road  
Crown Subdivision  
Primary  
Part of Primary  
TileCache



Cadastral data from ParcelMap BC  
Copyright 2016 LTSA4

# CITY OF SALMON ARM

## BYLAW NO. 4255

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Room 100 at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on April 9, 2018 at the hour of 7:00 p.m. was published in the \_\_\_\_\_, 2018 and \_\_\_\_\_, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan EPP59280 from R-1 Single Family Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "**City of Salmon Arm Zoning Amendment Bylaw No. 4255**"

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

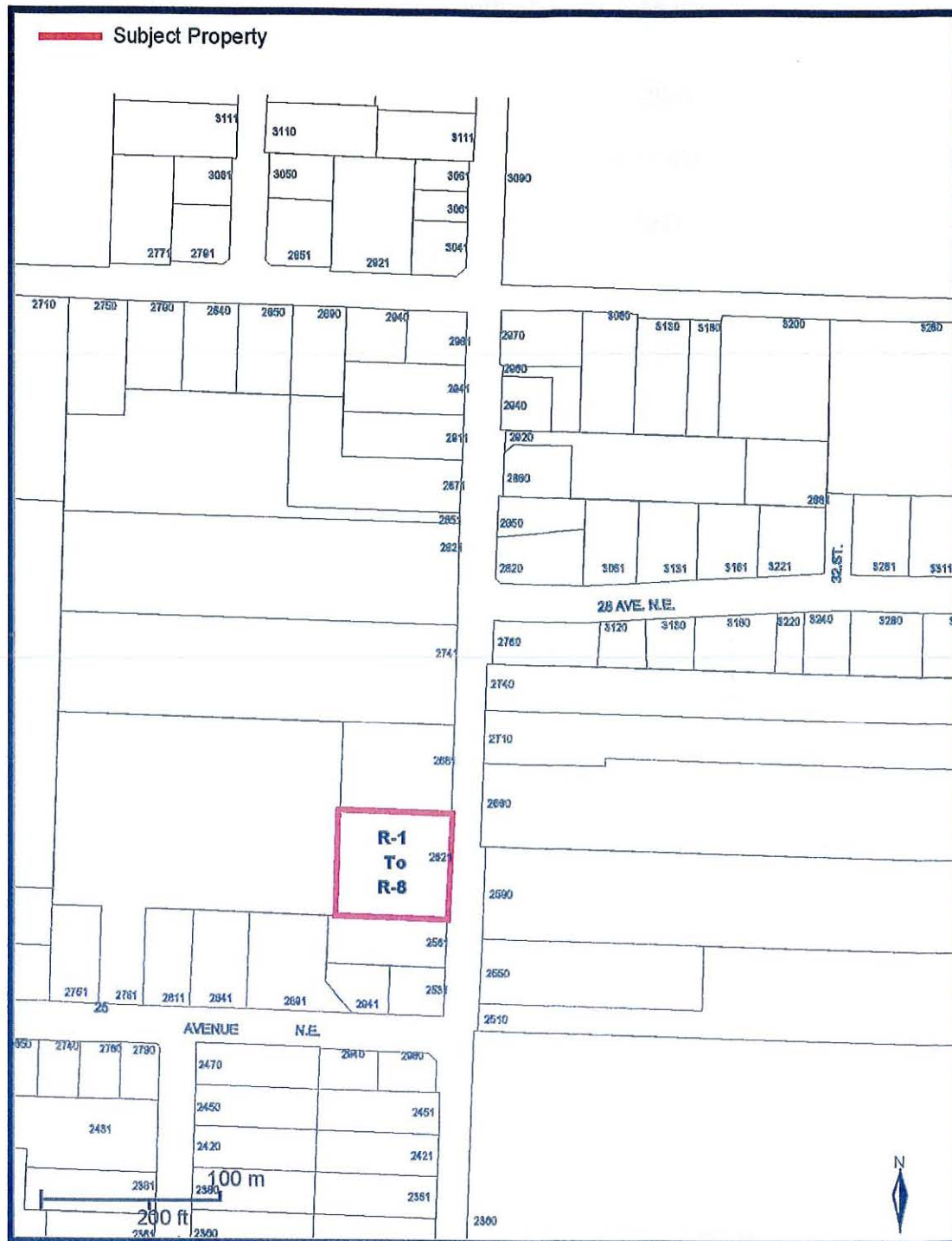
READ A THIRD TIME THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF , 2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

## SCHEDULE "A"



Item 8.6

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the bylaw entitled Zoning Bylaw No. 4256 be read a first and second time;

AND THAT: final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

[ZON-1121; 1120170 BC Ltd. / Walters, R.; 1160 – 16 Street NE; R-1 to CD-7;]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*

*Development Services Department Memorandum*

TO: Her Worship Mayor Cooper and Members of Council

DATE: March 13, 2018

SUBJECT: Zoning Bylaw Amendment Application No. 1121 (R-1 to CD-7)  
 Legal: Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 3898, Except Plan KAP55055  
 Civic Address: 1160 – 16 Street NE  
 Owner: 1120170 BC Ltd.  
 Applicant: Reg Walters

**MOTION FOR CONSIDERATION**

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 3898, Except Plan KAP55055 from R-1 (Single Family Residential Zone) to CD-7 (Comprehensive Development Zone - 7);

**AND FURTHER THAT:** Final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

**STAFF RECOMMENDATION**

**THAT:** The motion for consideration be adopted.

**PROPOSAL**

The subject parcel is located at 1160 – 16 Street NE and is currently vacant (APPENDICES 1 and 2). The proposal is to rezone the parcel from R-1 (Single Family Residential) to CD-7 (Comprehensive Development Zone – 7) to accommodate a five lot subdivision with secondary suites.

The plan of subdivision is attached as APPENDIX 5 and site photos as APPENDIX 6.

**SITE CONTEXT**

The subject parcel is a corner lot fronting both 16 Street NE and 11 Avenue NE and is approximately 3,656 m<sup>2</sup> in size. The property is designated Medium Density Residential in the City's Official Community Plan (OCP) and zoned Single Family Residential (R-1) in the Zoning Bylaw. The adjacent land uses are described as follows:

North: Single Family Residential (R-1)  
 South: 11 Avenue NE / Single Family Residential (R-1)  
 East: Single Family Residential (R-1)  
 West: 16 Street NE / Single Family Residential (R-1)



### Secondary Suites

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in Medium Density Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. In this case, the CD-7 zone permits only secondary suites within the principle dwelling and not detached secondary suites. Based on the parcel area, if the proposed lots were rezoned to the more common R-8 zone, two of the proposed lots (1 & 2) would meet the minimum lot size for detached suites.

### COMMENTS

#### Fire Department

No concerns.

#### Building Department

No concerns.

#### Engineering Department

Engineering Department has no objections to the rezoning; however it is recommended that the lot sized be maintained to allow for onsite parking as offsite parking is not advised in this location.

#### Planning Department

The subject parcel is designated Medium Density Residential in the City's OCP. The proposed CD-7 zone is supported within the Medium Density Residential designation and therefore the proposal is consistent with the current OCP land use designation.

The purpose of the CD-7 zone, attached as APPENDIX 7, is to provide medium density, single family dwellings with secondary suites. The zone allows for 350 m<sup>2</sup> minimum parcel area and reduced setbacks in comparison to the R-1 zone. In terms of neighbourhood design, there would also be a notable difference in the siting of dwellings with the minimum setback of 5 m from a front parcel line prescribed in the CD-7 zone. Most of the older homes in this neighbourhood are sited well further back than the 6 m minimum of the R-1 zone. The proposed lots are 540 m<sup>2</sup> and larger which exceeds the minimum parcel area required. Given the proposed size of the lots, onsite parking and additional parking required for secondary suites is not anticipated to be an issue. However, there is limited opportunity for on street parking in this location. 11 Avenue NE in this location is also a designated a Bike Route in the OCP (Map 12.2).

The CD-7 zone has been implemented in the Maplewoods subdivision on 24 Street NE with lots sizes ranging from 400 m<sup>2</sup> to 558 m<sup>2</sup>. Some concerns have been raised regarding on street parking and snow clearing along this block. On street parking is used extensively even though onsite parking requirements are met for all single family dwellings and secondary suites.

### CONCLUSION

The requested zoning amendment to CD-7 to accommodate a five lot subdivision is recommended for approval by staff for the above noted reasons.

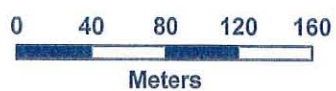


Prepared by: Wesley Miles, MCIP, RPP  
Planning and Development Officer

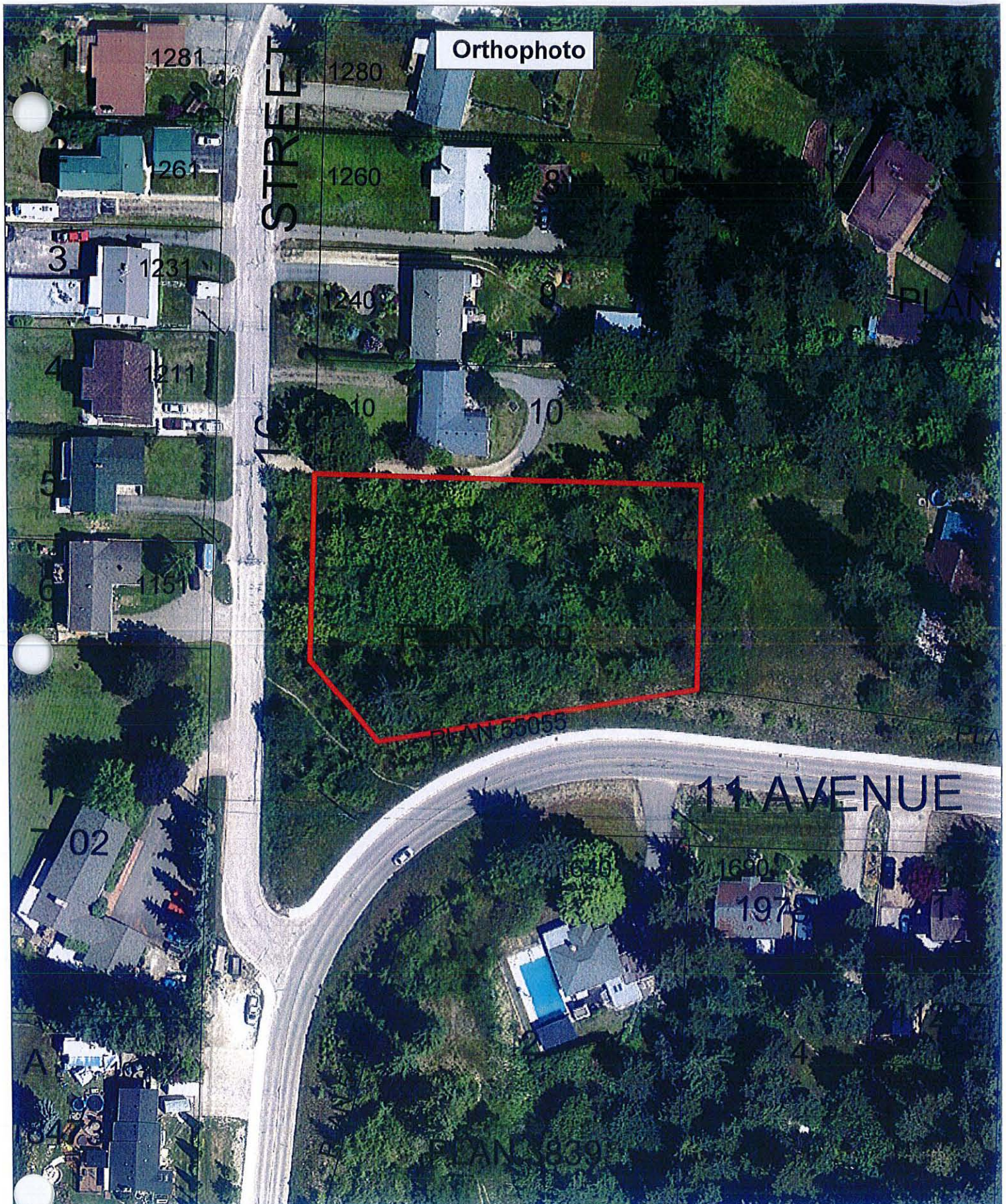


Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services









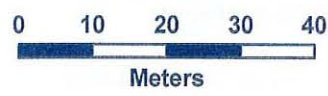
Orthophoto

PLAN

FLA

PLAN 55055

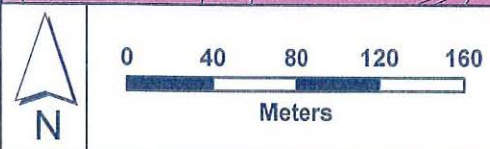
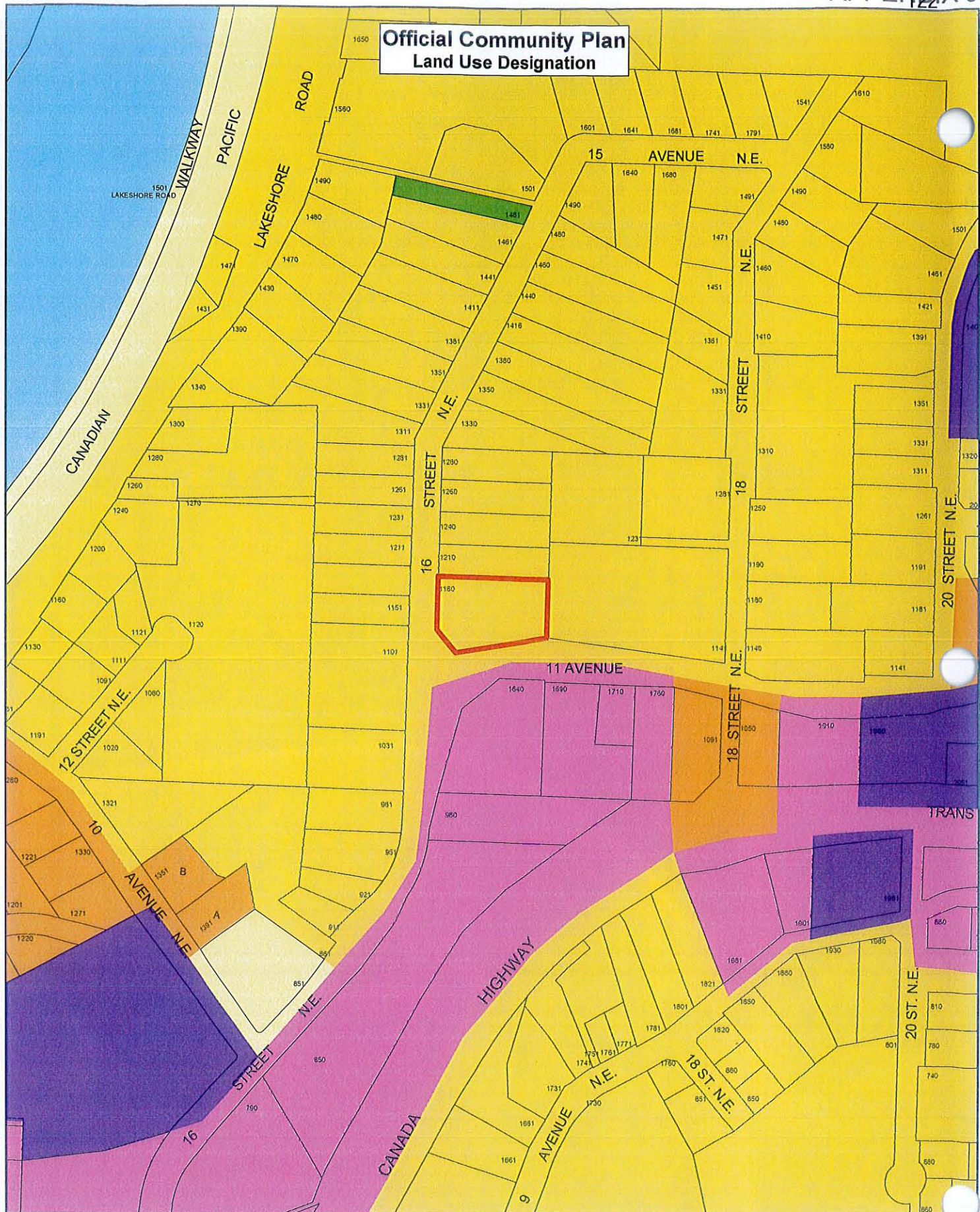
PLAN 5839







 Subject Parcel



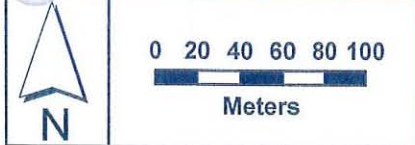
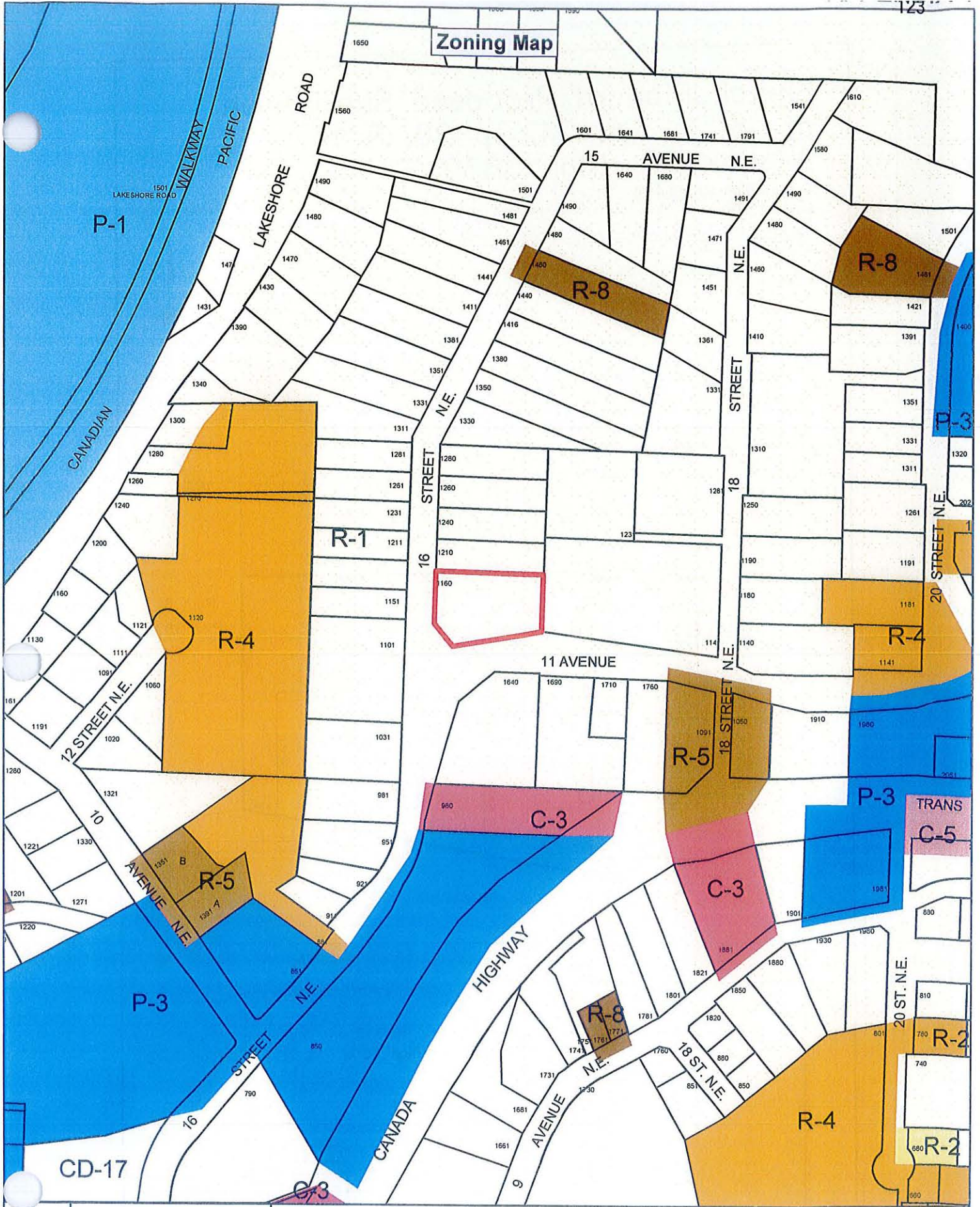
# Official Community Plan Land Use Designation



- |  |  |
|--|--|
|  Subject Parcel           |  Residential Medium Density           |
|  Residential High Density |  Highway Service / Tourist Commercial |



# Zoning Map



Subject Parcel



Estate Residential



Residential Suite



Single Family Residential



Park and Recreation



Medium Family Residential



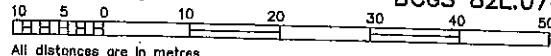
Large Lot Residential

# Sketch Plan of Proposed Subdivision of Lot 1, Sec 24, Tp 20, R 10, W6M, KDYD, Plan 3839

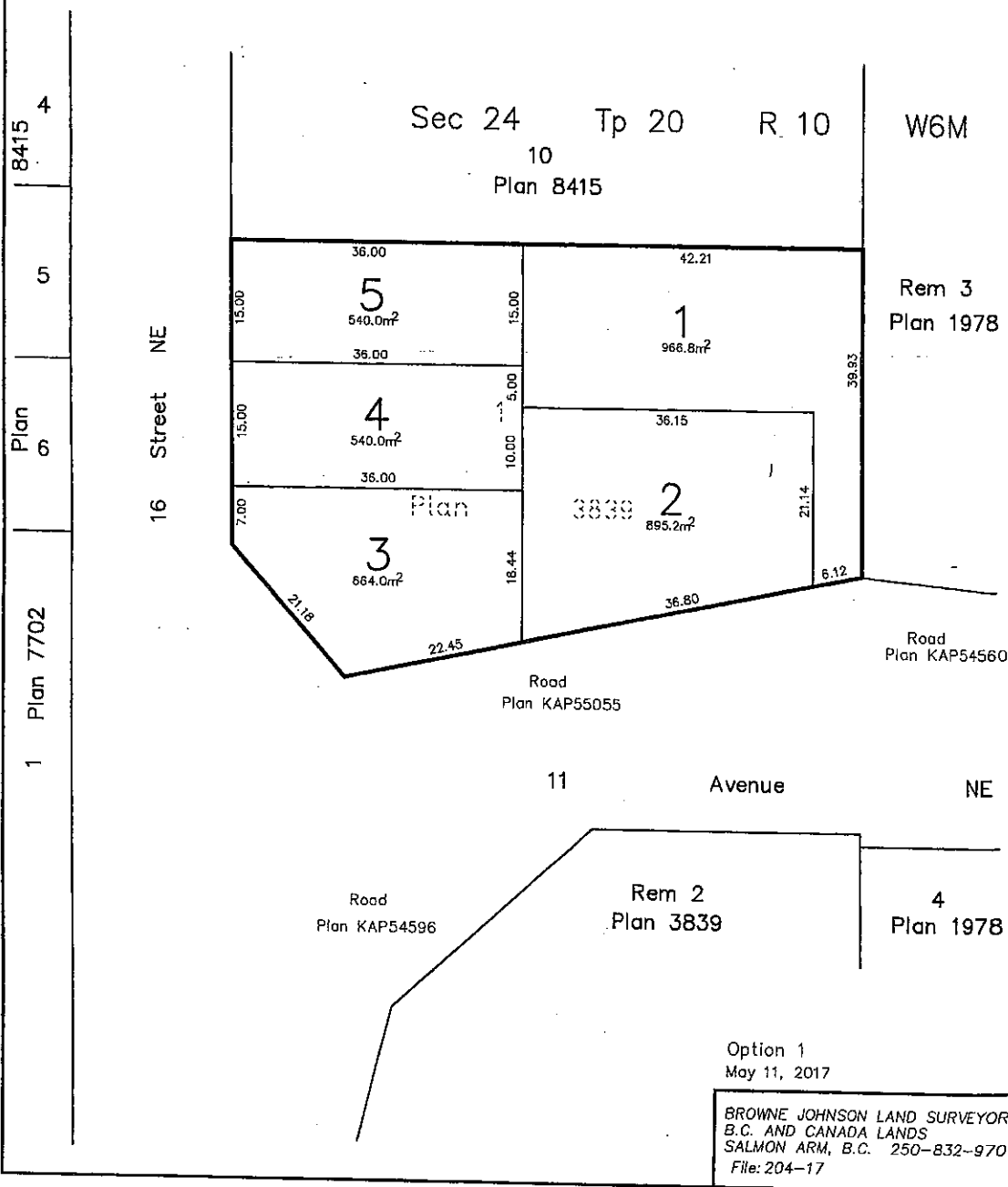
Except Plan KAP55055

Scale 1:500

BCGS 82L.074



The intended plot size of this Plan is 280mm in width by  
432mm in height (B size) when plotted at a scale of 1:500





## APPENDIX 6



Photo 1: Photo looking south east from 16 Street NE at the subject property.



Photo 2: Photo looking south at the subject property from the intersection of 11 Avenue NE and 16 Street NE.

#3685

---

SECTION 45 - CD-7 - COMPREHENSIVE DEVELOPMENT ZONE - 7

---

**Purpose**

- 45.1 The purpose of the CD-7 Zone is to provide for medium density, *single-family dwellings* with *secondary suites*.

**Regulations**

- 45.2 On a *parcel* zoned CD-7, no *building* or *structure* shall be constructed located or altered and no plan of subdivision approved which contravenes the regulations set out in the CD-7 Zone or those regulations contained elsewhere in this Bylaw.

**Permitted Uses**

- 45.3 The following uses and no others are permitted in the CD-7 Zone:

- .1 *bed and breakfast*, limited to two let rooms;
- .2 *boarders*, limited to two;
- .3 *home occupation*;
- .4 *public use*;
- .5 *public utility*;
- .6 *single family dwelling*;
- .7 *accessory use*, including *secondary suite*.

**Maximum Number of Single-Family Dwellings**

- 45.4 The maximum number of *single family dwellings* shall be one (1) per *parcel*.

**Maximum Number of Secondary Suites**

- 45.5 The maximum number of *secondary suites* shall be one (1) per *parcel*.

**Maximum Height of Principal Building**

- 45.6 The maximum *height* of the *principal building* shall be 10.0 metres (32.8 feet).

**Maximum Height of Accessory Building**

- 45.7 The maximum *height* of an *accessory building* shall be 6.0 metres (19.7 feet).

**Maximum Parcel Coverage**

- 45.8 The total maximum *parcel coverage* for *principal* and *accessory buildings* shall be 45% of the *parcel area*, of which 10% shall be the maximum *parcel coverage* for *accessory buildings*.



#3685

---

**SECTION 45 - CD-7 - COMPREHENSIVE DEVELOPMENT ZONE - 7 - CONT'D**


---

**Minimum Parcel Area**

45.9 The minimum *parcel area* shall be 325.0 square metres (3,498 square feet).

**Minimum Parcel Width**

45.10 The minimum *parcel width* shall be 11.0 meters (36 feet).

**Minimum Setback of Principal Building**

45.11 The minimum *setback* of the *principal building* from the:

- .1 *Front parcel line* shall be 5.0 metres (16.4 feet)
- .2 *Rear parcel line* shall be 5.0 metres (16.4 feet)
- .3 *Interior side parcel line* shall be 1.2 metres (3.9 feet)
- .4 *Exterior side parcel line* shall be 5.0 metres (16.4 feet)
- .5 Notwithstanding Sections 6.10.2 and 6.10.3, a *principal building* on a corner *parcel* may be sited not less than 1.5 metres (4.9 feet) from the rear parcel line provided the combined total of the *rear* and *interior side yards* shall be not less than 5.0 metres (16.4 feet).
- .6 Refer to Section 4.9 for "Special Building Setbacks" which may apply.

**Minimum Setback of Accessory Buildings**

45.12 The minimum setback of an *accessory building* from the:

- .1 *Front parcel line* shall be 5.0 metres (16.4 feet)
- .2 *Rear parcel line* shall be 1.0 metre (3.3 feet)
- .3 *Interior side parcel line* shall be 1.0 metre (3.3 feet)
- .4 *Exterior side parcel line* shall be 5.0 metres (16.4 feet)
- .5 Refer to "Pound and Animal Control Bylaw" for special *setbacks* which may apply.

**Maximum Floor Area Ratio**

45.13 The maximum *floor area ratio* of a *single family dwelling* shall be 0.65.

**Parking**

45.14 Parking shall be required as per Appendix I.

# CITY OF SALMON ARM

## BYLAW NO. 4256

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Room 100 at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on April 9, 2018 at the hour of 7:00 p.m. was published in the \_\_\_\_\_, 2018 and \_\_\_\_\_, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 24, Township 20, Range 10, W6M, KDYD, Plan 3839, Except Plan KAP55055 from R-1 Single Family Residential Zone to CD-7 Comprehensive Development Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as “City of Salmon Arm Zoning Amendment Bylaw No. 4256”

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE DAY OF , 2018

\_\_\_\_\_  
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF , 2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

SCHEDULE "A"



Item 8.7

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Official Community Plan Amendment Bylaw No. 4257 be read a first time;

AND THAT: Pursuant to Section 475 of the *Local Government Act*, Council has considered the Official Community Plan amendment after appropriate consultation with affected organizations and authorizes;

AND THAT: Pursuant to Section 477(3)(a) of the *Local Government Act*, Second Reading of the Official Community Plan amendment be withheld pending Council's consideration of the proposed Official Community Plan amendment in conjunction with:

- 1) The Financial Plans of the City of Salmon Arm; and
- 2) The Liquid Waste Management Plan of the City of Salmon Arm.

[OCP4000-32; Wilmark Homes Ltd. / Homecraft Construction Ltd. / Onsite Engineering Ltd.; 6810 Park Hill Road NE]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond





**City of Salmon Arm**  
**Development Services Department Memorandum**

TO: Her Worship Mayor Cooper and Council

FROM: Development Services

DATE: March 21, 2018

SUBJECT: Provision of Park Land - CSA Files OCP4000-32; ZON.1109; & Sub.17.24  
 Amended Legal Subdivision 15 of Sec. 31, Tp. 20, R. 9, W6M, KDYD, except Plans  
 10393 and 21686  
 6810 Park Hill Road NE  
 Owner: Wilmark Homes Ltd. / Homecraft Construction Ltd.  
 Agent: Onsite Engineering Ltd. (Jan van Lindert)

**FOR INFORMATION**

At the time of subdivision, the *Local Government Act* requires that:

510 (1) An owner of land being subdivided must, at the owner's option,

- (a) provide, without compensation, park land of an amount and in a location acceptable to the local government , or
- (b) pay to the municipality or regional district an amount that equals the market value of the land that may be required for park land purposes under this section as determined under subsection (6) of this section. (see Appendix 1)

Despite Section 510(1), Section 510(2)(b) provides that if an Official Community Plan contains policies and designations respecting the location and type of future parks, the local government may determine whether the owner must provide land under subsection (1)(a) or money under subsection (1)(b).

The *Act* further requires that, the amount of land that may be required or used for establishing the amount that may be paid under subsection 510(1)(b) must not exceed 5% of the land being proposed for subdivision and, if an owner is to pay money , the value of the land is whichever of the following is applicable:

**510 (6)**

- (a) if the local government and owner agree on a value for the land, the value on which they have agreed;
- (b) the average market value of all the land in the proposed subdivision calculated
  - i) as that value would be on the date of preliminary approval of the subdivision or, if no preliminary approval is given, a date within 90 days before the final approval of the subdivision,
  - ii) as though the land is zoned to permit the proposed use, and

.../2

**iii) as though any works and services necessary to the subdivision have not been installed.**

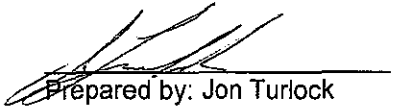
The Act further requires that, if dedication or cash-in-lieu is required, the equivalent amount be deducted from the applicable park component of the Development Cost Charges. (see Appendix 2)

The proposed Parkhill Road NE subdivision was granted preliminary approval on February 27, 2018 and the 2017 and the preliminary 2018 assessed land value of the property is \$1,173,900.00. It is currently anticipated that the proposed subdivision will create 130 single family residential parcels:

Cash -in-lieu ( <i>based on 5% of the assessed land value in accordance with Sec. 510(5) of the Act</i> )	\$ 58,695.00
Plus: Park Development Cost Charges payable	
130 new parcels x \$1,056.66 per parcel	\$137,365.80
Less: equivalent of cash-in-lieu	<u>\$ 58,695.00</u>
	\$ 78,670.80

With the applicant's current proposal, the City would collect \$58,695.00 under the Park Land provisions of the Act and \$78,670.80 under the Park component of the Development Cost Charge provisions, for a total of \$137,365.80.

As the above calculations demonstrate, the collection of additional monies under the cash-in-lieu provision would have no affect to the total amount collected as the cash-in-lieu amount must be deducted from the Park component of the Development Cost Charges.

  
Prepared by: Jon Turlock  
Planning & Development Officer

#### **Appendices**

1. Local Government Act - Section 510
2. Local Government Act - Section 565

## Requirement for provision of park land or payment for parks purposes

**510** (1) Subject to this section and section 516 (3) (h) and (4) [*phased development agreement rules*], an owner of land being subdivided must, at the owner's option,

(a) provide, without compensation, park land of an amount and in a location acceptable to the local government, or

(b) pay to the municipality or regional district an amount that equals the market value of the land that may be required for park land purposes under this section as determined under subsection (6) of this section.

(2) Despite subsection (1),

(a) if a regional district does not provide a community parks service, the option under subsection (1) (b) does not apply and the owner must provide land in accordance with subsection (1) (a), and

(b) subject to paragraph (a), if an official community plan contains policies and designations respecting the location and type of future parks, the local government may determine whether the owner must provide land under subsection (1) (a) or money under subsection (1) (b).

(3) Subsection (1) does not apply to the following:

(a) subject to subsection (4), a subdivision by which fewer than 3 additional lots would be created;

(b) a subdivision by which the smallest lot being created is larger than 2 hectares;

(c) a consolidation of existing parcels.

(4) Subsection (1) does apply to a subdivision by which fewer than 3 additional lots would be created if the parcel proposed to be subdivided was itself created by subdivision within the past 5 years.

(5) The amount of land that may be required under subsection (1) (a) or used for establishing the amount that may be paid under subsection (1) (b) must not exceed 5% of the land being proposed for subdivision.

(6) If an owner is to pay money under subsection (1) (b), the value of the land is whichever of the following is applicable:

(a) if the local government and the owner agree on a value for the land, the value on which they have agreed;

(b) the average market value of all the land in the proposed subdivision calculated

(i) as that value would be on the date of preliminary approval of the subdivision or, if no preliminary approval is given, a date within 90 days before the final approval of the subdivision,

- (ii) as though the land is zoned to permit the proposed use, and
- (iii) as though any works and services necessary to the subdivision have not been installed.

(7) If an owner and a local government do not agree on the average market value for the purpose of subsection (6), it must be determined in the manner prescribed in the regulations that the minister may make for this purpose.

(8) If an area of land has been used to calculate the amount of land or money provided or paid under this section, that area must not be taken into account for a subsequent entitlement under subsection (1) in respect of any future subdivision of the land.

(9) Subject to subsection (11), the land or payment required under subsection (1) must be provided or paid to a municipality or regional district as follows:

- (a) subject to paragraph (b), before final approval of the subdivision is given;
- (b) if the owner and the local government enter into an agreement that the land or payment be provided or paid by a date specified in the agreement, after final approval of the subdivision has been given.

(10) Notice of an agreement under subsection (9) (b) must be filed with the registrar of land titles in the same manner as a notice of a permit may be filed and section 503 [*notice of permit on land title*] applies.

(11) Despite subsection (9), the minister may, by regulation,

- (a) authorize the payment that may be required by this section to be made by instalments, and
- (b) prescribe the conditions under which instalments may be paid.

(12) If land is provided for park land under this section, the land must be shown as park on the plan of subdivision.

(13) Section 107 [*deposit in land title office operates to dedicate and vest park land*] of the Land Title Act applies to park land referred to in subsection (12), except that,

- (a) in the case of land within a municipality, title vests in the municipality, and
- (b) in the case of land outside a municipality, title vests in the regional district if it provides a community parks service.

(14) If an owner pays money for park land under this section, the municipality or regional district must deposit this in a reserve fund established for the purpose of acquiring park lands.



### Deductions from development cost charges

565 (1) Despite a development cost charge bylaw, if

(a) a local government has imposed a fee or charge or made a requirement under

(i) section 397 [*regional district fees and charges*],

(ii) section 194 [*municipal fees*] of the Community Charter,

(iii) Division 11 [*Subdivision and Development: Requirements and Related Matters*] of this Part,  
or

(iv) section 729 [*regulations and procedures for subdivision*] of the *Municipal Act*, R.S.B.C.  
1979, c. 290, before the repeal of that section became effective,

for park land or for specific services outside the boundaries of land being subdivided or  
developed, and

(b) the park land or services referred to in paragraph (a) are included in the calculations used to  
determine the amount of a development cost charge,

the amount of the fee or charge imposed or the value of the requirement made, as referred to in  
paragraph (a), must be deducted from those classes of development cost charges that are  
applicable to the park land or the types of services for which the fee or charge was imposed or  
the requirement was made.

\* \* \*





## City of Salmon Arm

### Development Services Department Memorandum

TO: Her Worship Mayor Cooper and Council

FROM: Development Services

DATE: March 12, 2018

SUBJECT: Official Community Plan Amendment Application File No. OCP4000-32  
 Zoning Amendment Application File No. ZON.1109  
 Amended Legal Subdivision 15 of Sec. 31, Tp. 20, R. 9, W6M, KDYD, except Plans 10393 and 21686  
 6810 Park Hill Road NE  
 Owner: Wilmark Homes Ltd. / Homecraft Construction Ltd.  
 Agent: Onsite Engineering Ltd. (Jan van Lindert)

#### Motion for Consideration

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Official Community Plan Bylaw No. 4000 as follows:

- 1) Re-designate that part of Amended Legal Subdivision 15 of Sec. 31, Tp. 20, R. 9, W6M, KDYD, except Plans 10393 and 21686 as shown on Appendix 10, from Medium Density Residential to Low Density Residential; and
- 1) Amend Map No. 11.1 by removing the proposed Neighbourhood Park on Amended Legal Subdivision 15 of Sec. 31, Tp. 20, R. 9, W6M, KDYD, except Plans 10393 and 21686.

AND THAT: Pursuant to Section 475 of the *Local Government Act*, Council has considered the Official Community Plan amendment after appropriate consultation with affected organizations and authorities.

AND THAT: Pursuant to Section 477(3)(a) of the *Local Government Act*, Second Reading of the Official Community Plan amendment be withheld pending Council's consideration of the proposed Official Community Plan amendment in conjunction with:

- 1) The Financial Plans of the City of Salmon Arm; and
- 2) The Liquid Waste Management Plan of the City of Salmon Arm.

AND THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 as follows:

- 1) Rezone that Part of Amended Legal Subdivision 15 of Sec. 31, Tp. 20, R. 9, W6M, KDYD, except Plans 10393 and 21686 as shown on Appendix 11, from R-4 (Medium Density Residential) and R-7 (Large Lot Single Family Residential) to R-1 (Single Family Residential).

AND THAT: Final Reading of the Zoning Bylaw be withheld pending:

- 1) Approval of the Ministry of Transportation & Infrastructure; and
- 2) Final Reading of the Official Community Plan Amendment Bylaw.

**Staff Recommendation**

THAT: The Motion for Consideration be adopted.

**Proposal**

The subject property is located at 6810 Park Hill Road NE. The property is approximately 14 hectares in size and is vacant. The owner is applying for Official Community Plan (O.C.P.) and Zoning Bylaw amendments to permit construction of approximately 131 residential parcels. A location map, ortho photo and sketch plans of the proposed subdivision are attached as Appendices 1 through 3.

**Background**

The subject property is located within Residential Development Area 'A' and is designated Low Density Residential and Medium Density Residential in the O.C.P.. The property is zoned R-1 (Single Family Residential), R-4 (Medium Density Residential), R-7 (Large Lot Single Family Residential) and R-9 (Estate Residential). O.C.P. and Zoning maps are attached as Appendices 4 and 5.

The property is also located within an Urban Hillside Development Area as identified on Map 1 in Schedule A of Subdivision and Development Servicing Bylaw No. 4163. A copy of Map1 together with a Contour map and an Ortho showing steep slope areas are attached as Appendices 6 through 8. The Hillside Development Area criteria allow for consideration of narrower road widths, including one-way roads, lanes and decreased turn around areas where topography warrants.

The property has been the subject of four previous O.C.P. and zoning amendment applications:

1. In 1993, an application to rezone the property to R-6 (Mobile Home Park) was defeated by Council at third reading (File: ZON-413). Area residents expressed concerns with the density of development and the creation of another mobile home park in Canoe.
2. In 1994, an application to rezone the property from A-2 (Rural Holding) to R-1 (Single Family Residential) was also defeated at third reading (File: ZON-482). Area residents primarily expressed concerns with the proposed density of development.
3. In 1996, an application to rezone the property from A-2 (Rural Holding) to R-7 (Large Lot Single Family Residential) was adopted by Council (ZON-514). The application received little, if any, opposition and was supported by a number of area residents.
4. In 2008, an application to re-designate part of the property from Low Density Residential to Medium Density Residential and to rezone portions of the property from R-7 (Large Lot Single Family Residential) to R-1 (Single Family Residential), R-4 (Medium Density Residential) and R-9 (Estate Residential) zones was adopted by Council (ZON- 841). No concerns were expressed by area residents.

With the 2008 application, the O.C.P. and zoning boundaries were determined by the proposed internal road network and this restricted the subdivision layout, lot sizes and residential uses to that road network. A copy of the proposed development in 2008 is attached as Appendix 9. The applicants have now re-designed the proposed subdivision to remove the Medium Density Residential portion and to take advantage of the Urban Hillside Development Area provisions which were incorporated into Subdivision and Development Servicing Bylaw No. 4163 in 2016. As a result, they are requesting that the Medium Density Residential designation be removed and the entire property east of Park Hill Road NE be designated Low Density Residential and that the R-4 and R-7 portions be rezoned to R-1. The triangular portion of the property west of Park Hill Road NE will retain its current R-9 zoning. The proposed O.C.P. and Zoning Amendments are shown on Appendices 10 and 11.

## Parks and Greenways

At the time of the 2008 application, the O.C.P. did not identify a need for a park on the subject property but it was recommended by City staff that given the size of the proposed residential subdivision, it would be appropriate to have a small neighbourhood park included in the development. Council agreed with staff's recommendation and the requirement for a park at this location was incorporated into the current O.C.P. in 2011. The applicants are now requesting that the park dedication requirement be removed from the property and that only the identified greenways be required. O.C.P. Map 11.1 (Existing and Proposed Parkland) and Map 11.2 (Existing and Proposed Greenways) are attached as Appendices 12 and 13.

As the O.C.P. now identifies a need for a park at this location, Section 510 of the Local Government Act requires that the owner/developer provide, without compensation, park land of an amount (not exceeding 5% of the land being subdivided) in a location acceptable to the City. Five percent of the land area of the subject property is 7,000 square metres. Should Council agree to remove the requirement for parkland dedication, the applicant would pay an amount that equals the market value of 5% of the land in accordance with Section 510. The value of the land is calculated on the basis of the average market value of all the land in the subdivision as that value would be on the date of preliminary layout approval of the subdivision or as agreed by the City and the applicant. In lieu of requiring an independent appraisal of the market value, the City often accepts 5% of the current assessed land value. The 2017 assessed land value and the preliminary 2018 assessed value is \$1,173,900.00 which equates to a \$58,650.00 payment under the park land provisions of the Act. Section 510(14) of the Local Government Act requires that this payment be deposited into a reserve fund for the purpose of acquiring park lands.

As shown in Appendices 12 and 13, in addition to the Neighbourhood Park identified on the subject property, the O.C.P. identifies the large Community Park immediately to the north, an existing greenway adjacent to the south boundary and proposed greenways adjacent to the north boundary, along Park Hill Road and north/south through the property.

### Site Context:

North: City owned properties zoned P-1 (Park & Recreation) and R-1 (Single Family Residential)  
South: Golf course (Club Shuswap Golf & RV) zoned P-1 and Rural Residential lots zoned A-2 (Rural Holding)  
East: Residential lots zoned R-1 (Single Family Residential)  
West: Residential lot zoned R-9 (Estate Residential) and a Rural Residential lot zoned A-2 (Rural Holding)

### Local Government Act - Section 475

Pursuant to Section 475 of the Local Government Act (consultation during O.C.P. development / amendments), the proposed O.C.P. amendments were referred to the following external organizations on December 4, 2017:

Adams Lake Indian Band	No response to date
Neskonlith Indian Band	No response to date
Economic Development Society	No response to date
Interior Health Authority	No response to date

## **Local Government Act - Section 477**

Pursuant to Section 477(3)(a) of the Local Government Act (adoption procedures for an O.C.P. amendment), Council must consider O.C.P. amendments in relation to the City's Financial and Liquid Waste Management Plans. In the opinion of staff, the proposed development is consistent with both the City's Financial and Liquid Waste Management Plans.

### **Staff Comments**

Staff have reviewed the proposal and provide the following:

#### Building Department

No concerns.

#### Fire Department

No concerns

#### Engineering Department

See Appendix 14.

#### Planning Department

#### *Proposed Subdivision*

The current Hillside Development provisions in Subdivision and Development Servicing Bylaw No. 4163 were not available to the developer with the previous application and the resulting development was not ideal given the topographic limitations. A number of lots had awkward panhandle accesses, three of the internal roads were to be dead-end cul-de-sacs and the proposed Medium Density Residential area required a long panhandle access to provide emergency access. With the current layout, all roads are through roads, the panhandle lots have been eliminated and the two short one-way roads allow the developer to achieve a slightly higher lot count. As with the previous design however, the smaller residential parcels are limited to the flatter areas of the property and larger parcels are being retained in the steeper areas.

#### *Proposed O.C.P. and Zoning Amendments*

As previously noted, the current O.C.P. and zoning designations on the property follow the road network of the previous subdivision proposal and although this approach works in many situations, it can also create issues when changes to the road network are desired or necessary. The current proposal to designate all of the property Low Density Residential and rezone it to R-1 (Single Family Residential) removes these constraints and allows for design changes should they be needed as the development proceeds.

Due to the narrower road width, limited parking and snow removal requirements on the proposed one-way internal roads, the owner/developer has agreed to limit the residential uses on all parcels fronting these roads to one single family dwelling and, as a condition of subdivision approval, Land Title Act, Section 219 covenants will be registered to prohibit secondary and detached suites on these lots. Property owners will still have the option of applying for rezoning to R-8 (Residential Suite) on the other parcels within the development.

*Park and Greenway Requirements*

At the request of the applicant, staff has again reviewed the existing and potential park opportunities in this area. As previously noted, there is a large natural city park to the north and the property has greenways identified on three sides and one through the property. The amount of land available through the park requirements of the Local Government Act is 7,000 square metres which would likely restrict any park within the subdivision to a 'tot lot' or small unstructured play space. There a number of these lots throughout the community but most have not been developed for their intended use and the City has no plans or budget for their development in the foreseeable future. Given the existing recreational opportunities in the area, the limited size of the park dedication and the likelihood that a park would not be developed for its intended purpose for quite some time, staff are recommending that City approve the O.C.P. amendment to remove the park dedication requirement and that the developer provide a cash contribution towards funding of future park acquisitions.


As a condition of subdivision approval, the applicants will be required to construct the identified greenways along Park Hill Road and through the development. These new greenways will provide connections between the existing greenways to the north and south and provide access to the large park north of the property, the Lakeside Pines subdivision and Canoe Beach Drive.

*Summary*

The proposed development will create an additional 131 residential lots within the Urban Containment Boundary and Residential Development Area 'A'. The development recognizes the topographical limitations of the property and the revised road network improves traffic flows and reduces the City's maintenance concerns, primarily with snow removal.

A small neighbourhood park within a subdivision of this size can be a beneficial amenity but only if it is developed for its intended purpose. As the City has no immediate plans to develop these type of parks and given the existing recreational lands in this area, a cash in lieu contribution would likely provide a larger benefit in terms of future parkland acquisition.

It should be noted that the applicants have also submitted a Variance Permit Application (VP-465) to have some of the servicing requirements associated with the proposed subdivision reduced or eliminated. The requested variances are being addressed in a separate report and will not affect the requested O.C.P. and zoning amendments. A letter from the applicant's agent outlining the requested O.C.P. and zoning amendments and the requested variances is attached as Appendix 15.

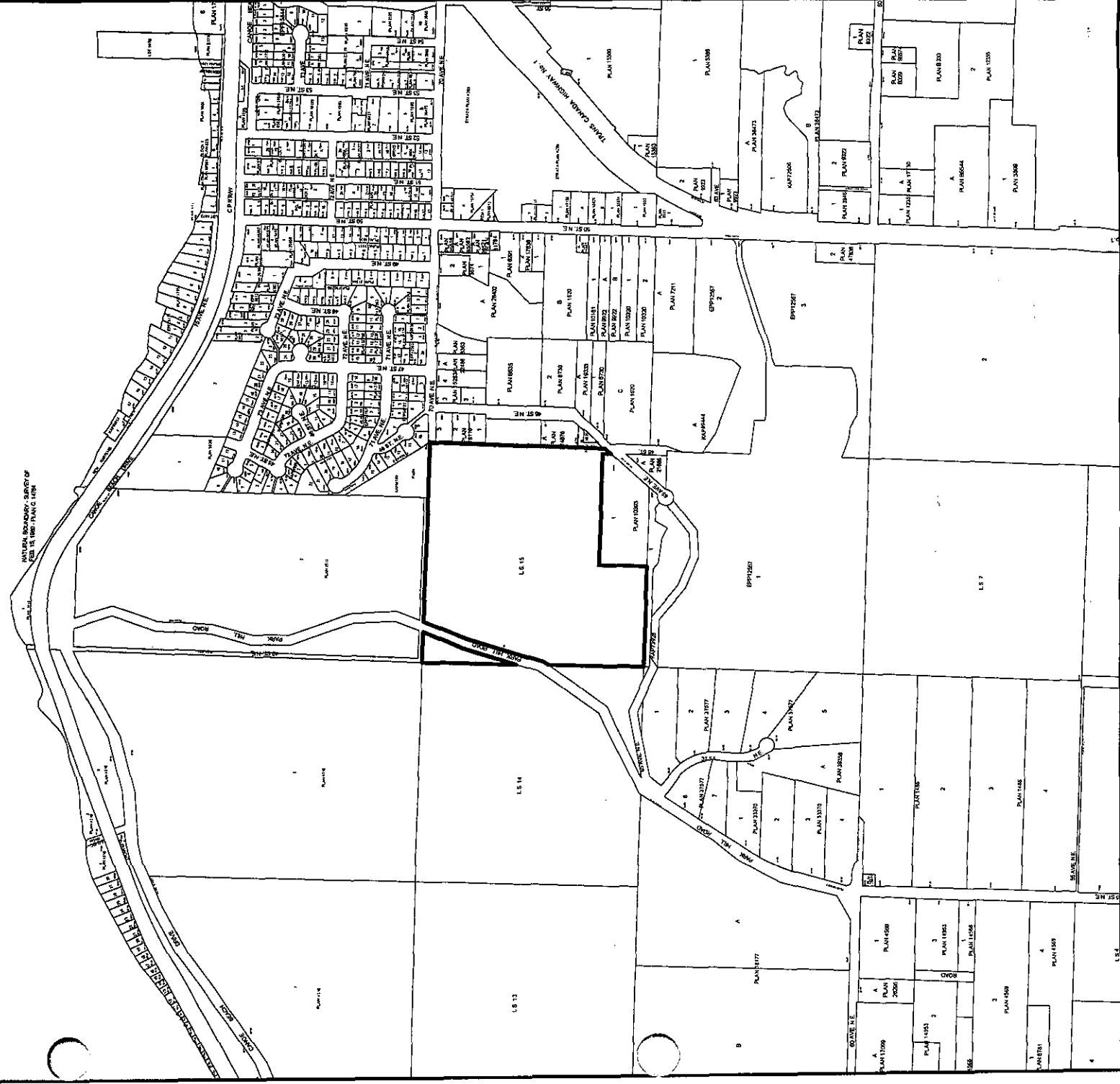
  
Prepared by: Jon Turlock  
Planning & Development Officer

  
Reviewed by: Kevin Pearson, MCIP  
Director of Development Services
**Appendices**

1. Location map
2. Ortho photo
3. Sketch plan of proposed subdivision
4. OCP map
5. Zoning map
6. Map 1, Schedule A of Bylaw No. 4163.
7. Topographical map
8. Steep slopes ortho



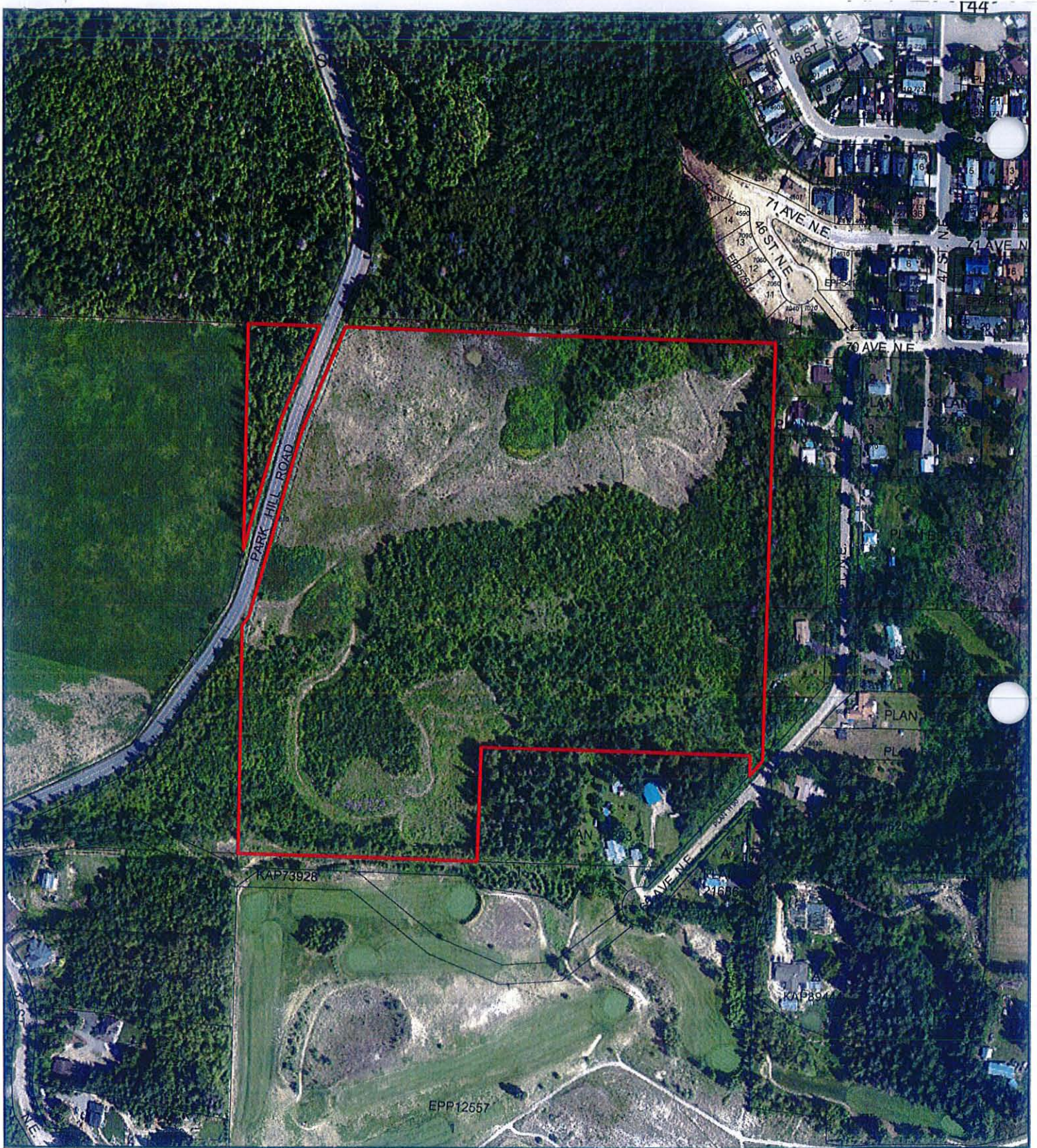
9. 2008 proposed subdivision layout
10. Proposed O.C.P. amendment (MR to LR)
11. Proposed zoning amendments
12. O.C.P. Map 11.1
13. O.C.P. Map 11.2
14. Engineering Dept. comments.
15. Agent's letter dated Feb. 26/18



Subject Property

## Location Map





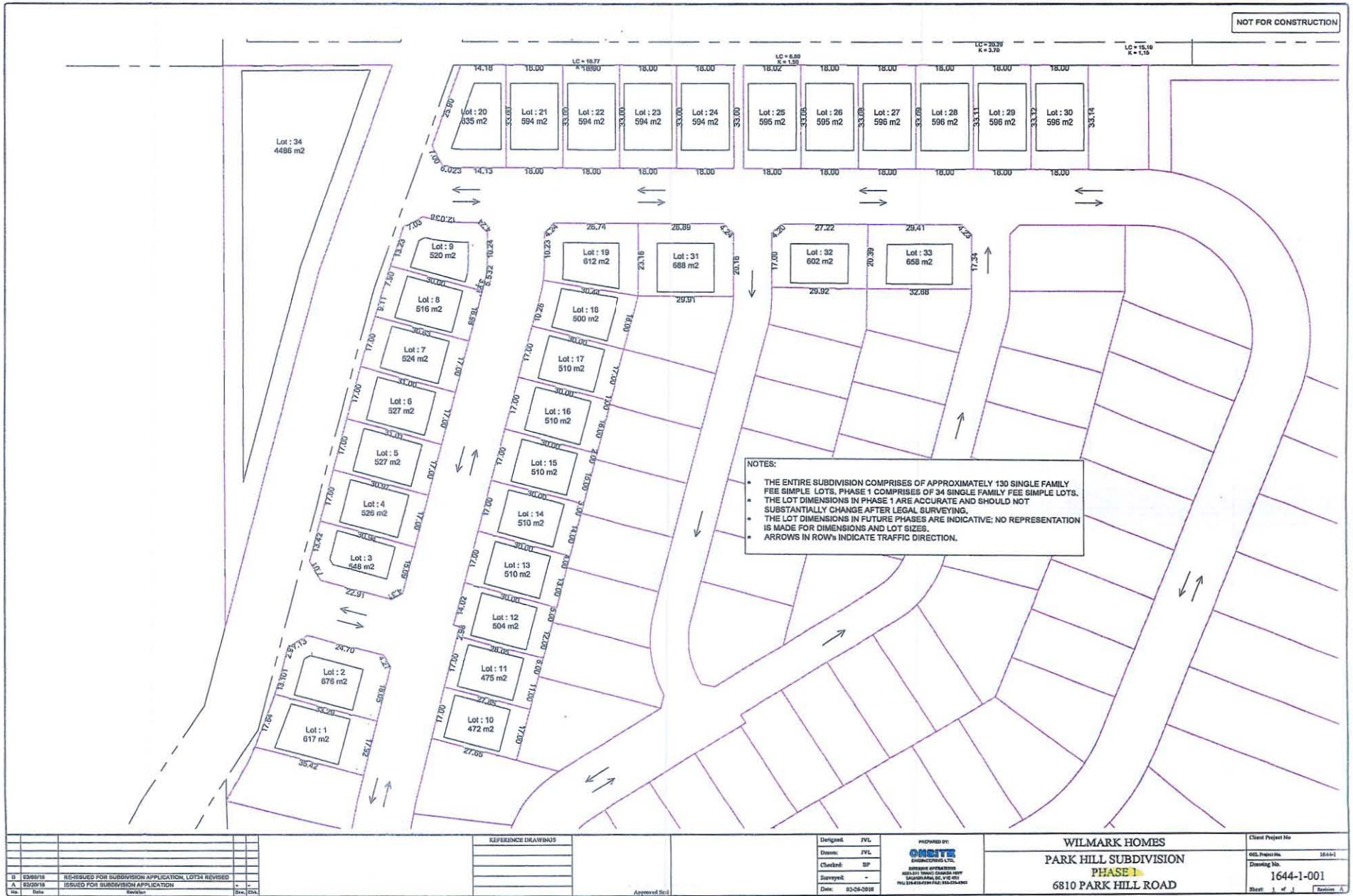
Subject Property

Ortho





NOT FOR CONSTRUCTION



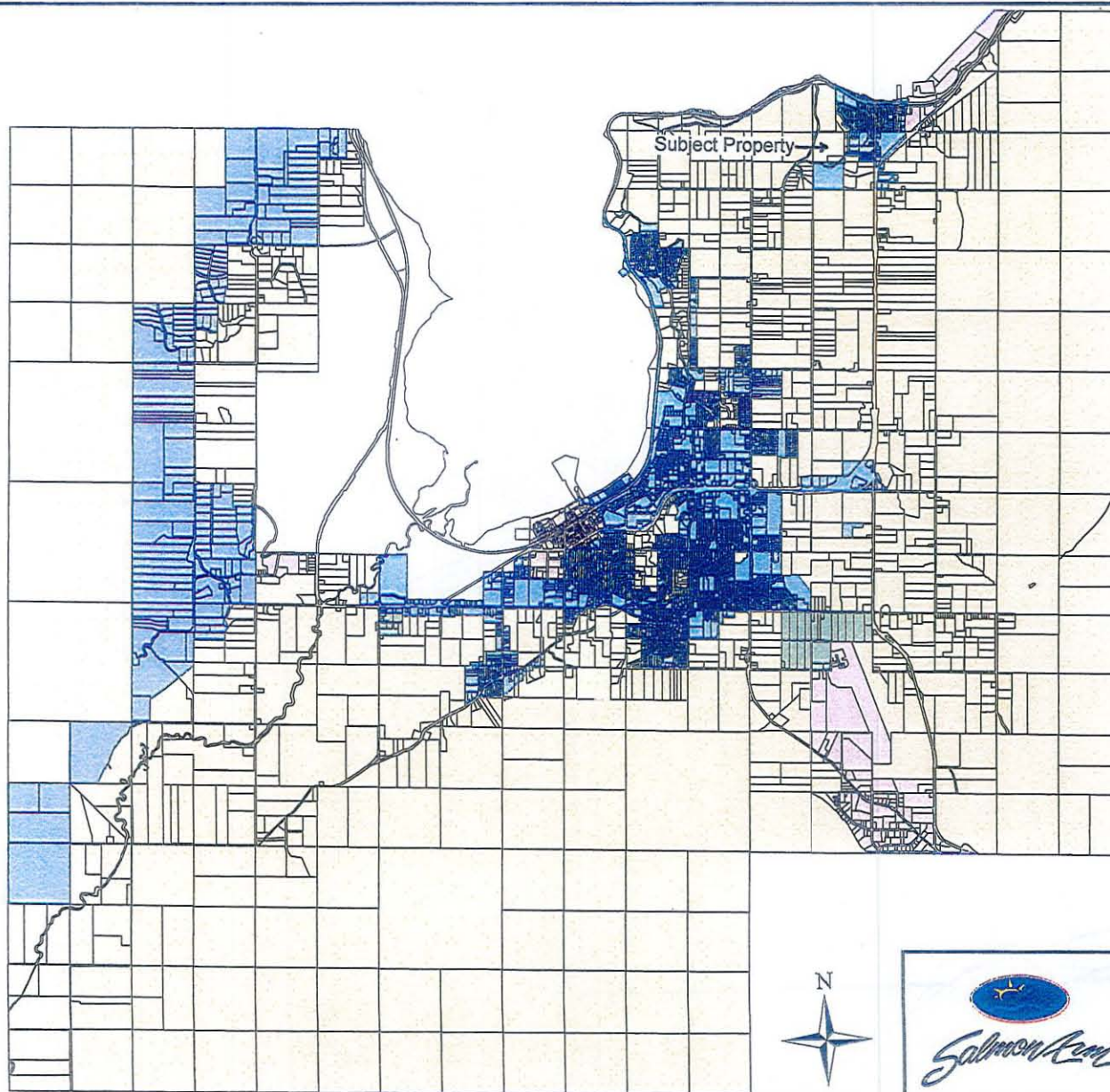






## Zoning






### Legend

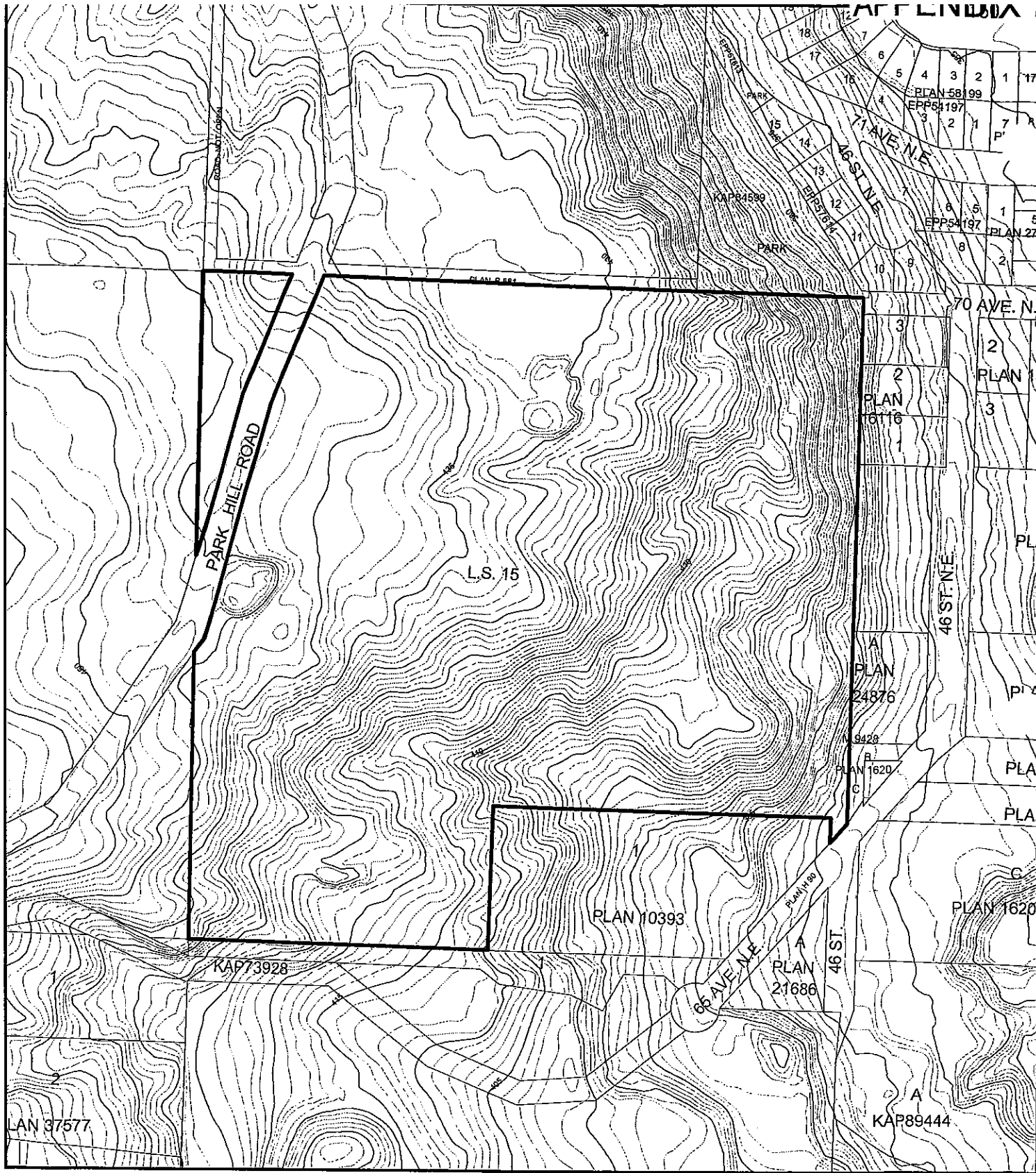
- Industrial Development Area
- Light Industrial Development Area
- Rural Development Area
- Urban Development Area
- Town Centre Development Area
- Rural Hillside Development Area
- Urban Hillside Development Area


### NOTE:

1. In the event of a discrepancy between this Schedule 'A' Bylaw No. 4163 and the Official Community Plan land maps, the land mapping shall take precedence.
2. Where the boundary between an "Urban Development Area" and a "Rural Development Area" is shown to be along a highway, the entire highway right-of-way is deemed to be within the "Urban Development Area"
3. A more detailed map is available for viewing on the City of Salmon Arm's Geographical Information System at City Hall.
4. Roadways along the boundary or two different development areas shall meet the higher service level standard.



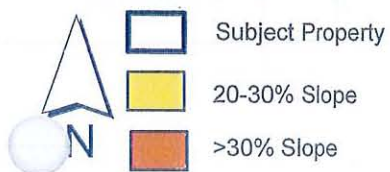
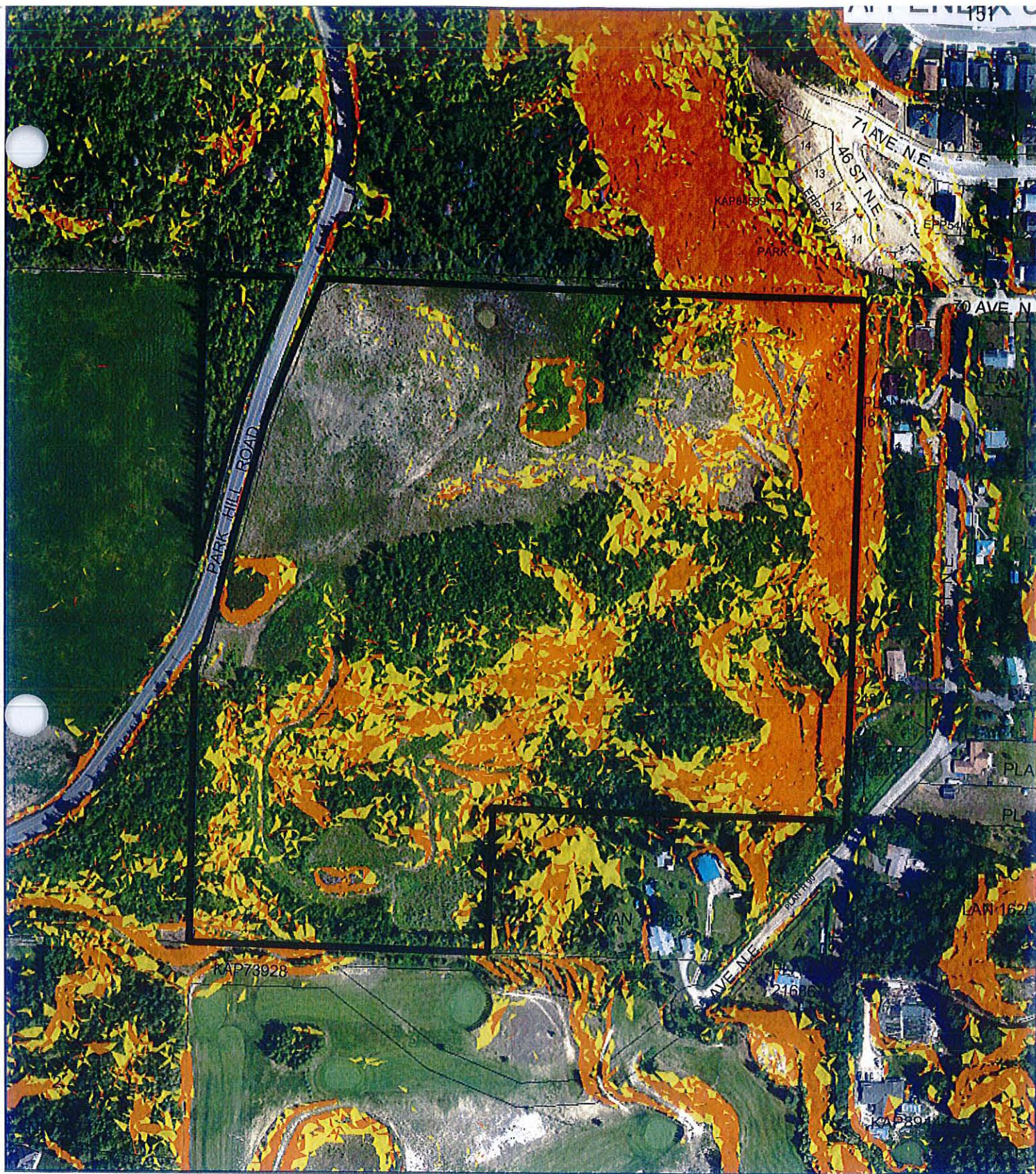
	SCHEDULE A	Scale: 1:55,000
	SUBDIVISION AND DEVELOPMENT SERVICING BY-LAW No. 4163	Map: <b>1</b> August 3, 2016



 Subject Property

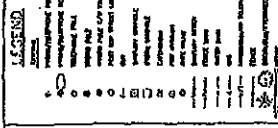
Contours



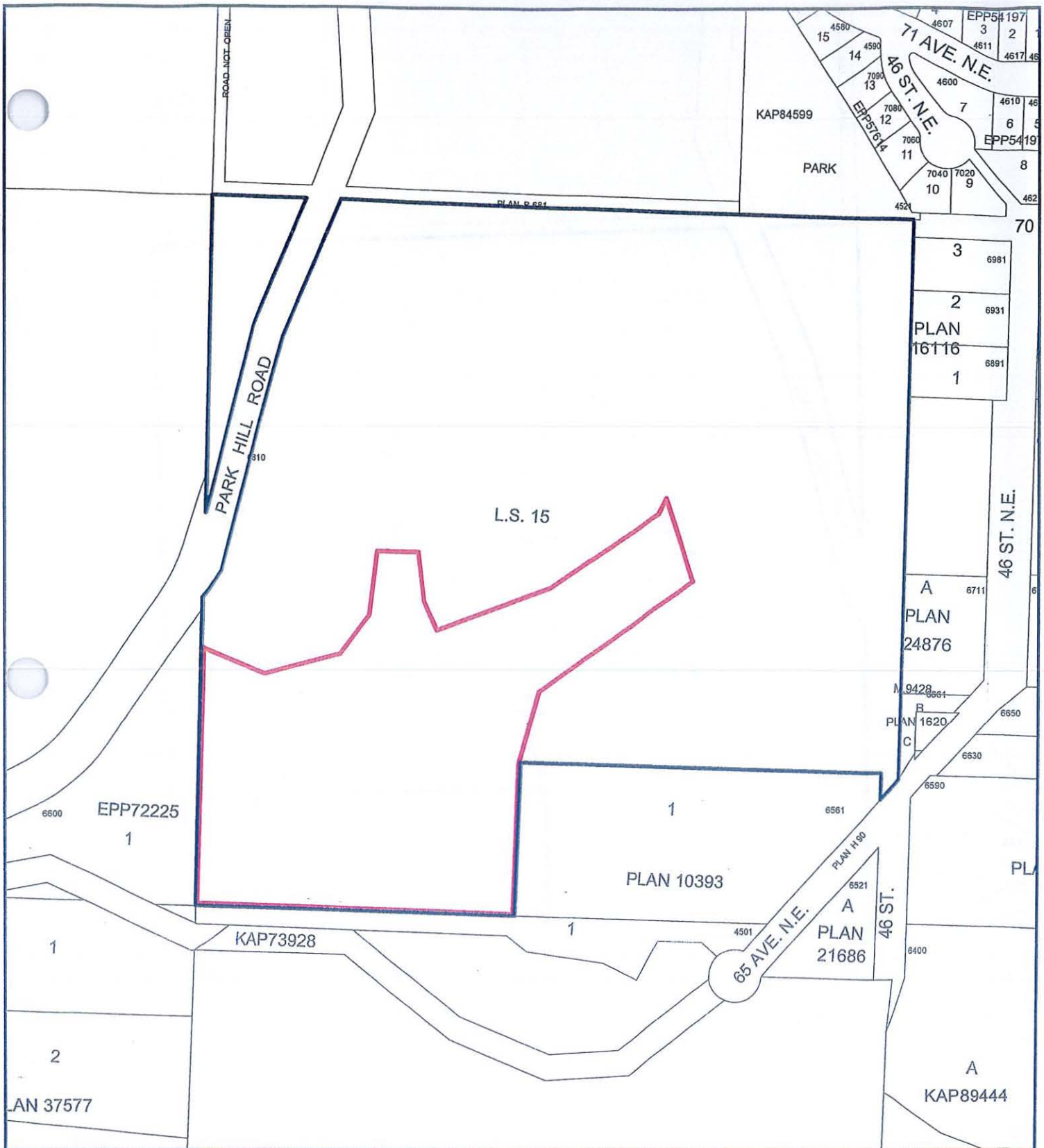


Steep Slopes





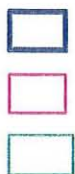
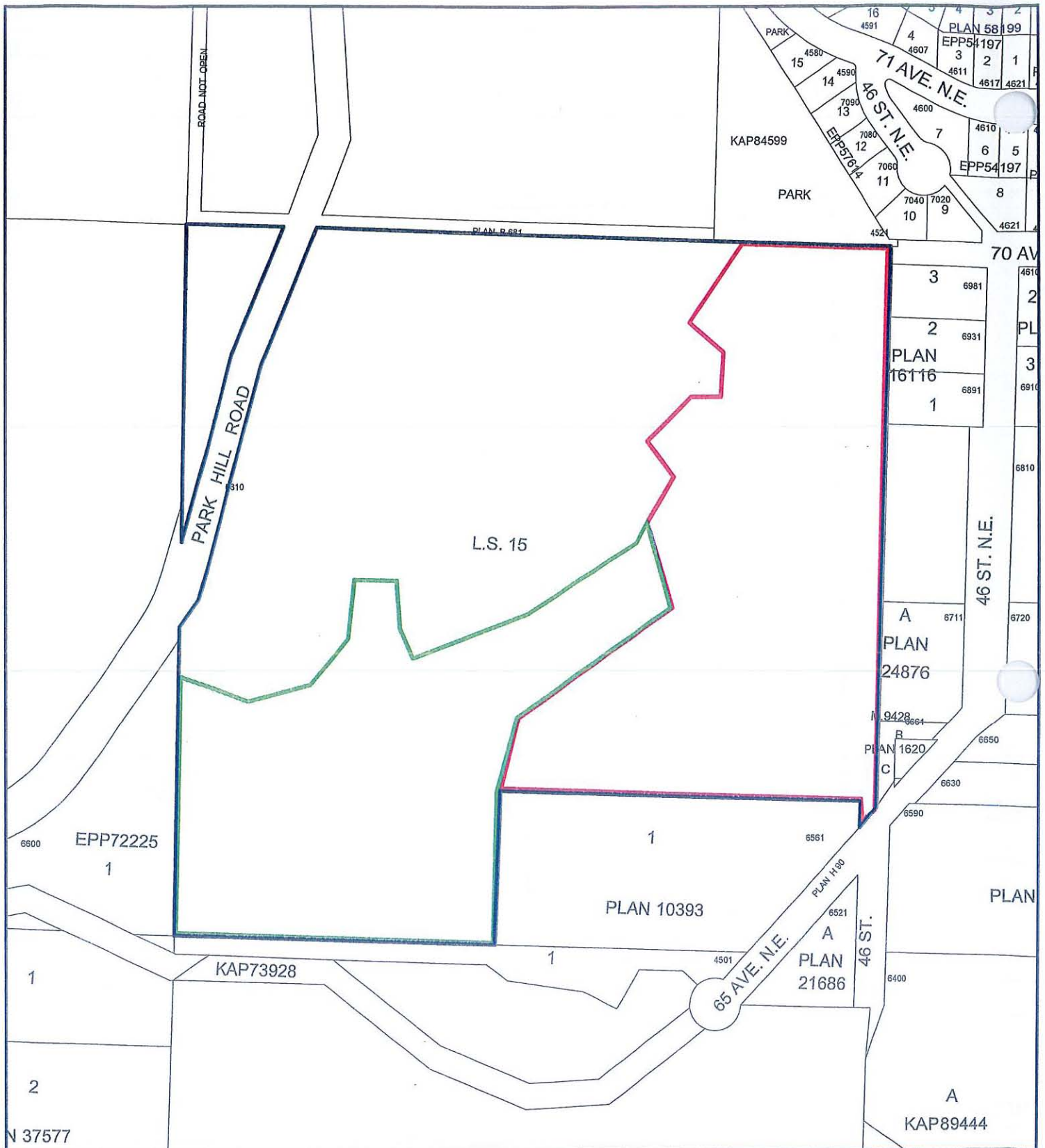
Previous Subdivision Layout (2008)



Subject Property



Portion to be re-designated from MR (Medium Density Residential) to LR (Low Density Residential)



Subject Property

Portion to be rezoned from R-7 (Large Lot Single Family Residential) to R-1 (Single Family Residential)

Portion to be rezoned from R-4 (Medium Density Residential) to R-1 (Single Family Residential)





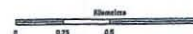
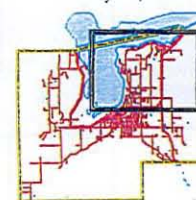
Official Community Plan

### Map 11.1 Existing and Proposed Parkland

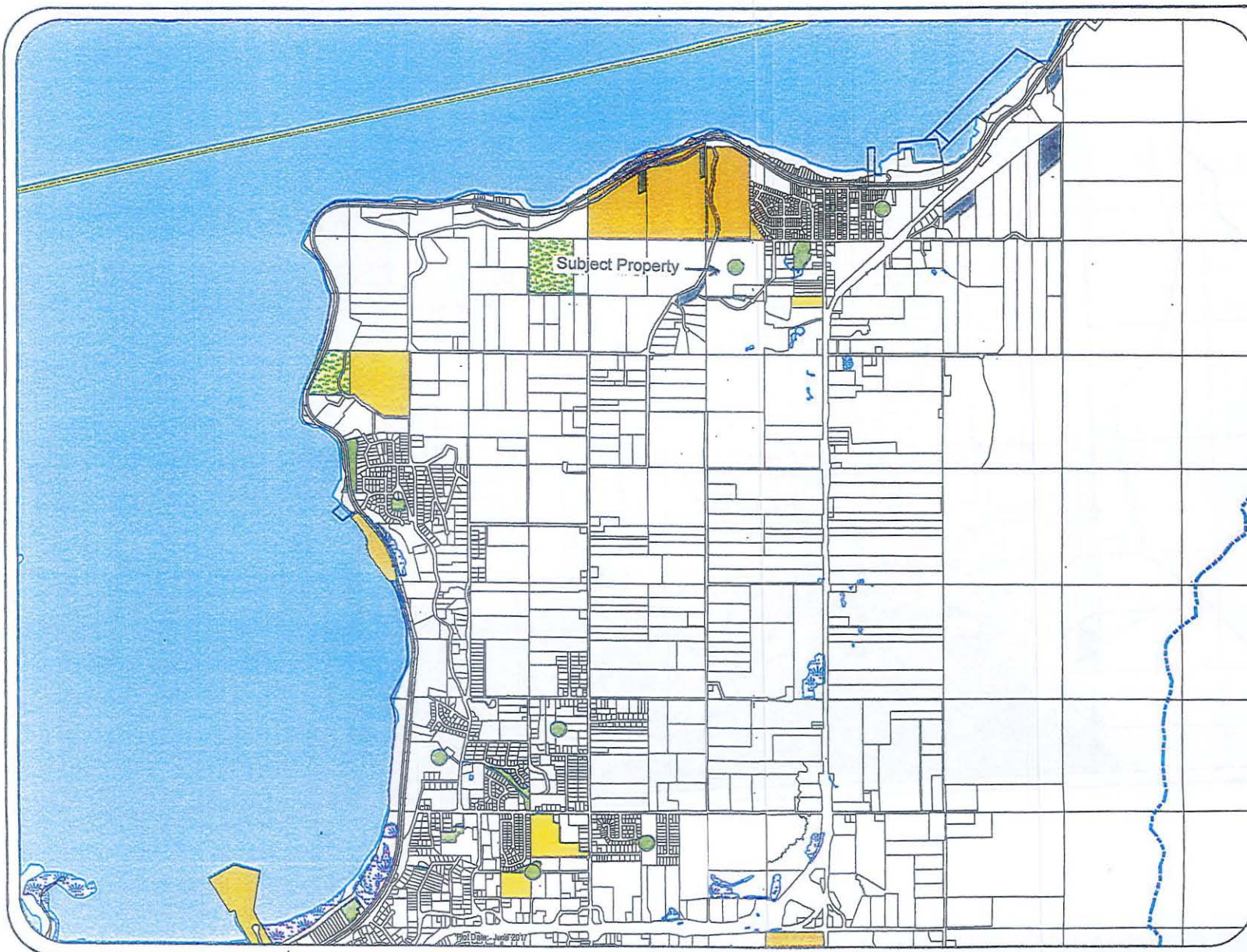
#### Legend

- Community Park
- Neighbourhood Park
- Open Space
- Indoor Recreation Facilities
- Proposed Community Park (Approx. Location)
- Proposed Neighbourhood Park (Approx. Location)
- Schools
- City Boundary
- Indian Reserves
- East Canoe Creek Watershed Boundary
- Parcels

#### Key Map



**CATHERINE BERRIS ASSOCIATES INC.**  
Community • Environmental Planning • Landscape Architecture

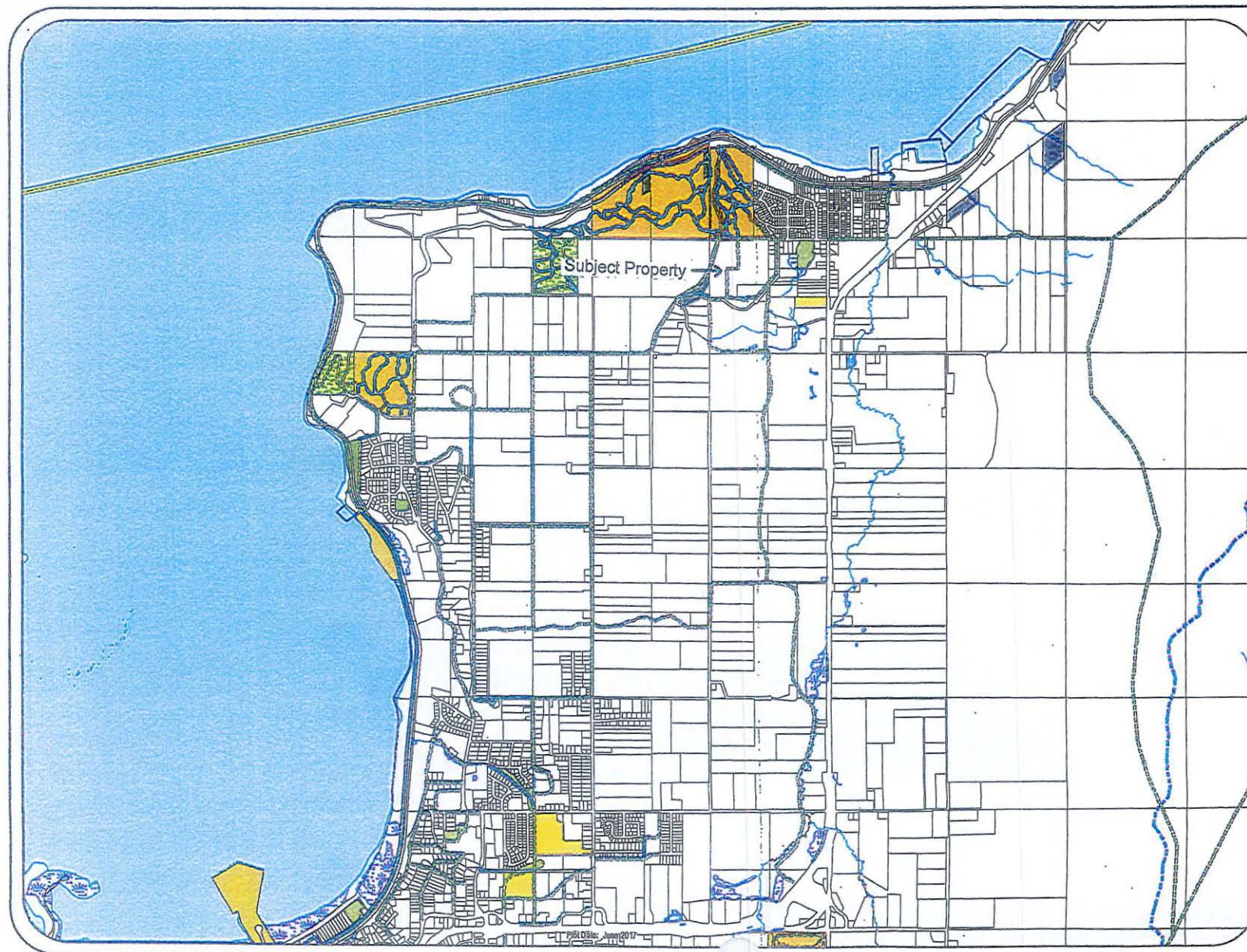






Official Community Plan

# Map 11.2 Existing and Proposed Greenways



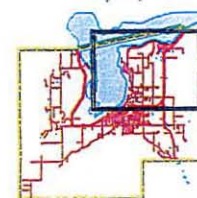
## Legend

- Existing Greenways
- Proposed Greenways
- Community Park
- Neighbourhood Park
- Open Space
- Indoor Recreation Facilities
- Schools
- City Boundary
- Indian Reserves
- East Canoe Creek Watershed Boundary
- Parcels
- Streams

## Note:

For Type and Priority of each existing and proposed greenway refer to Greenways Strategy.

## Key Map





*City of Salmon Arm*  
**Memorandum from the Engineering  
 and Public Works Department**

---

TO: Kevin Pearson, Director of Development Services  
 DATE: 27 September 2017  
 PREPARED BY: Chris Moore, Engineering Assistant  
 OWNER: **Homecraft Construction Ltd.**, 33677 Arcadian Way, Abbotsford, V2S 7T4  
 APPLICANT: Owner  
 AGENT: Omega Engineering (J. Van Lindert), Box 1182, Salmon Arm, BC V1E 4P3  
 SUBJECT: **OFFICIAL COMMUNITY PLAN AMENDMENT APP. NO. OCP4000-32**  
**ZONING AMENDMENT APPLICATION FILE NO. ZON-1109**  
 LEGAL: Amended Legal Subdivision 15 of Section 31, Township 20, Range 9, W6M,  
 KDYD, Except Plans 10393 & 21686  
 CIVIC: **6810 Park Hill Road NE**

---

Further to your referral dated 14 September 2017, we provide the following servicing information. **The following comments and servicing requirements are not conditions for Rezoning and OCP amendment; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:**

**Engineering Department does not have any concerns related to the Re-zoning and OCP Amendment and recommends that they be granted.**

**General:**

1. Full municipal services are required as noted herein. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties to be serviced completely by underground electrical and telecommunications wiring.
4. Properties under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner/developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required as per the Subdivision and Development Services Bylaw 4163, Section 3.1.
7. At the time of subdivision the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

OFFICIAL COMMUNITY PLAN AMENDMENT APP. NO. OCP4000-32  
 ZONING AMENDMENT APPLICATION FILE NO. ZON-1109  
 27 September 2017  
 Page 2

---

8. For the off-site improvements at the time of subdivision the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads/Access:**

1. Park Hill Road NE on the subject property's north west corner is designated as an Urban Arterial Road with an ultimate 25.0m dedication. Although the City only requires an Interim total of 20.0m of dedication at this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. Current records indicate that 1.712m additional dedication is required at this time (to be confirmed by BCLS).
2. Owner/developer will be required to upgrade the full Park Hill Road NE frontage to the Interim 20.0m Urban Arterial Road standard (RD-4). Upgrading may include, but is not limited to road widening, curb & gutter, sidewalk, boulevard construction, street drainage, street lighting.
3. The subject property fronts onto approximately 15m of 65 Ave NE which is designated as an Urban Local Road with an ultimate dedication of 20.0m Current records indicate that no additional dedication is required.
4. Owner/developer will be required to upgrade 65 Ave NE frontage to the Urban Local Road standard (RD-2). Upgrading may include, but is not limited to road widening, curb & gutter, sidewalk, boulevard construction, street drainage, street lighting.
5. The property is designated as a Hillside Development and internal streets may therefore be designated as Urban Local Road (Hillside Development) or Urban Single Lane Local Road (Hillside Development) with an ultimate 18.0m and 12.0m dedication respectively. Owner/developer will be required to construct roads in accordance with specification drawings RD-15 and RD-16.
6. Corner cuts will be required at the junction with Park Hill Road (5m x 5m) and internally (3m x 3m.)
7. No direct access will be permitted to Park Hill Road by individual lots, except for the portion of land to the west of Park Hill Road which will be permitted one access. Each lot to be reviewed to confirm that driveways comply with the requirements of Policy 3.11.
8. Owner/developer is responsible in ensuring all boulevards and driveways are graded towards roadway at minimum 2.0%

**Water:**

1. The subject property fronts a 250mm diameter Zone 1 water main on the northern boundary, a 100mm diameter Zone 1 water main at the south-east corner on 65 Ave NE and a 500mm diameter Zone 2 water main on Park Hill Road. The Owner / developer is required to upgrade the 100mm water main on 65 Ave NE along the property's frontage to 200mm. Since this work is considered premature at this time, a 50% cash in lieu contribution to future works will be required.
2. Subdivision is to be serviced by extension of Zone 2. Water distribution design to be looped internally, with two feeds from Park Hill Road.
3. The proposed new parcels are to be serviced each with single, metered water service connections, adequately sized to satisfy the proposed use, as per specification drawing W-10 (minimum 25mm diameter). City records indicate that the subject property is currently unserved. All existing inadequate services must be abandoned at the main at the owner/developers cost. The City of Salmon Arm will supply new meters at the time of building permit application (at the owner/developers cost).
4. The subject property is in an area with sufficient fire flows, according to the 2011 Water Study (OD&K 2012).
5. Fire protection requirements to be confirmed with the Building Department and Fire Department.
6. Fire Hydrant spacing is insufficient; developer is responsible for installing hydrants along Park Hill Road as needed to meet the 150m spacing requirement. Internal Fire Hydrants will also be required to meet the minimum applicable spacing requirement.

**Sanitary Sewer:**

1. The subject property does not front on the City's sanitary sewer collection system. Extension of the system westward from 70 Avenue NE will be required. Owner / developers engineer is required to prove that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development.
2. The proposed lots are each to be serviced by a single sanitary service connection adequately sized (minimum 100mm) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.

**Drainage:**

1. The subject property does not front on the City's storm drainage system.
2. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided. The subject property currently receives significant storm flows from Park Hill

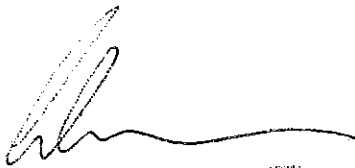


Road and the property to the west, these are to be taken into account in the ISMP. Owner/developers engineer is required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development.

3. Subject to approval of the ISMP, the proposed lots may be serviced by single storm service connections adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. All existing inadequate/unused services must be abandoned at the main; applicant is responsible for all associated costs. City records indicate that the existing property was not serviced with a City storm service.

**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference Category A (Building Foundation and Site Drainage), Category B (Pavement Structural Design) and Category C (Landslide Assessment) is required.
2. Due to the steepness of the terrain site grading, structural fills and retaining walls will be part of the design package. To insure adherence to the grading plan covenants will be required. Covenants will stipulate elevations for footings, garage/parking slabs, etc. Easements will also be required to ensure future maintenance of retaining walls, inter-lot grading, etc.
3. All retaining walls required for site grading between Phase 1 and future phases are to be completed in Phase 1.



---

Chris Moore  
Engineering Assistant



---

Jennifer Wilson, P. Eng., LEED® AP  
City Engineer

# ONSITE

Engineering Ltd.

March 7, 2018

City of Salmon Arm  
500 – 2<sup>nd</sup> Avenue NE  
Salmon Arm, BC  
V1E 4N2

OEL File #: 1644-1  
City File #:

Attn: Salmon Arm Council, Director of Development Services

**Re: Proposed rezoning and subdivision of 6810 Park Hill Road legally described as Amended LS 15 of Section 31, Twp 20, R9, W6M, KDYD, except Plans 10393 and 21686**

On behalf of our client Wilmark Homes Ltd./Homecraft Construction Ltd. we are applying for the rezoning of the property at 6810 Park Hill Road in Canoe, Salmon Arm, BC. The current zoning is R1, R4 and R7. We're requesting to rezone the entire property to R1.

Further we are applying to amend the Official Community Plan to remove the neighborhood park requirement from the subject site.

Thirdly we are applying to subdivide the property as per the attached plan titled "Proposed Phase I".

Lastly we are applying for a variance with respect to the frontage improvements for Park Hill Road.

## History of the site:

The initial start of the development of the site dates back to 2007. Based on the old Subdivision Bylaw a concept road and lot layout was designed. The layout resulted in the rezoning of the site into 3 zones: R1, R4 and R7. The zoning boundaries coincided with the then proposed road centerlines. The development never proceeded to the construction phase.

City Staff recognized that development of the site is complicated due to the presence of moderate to moderately steep slopes on the site. Therefore, to increase development opportunities, the site is designated "Hillside Development Area" in the new Subdivision Bylaw 4163. This designation provides alternate engineering requirements for road right of way width, road surface width, road right of way grading, and allows for single direction vehicle traffic amongst other items. Our client retained Onsite Engineering Ltd. (OEL) to review the new Bylaw and to conceptually design a new road and lot layout based on the new Bylaw. The road and lot layout design has been informally discussed between City Staff and OEL Staff and we agree that the road and lot layout is generally suitable. The new road and lot layout however do not coincide with the existing zoning boundaries and therefore rezoning is required.

## Proposed zoning:

The proposed road network consists of a ring road with access to and from Park Hill Road and 3 internal roads with access to and from the ring road. The ring road is a "standard" two-way road (18 metre ROW width). There are 2 internal roads that are narrower roads that only allow one-way traffic (12 metre ROW

North Vancouver  
Unit 2 - 252 East 1st  
North Vancouver, BC V7L 1B3  
Tel: (778) 802-1263  
Fax: 1-866-235-6943

Abbotsford  
106-2825 Clearbrook Rd  
Abbotsford, BC V2T 6S3  
Tel: (604) 996-4722  
Fax: 1-866-235-6943

Campbell River  
1040 Cedar Street  
Campbell River, BC V9W 7H2  
Tel: (250) 287-9174  
Fax: 1-866-235-6943

Salmon Arm  
201 - 231 TransCanada Hwy;  
Box 2012  
Salmon Arm, BC V1E 4R1  
Tel: (250) 836-6004

Prince George  
3661 15<sup>th</sup> Avenue  
Prince George, BC V2N 1A3  
Tel: (250) 562-2252  
Fax: 1-866-235-6943

**ONSITE**  
 Engineering Ltd.

width). The most western internal road and the south internal road are standard two-way traffic roads. Our client is requesting to rezone the entire property to R1.

It is expected that some individual home purchasers will be applying to rezone their property to R8. It is up to future Councils to review and approve individual rezoning request; however, for the one-way roads Staff and the developer agree that R8 zoning would cause too much pressure on the road system, both due to moving traffic and due to parking. Further it is expected that snow clearing will become an issue if excessive parking on the road takes place. Therefore we not only request rezoning of the internal areas serviced by one-way roads to R1 (low density) but also request Council to decide in principle not to allow rezoning of these properties to R8 in the future. This will enhance the attractiveness of the subdivision as a whole.

Official Community Plan:

The Official Community Plan proposes greenways and a neighborhood park on the subject property; however, the OCP is not specific as to where exactly these items are to be situated. This leaves the interpretation to the Approving Officer. The feasibility of the entire subdivision will be strongly affected by the park. In discussions between City Staff and OEL Staff we concluded that cash in lieu for parkland over actual land dedication likely would be supported by City Staff. Our client is in favour of this solution and therefore we request to amend the OCP and remove the neighborhood park requirement from the site. Note that the developer will accommodate and construct greenways as per OCP.

Variances:

The development site fronts Park Hill Road and therefore frontage improvements are required. These requirements are listed in the PLA City File 17.24 dated February 27 2018. On behalf of our clients we apply for one variance.

City Staff and OEL staff agree that the preferred process is to insert the variance application in the rezoning, subdivision, and OCP amendment applications instead of initiating a new variance process after the PLA is issued. Therefore OEL and Engineering Staff have discussed the requirements to be expected as those defined by Bylaw 4163 specification drawing RD-4. Our client's variance request is as follows.

The triangle area west of Park Hill Road is "hooked" to the main site. The client has no intention to subdivide this lot, rather sell it as one individual lot. The lot will be serviced off of the infrastructure that is to be constructed in the northern access road to the subdivision. Since the lot will not be subdivided we request to waive the requirement to upgrade the west side of Park Hill Road to the RD-4 standard.

If you have any questions, please contact us.

Sincerely,

ONSITE ENGINEERING LTD.



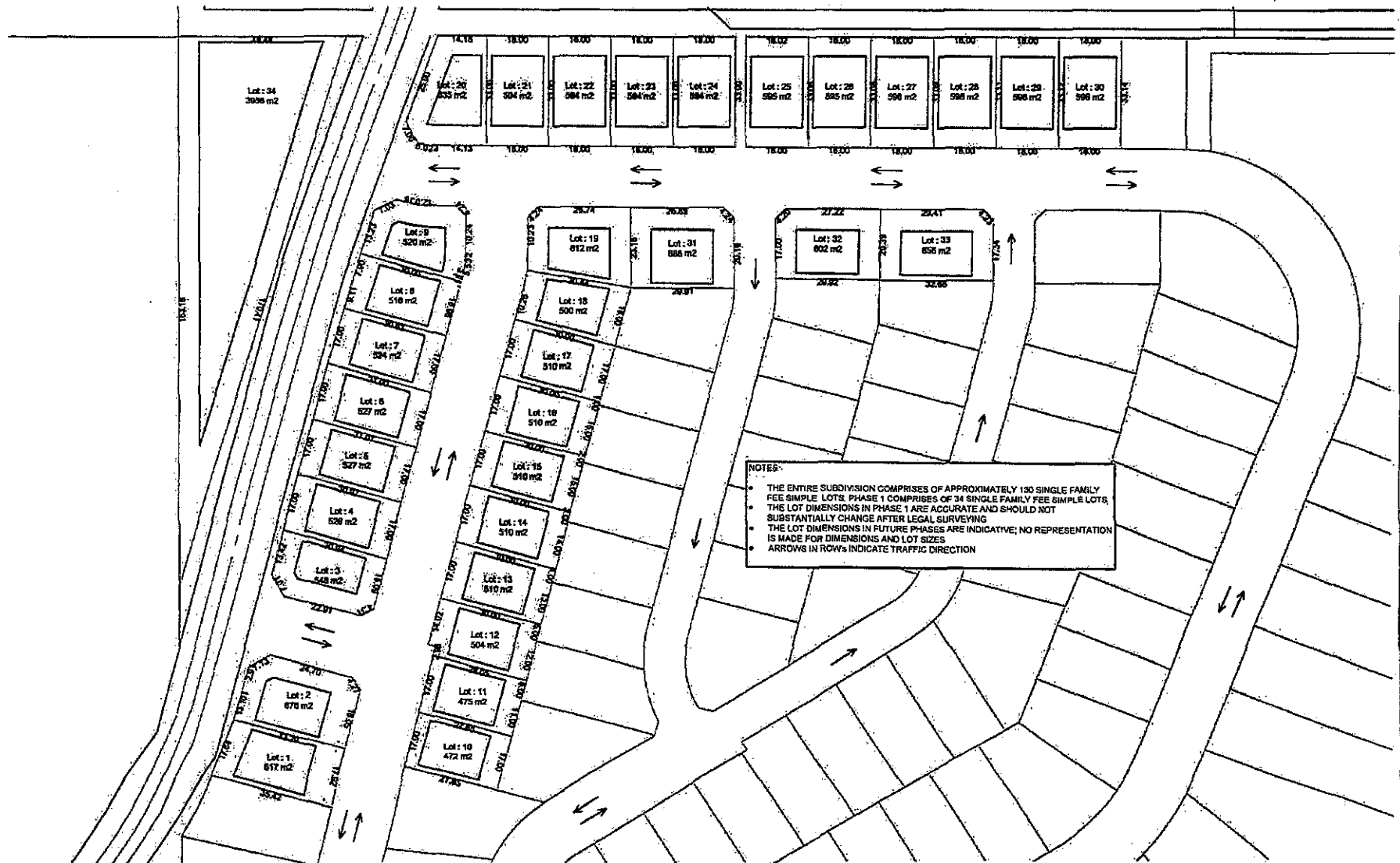
J. van Lindert



B. Pellett, P.Eng.

Cc: Wilmark Homes Ltd./Homecraft Construction Ltd.

NOT FOR CONSTRUCTION



REFERENCE DRAWINGS		Designed: J.H.		WILMARK HOMES		Client Project No.	
Checked: J.P.		Drawn: J.H.		PARK HILL SUBDIVISION		1644-1-001	
Surveyed: J.P.		Date: 02/20/2018		PHASE 1		1644-1-001	
Project: 1644-1-001		Project: 1644-1-001		6810 PARK HILL ROAD		1644-1-001	



## CITY OF SALMON ARM

### BYLAW NO. 4257

#### A bylaw to amend "City of Salmon Arm Official Community Plan Bylaw No. 4000"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Room 100 at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on April 23, 2018, at the hour of 7:00 p.m. was published in the \_\_\_\_\_, 2018 and \_\_\_\_\_, 2018, issue of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "City of Salmon Arm Official Community Plan Bylaw No. 4000" is hereby amended as follows:

1. Redesignate Amended Legal Subdivision 15, Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686 from "Medium Density Residential" to "Low Density Residential", on the Land Use Maps A-1 and A-1a as shown on Schedule "A" attached hereto and forming part of this bylaw; and
2. Amend Map 11.1 by removing the proposed Neighbourhood Park on Amended Legal Subdivision 15, Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686 as shown on Schedule "B" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Official Community Plan Amendment Bylaw No. 4257"**.

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF 2018

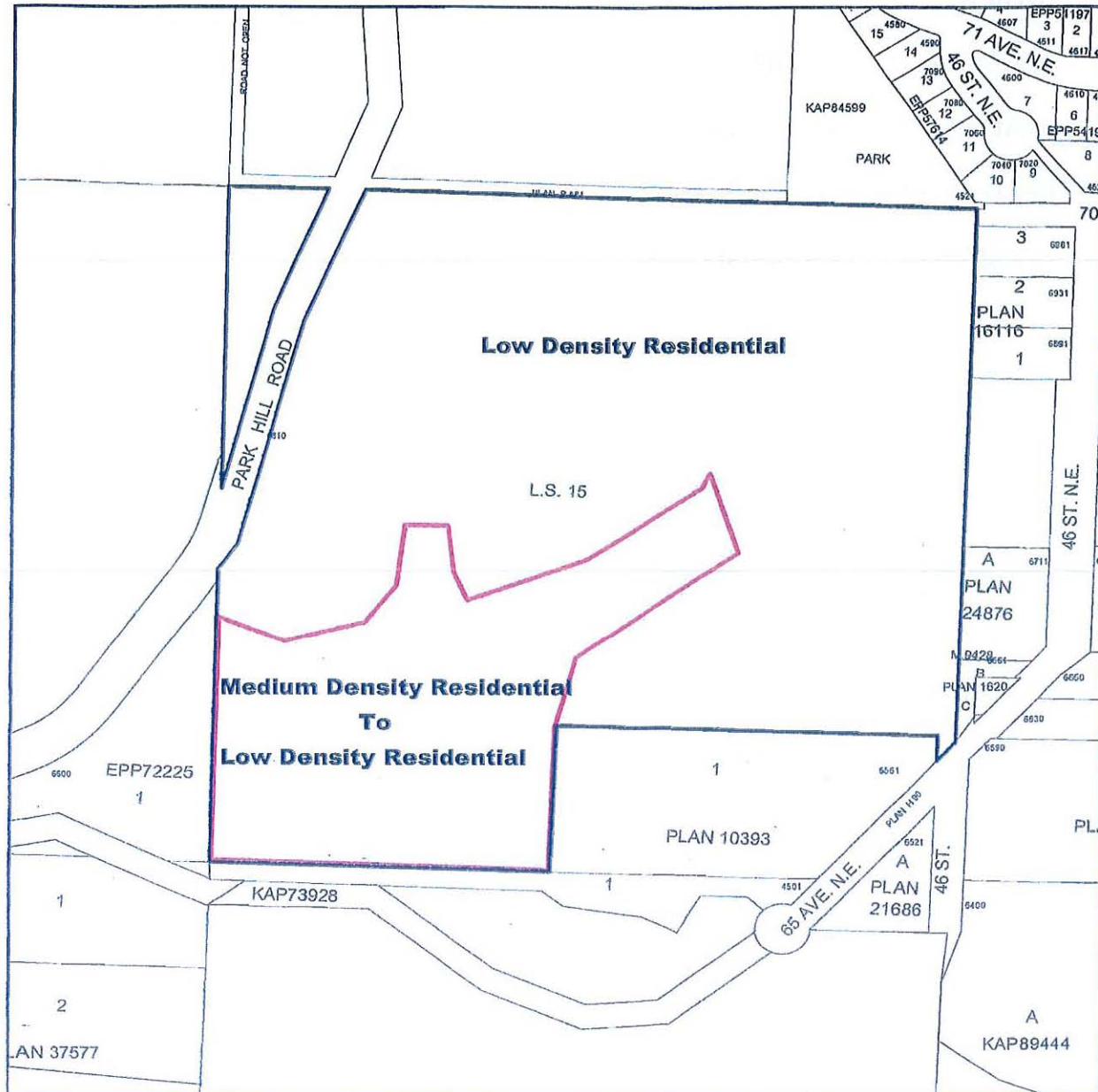
---

MAYOR

---

CORPORATE OFFICER

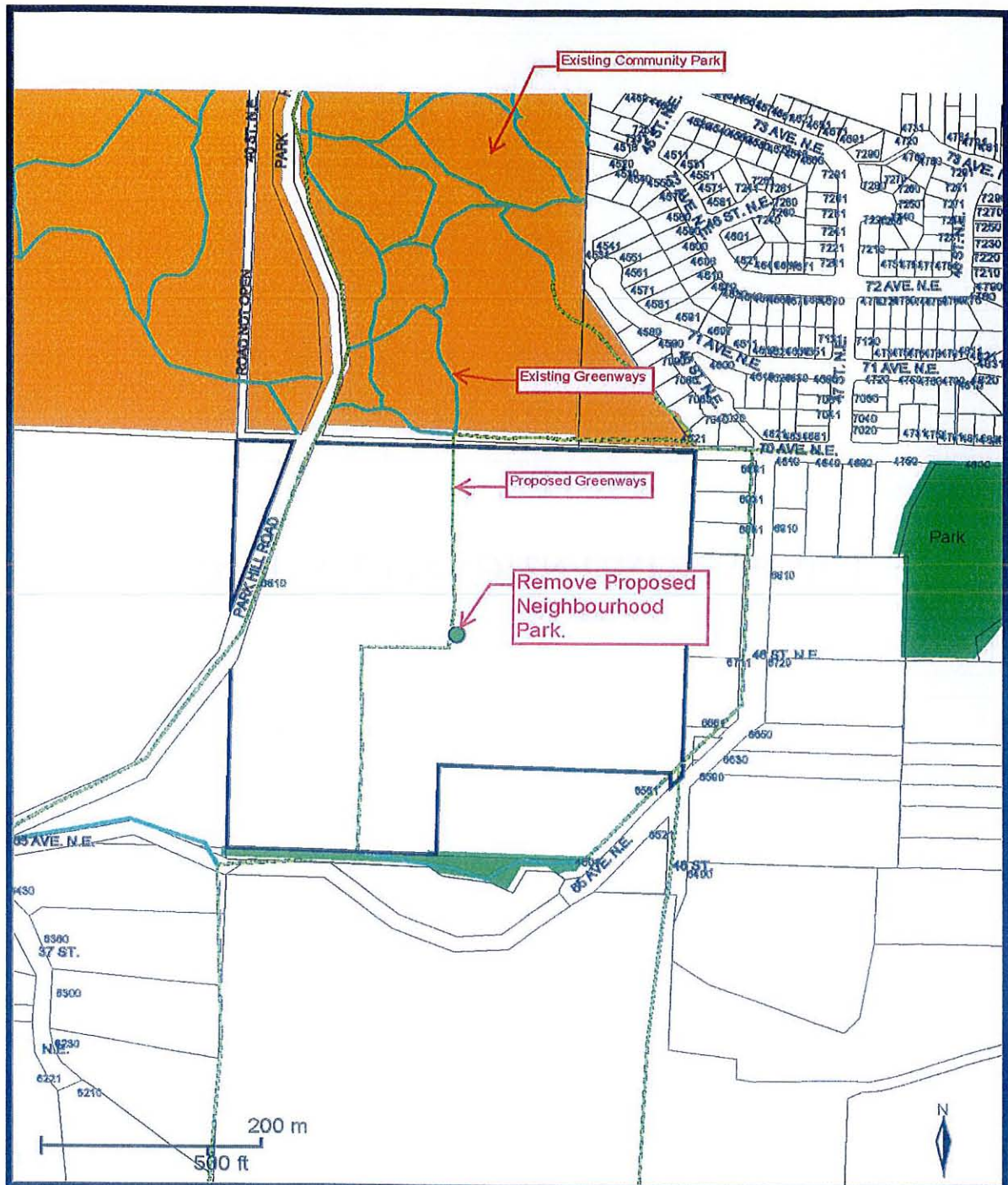
### Schedule "A"

☐ Subject Properly

Portion to be re-designated from MR (Medium Density Residential) to LR (Low Density Residential)

Proposed O.C.P. Amendment

Schedule "B"





THIS PAGE INTENTIONALLY LEFT BLANK

## Item 8.8

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: the bylaw entitled Zoning Amendment No. 4258 be read a first time;

AND THAT: Final Reading of the Zoning Amendment Bylaw be withheld  
subject to :

- 1) approval of the Bylaw by the Ministry of Transportation and Infrastructure;
2. final Reading of the Official Community Plan Amendment Bylaw.

[ZON-1109; Wilmark Homes Ltd. / Homecraft Construction Ltd. / Onsite Engineering Ltd.; 6810 Park Hill Road NE; R-4 &amp; R-7 to R-1]

**Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

# CITY OF SALMON ARM

## BYLAW NO. 4258

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in Room 100 at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on April 23, 2018 at the hour of 7:00 p.m. was published in the \_\_\_\_\_, 2018 and \_\_\_\_\_, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Amended Legal Subdivision 15, Section 31, Township 20, Range 9, W6M, KDYD, except Plans 10393 and 21686 from R-4 Medium Density Residential and R-7 Large Lot Single Family Residential to R-1 Single Family Residential Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4258"**

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE DAY OF , 2018

---

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2018

---

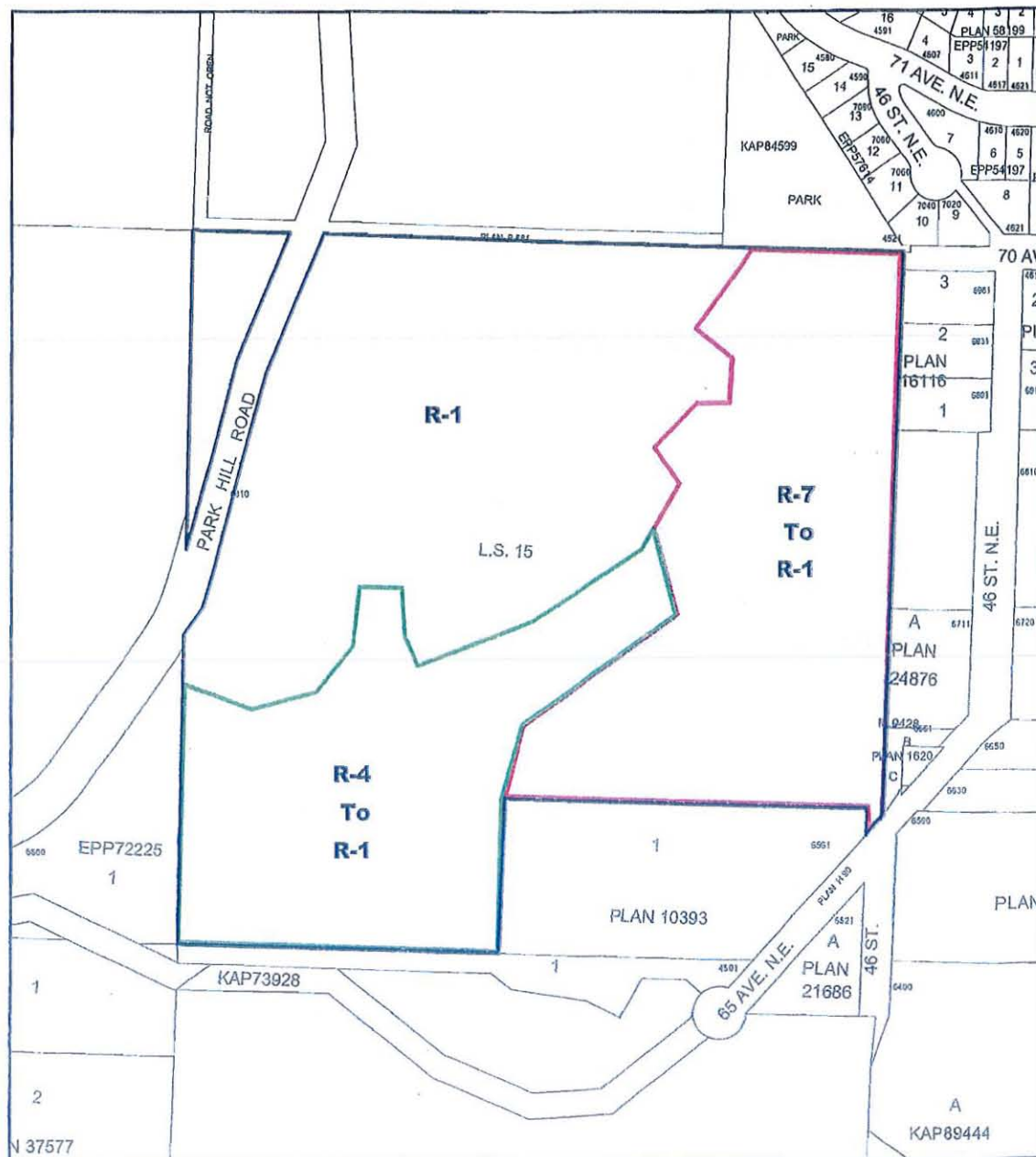
MAYOR

---

CORPORATE OFFICER



SCHEDULE "A"



-  Subject Property
-  Portion to be rezoned from R-7 (Large Lot Single Family Residential) to R-1 (Single Family Residential)
-  Portion to be rezoned from R-4 (Medium Density Residential) to R-1 (Single Family Residential)

## Proposed Zoning Amendments

## INFORMATIONAL CORRESPONDENCE - MARCH 26, 2018

1. R. Niewenhuizen, Director of Engineering & Public Works - letter dated March 14, 2018 to J. Dies, Relay for Life Coordinator - Relay for Life
2. M. Dake - email dated March 6, 2018 - Additional CP Re-Spray Facility East of Salmon Arm
3. C. Askew, Askew's Project Specialist, Askew's - letter dated March 13, 2018 - Askew's DT 50<sup>th</sup> Street Party
4. C. El Gazzar - email dated March 15, 2018 - Request to install Playground Communication Board at Blackburn Park
5. B. Pickard - email dated March 9, 2018 - Stop the Time Change
6. H. Hamlin Gravells - email dated March 7, 2018 - Stop the Time Change
7. K. Smith - letter dated March 13, 2018 - Article "Quebec town moves to ban smoking pot in public"
8. J. Dies, Annual Giving Coordinator, Canadian Cancer Society - letter dated January 10, 2018 - Sound Variance
9. Interior Health - Healthy Communities update - March 2018
10. Interior Health - Public Service Announcement
11. W. Booth, President, UBCM - letter dated March 1, 2018 - UBCM Membership
12. M. Farnworth, Minister of Public Safety and Solicitor General - letter dated March 12, 2018 - EDEN Medicinal Society
13. J. Ward, Director of Legislative and Corporate Services and Deputy Chief Administrative Officer, City of Courtenay - letter dated February 13, 2018 - 2018 Resolution - Asset Management
14. N. Reid, Mayor, City of Maple Ridge - letter dated March 14, 2018 - Employer Health Tax
15. A. Stone, Mayor, Town of Ladysmith - letter dated February 28, 2018 - Cannabis Sales Revenue Sharing
16. L. Facio, Mayor, Village of Harrison Hot Springs - letter dated March 6, 2018 - New Municipal Tax Classes - submission for LMLGA
17. L. Facio, Mayor, Village of Harrison Hot Springs - letter dated March 6, 2018 - Cannabis Sales Revenue Sharing
18. J. Brown, Mayor, Township of Spallumcheen - letter dated March 8, 2018 - Human Trafficking Task Force
19. P. de Jager - email dated March 7, 2018 - a tiny note from Peter de Jager keynote speaker and Municipal World Columnist
20. C. Hashimoto - letter received March 16, 2018 - Community Information

THIS PAGE INTENTIONALLY LEFT BLANK

Item 10.2

## CITY OF SALMON ARM

Date: March 26, 2018

Honourable Mike Farnworth  
Minister of Public Safety and Solicitor General  
Cannabis Cost Sharing

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



## City of Salmon Arm

500 - 2 Avenue NE

Mailing Address: Box 40

Salmon Arm, BC V1E 4N2

Tel: 250.803.4000 Fax: 250.803.4041

www.salmonarm.ca



---

*From the Office of the Mayor*

March 14, 2018

Honorable Mike Farnworth  
Minister of Public Safety and Solicitor General  
PO Box 9101 Stn Prov Govt  
Victoria, BC V8W 9E2

Dear Minister Farnworth,

Re: Cannabis Cost Sharing

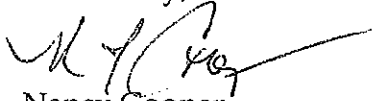
---

On behalf of Council for the City of Salmon Arm, I wish to express our concern regarding the additional costs that will be incurred by municipalities as a result of the legalization of cannabis, and respectfully request that the Province consider the following measures to offset the impact:

- Increased provincially funded RCMP positions outside the lower mainland. Given that there have been no increases to provincially funded members at the Salmon Arm detachment since 2004 and it is expected that cannabis legalization will significantly add to the demands of our police force, we respectfully request that, in the interest of public safety, additional members be funded directly from the revenue generated by cannabis;
- Increased funding for BC paramedics and rural front line physical and social health workers. These workers provide critical education and outreach services to our citizens and are positioned to address the inevitable addictions and social welfare issues that will result from increased availability of cannabis. We feel it is imperative that adequate resources be allocated so that communities can successfully make this transition; and
- Increased funding for physical education and sports for youth. We believe that healthy and active children are at a lower risk of developing substance abuse problems and this investment will ultimately save the Province money on reactive mental health treatment.

While we do not yet know what the economic and social impacts of cannabis legalization will be, it is incumbent upon the Provincial and Local Governments to work together to ensure the safety and well-being of our citizens in advance of this imminent legislative change. By committing a portion of cannabis-related revenue to funding resources that will strengthen communities, you are positioning BC for the best possible outcome.

Yours truly,

A handwritten signature in black ink, appearing to read 'Nancy Cooper', with a long, sweeping horizontal line extending to the right.

Nancy Cooper  
Mayor

Cc: Hon. John Horgan, Hon. Selina Robinson, Hon. David Eby, Hon. Carol James,  
Hon. Judy Darcy, Hon. Adrian Dix, UBCM, SILGA

)

THIS PAGE INTENTIONALLY LEFT BLANK

Item 11.1

## CITY OF SALMON ARM

Date: March 26, 2018

### 2017 Yearend Surplus - For Information

#### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



## City of Salmon Arm

### Memorandum from the Chief Financial Officer

Date: March 12, 2017  
 To: Mayor Cooper and Council  
 Subject: 2017 Yearend Surplus

#### FOR INFORMATION

The 2017 yearend operating surpluses are summarized below.

#### General Revenue Fund - \$71,406.30

The surplus for 2017 is \$687,186.30; however a number of operational projects were not completed and are carried forward to 2018. The projects are listed below:

- Mt. Ida Cemetery - Digitization Project - \$65,000.00;
- Shuswap Memorial Cemetery - Business Plan/ Bylaw Dev. - \$20,000.00;
- Shuswap Memorial Cemetery - Major Maintenance - \$38,000.00;
- Planning and Development Heritage Initiatives - \$7,000.00
- Planning and Development - DCC Bylaw Review - \$80,000.00
- General - Safety & HR Initiatives, Communications, Generator (Civic Bldg), Grant - SASLAA (Grandstand Ring) & Tennis Club (Gravel) - \$69,780.00;
- Fire - Superior Tanker Shuttle Accreditation, FF Training - \$10,000.00;
- Environmental - Civic Buildings - Asbestos Assessments - \$10,000.00;
- Transportation - Assessment & Studies - \$20,000.00;
- Transportation - Underpass - Track Design - \$50,000.00;
- Wharf - Assessments & Studies - \$20,000.00;
- Wharf - Building/Structure - Major Maintenance - \$12,000.00;
- Sr. Drop In Centre - Building/Structure - Major Maintenance - \$10,000.00;
- Parks - Greenway Projects & Major Maintenance Projects - \$169,500.00; and
- Police - Assessments and Studies - \$34,500.00.

#### Regional Fire Training Centre - \$11,673.30

The Fire Training Centre surplus is due to expenses being lower than anticipated.

#### Downtown Parking Specified Area - \$37,531.39

The Downtown Parking Specified Area surplus is attributed to less than anticipated expenditures.



Mayor and Council  
Memorandum - 2017 Yearend Surplus

Page 2

---

Water Revenue Fund - \$302,316.53

The surplus is largely attributed to the debenture debt repayments that did not occur in 2017 (i.e. Zone 5 Booster Station (grant unsuccessful) and the TCH Watermain (project deferred); higher than anticipated interest on reserves and less than anticipated utility and chemical expenses at the Water Treatment Plant.

Sewer Revenue Fund - \$85,225.01

The surplus for 2017 is \$100,225.01; however the Sanitary Sewer Master Study (\$10,000.00) and the Liquid Waste Management Plan (\$5,000.00) was not completed and will be carried forward to 2018.

Respectfully Submitted,

---

Monica Dalziel, CPA, CMA

THIS PAGE INTENTIONALLY LEFT BLANK

Item 11.2

## CITY OF SALMON ARM

Date: March 26, 2018

### Debt Strategy and Capital Plan – Update For Information

#### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



## City of Salmon Arm

### Memorandum from the Chief Financial Officer and Chief Administrative Officer

To: Mayor Cooper and Members of Council  
 Date: March 14, 2018  
 Subject: Debt Strategy and Capital Plan - Update

#### Recommendation

That the capital projects, associated debt strategy and applicable reserve transfers as identified in Schedule 1 (dated March 14, 2018) be incorporated into the Financial Plan.

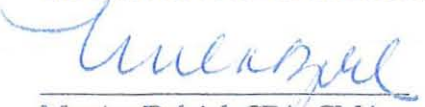
#### Background

In 2013, Council adopted a Strategic Plan through an extensive staff review and public consultation process. In 2014, the initiatives and projects were analysed and a capital plan of major projects with various funding mechanisms were identified, presented and subsequently adopted by Council. The Debt Strategy and Capital Plan was updated and presented to Council in October 2016 and in June 2017. This Plan has been revisited based on recent Council direction and feedback and also updated following the 2017 Yearend, which is scheduled on the March 26, 2018 Regular Council Agenda. The major change to the Plan is with respect to the Ross Street Underpass (an increase in long term borrowing from \$4.53 million to \$5.185 million and the associated debt servicing). This project can still be easily achieved without a tax increase.

All of the projects can be planned, financed and constructed over the next eighteen (18) years without significant impact to the City's overall finances or the City's municipal property tax rate with the possible exception of a new pool. It is envisioned that all projects will be undertaken through various funding mechanisms such as Community Works Fund, Reserves and Federal Grants.

Please note that the Ross St. Underpass, which is proposed to be undertaken in 2019 with a referendum occurring in conjunction with the 2018 General Municipal Election, will be brought back to Council in the next few months with a bylaw to both solidify the proposed budget (and the long term borrowing requirements) and commence the referendum process.

As previously advised Water and Sewer major projects have not been included and could have an impact on the General Fund. It is envisioned that the Debt Strategy and Capital Plan will be revised to include the Water and Sewer Projects as soon as the information becomes available.

  
 Monica Dalziel, CPA, CMA

  
 Carl Bannister, MCIP

	Debt				Debt Repayments				Existing Debt Ratio
	General	Water	Sewer	Total	General	Water	Sewer	Total	
<b>2016</b>									
Existing Debt	\$ 13,360,342.39	\$ 9,005,802.65	\$ 3,223,959.15	\$ 25,590,104.19	\$ 1,904,876.76	\$ 1,030,255.95	\$ 279,697.34	\$ 3,214,830.05	43.99%
Paid Out Debentures:									
- 921 - 17 Street SW Property					(101,052.56)	-	-	(101,052.56)	
	\$ 13,360,342.39	\$ 9,005,802.65	\$ 3,223,959.15	\$ 25,590,104.19	\$ 1,803,824.20	\$ 1,030,255.95	\$ 279,697.34	\$ 3,113,777.49	42.61%
<b>2017</b>									
New Debt					45,764.45	11,668.80	-	57,433.25	
- Tennis	\$ 13,360,342.39	\$ 9,005,802.65	\$ 3,223,959.15	\$ 25,590,104.19	\$ 1,849,588.65	\$ 1,041,924.75	\$ 279,697.34	\$ 3,171,210.74	43.40%
Interest Rate Change									
	\$ 13,360,342.39	\$ 9,005,802.65	\$ 3,223,959.15	\$ 25,590,104.19	\$ 1,849,588.65	\$ 1,041,924.75	\$ 279,697.34	\$ 3,171,210.74	43.40%
Debt Reductions:									
Principal Debt Repayments	(547,206.54)	(457,981.23)	(161,923.29)	(1,167,111.06)	-	-	-	-	
Actual Debt Reductions	(416,319.15)	(198,825.43)	(90,323.55)	(697,468.13)	-	-	-	-	
	\$ 12,396,816.70	\$ 8,356,995.99	\$ 2,971,712.31	\$ 23,725,525.00	\$ 1,849,588.65	\$ 1,041,924.75	\$ 279,697.34	\$ 3,171,210.74	43.40%
<b>2018</b>									
Debt Reductions:									
Principal Debt Repayments	(547,206.54)	(457,981.23)	(161,923.29)	(1,167,111.06)	-	-	-	-	
Actual Debt Reductions	(460,005.59)	(217,138.45)	(101,947.76)	(779,091.80)	-	-	-	-	
	\$ 11,389,604.57	\$ 7,681,876.31	\$ 2,707,841.26	\$ 21,779,322.14	\$ 1,849,588.65	\$ 1,041,924.75	\$ 279,697.34	\$ 3,171,210.74	43.40%
<b>2019</b>									
New Debentures									
- Underpass	5,185,000.00	-	-	5,185,000.00	316,384.86	-	-	316,384.86	
	\$ 16,574,604.57	\$ 7,681,876.31	\$ 2,707,841.26	\$ 26,964,322.14	\$ 2,165,973.51	\$ 1,041,924.75	\$ 279,697.34	\$ 3,487,595.60	47.72%
Debt Reductions:									
Principal Debt Repayments	(547,206.54)	(457,981.23)	(161,923.29)	(1,167,111.06)	-	-	-	-	
Actual Debt Reductions	(505,688.04)	(244,520.32)	(114,118.60)	(864,326.96)	-	-	-	-	
	\$ 15,521,709.99	\$ 6,979,374.76	\$ 2,431,798.67	\$ 24,932,883.42	\$ 2,165,973.51	\$ 1,041,924.75	\$ 279,697.34	\$ 3,487,595.60	47.72%
Paid Out Debentures:									
- Shaw Centre					(452,544.42)	-	-	(452,544.42)	
- Water System					(64,649.20)	-	-	(64,649.20)	
	\$ 15,521,709.99	\$ 6,979,374.76	\$ 2,431,798.67	\$ 24,932,883.42	\$ 1,713,429.09	\$ 977,275.55	\$ 279,697.34	\$ 2,970,401.98	40.65%
<b>2020</b>									
Debt Reductions:									
Principal Debt Repayments	(410,378.19)	(424,832.03)	(161,923.29)	(997,134.21)	-	-	-	-	
Actual Debt Reductions	(245,281.29)	(227,759.81)	(126,862.18)	(599,903.28)	-	-	-	-	
	\$ 14,866,050.51	\$ 6,326,782.92	\$ 2,143,012.50	\$ 23,335,845.93	\$ 1,713,429.09	\$ 977,275.55	\$ 279,697.34	\$ 2,970,401.98	40.65%
<b>2021</b>									
Debt Reductions:									
Principal Debt Repayments	(410,378.19)	(424,832.03)	(161,923.29)	(997,134.21)	-	-	-	-	
Actual Debt Reductions	(267,591.94)	(253,863.49)	(140,205.89)	(661,661.32)	-	-	-	-	
	\$ 14,188,080.38	\$ 5,648,087.40	\$ 1,840,882.62	\$ 21,677,050.40	\$ 1,713,429.09	\$ 977,275.55	\$ 279,697.34	\$ 2,970,401.98	40.65%
<b>2022</b>									
Debt Reductions:									
Principal Debt Repayments	(410,378.19)	(424,832.03)	(161,923.29)	(997,134.21)	-	-	-	-	
Actual Debt Reductions	(314,847.44)	(281,011.30)	(154,174.93)	(750,033.67)	-	-	-	-	
	\$ 13,462,854.76	\$ 4,942,244.07	\$ 1,524,783.70	\$ 19,929,882.53	\$ 1,713,429.09	\$ 977,275.55	\$ 279,697.34	\$ 2,970,401.98	40.65%
Paid Out Debentures:									
- Water System					-	-	-	-	
- Sewer System					-	-	(19,037.88)	(19,037.88)	
	\$ 13,462,854.76	\$ 4,942,244.07	\$ 1,524,783.70	\$ 19,929,882.53	\$ 1,713,429.09	\$ 977,275.55	\$ 260,659.46	\$ 2,951,364.10	40.39%
<b>2023</b>									
Debt Reductions:									
Principal Debt Repayments	(410,378.19)	(424,832.03)	(158,688.11)	(993,898.33)	-	-	-	-	
Actual Debt Reductions	(351,929.16)	(309,245.04)	(150,233.41)	(811,407.61)	-	-	-	-	
	\$ 12,700,547.40	\$ 4,208,167.00	\$ 1,223,862.18	\$ 18,132,576.58	\$ 1,713,429.09	\$ 977,275.55	\$ 260,659.46	\$ 2,951,364.10	40.39%
Paid Out Debentures:									
- Fire Hall & Little Mtn Upgrades					(15,372.78)	-	-	(15,372.78)	
- Sewer System					-	-	(147,476.17)	(147,476.17)	
	\$ 12,700,547.40	\$ 4,208,167.00	\$ 1,223,862.18	\$ 18,132,576.58	\$ 1,698,056.31	\$ 977,275.55	\$ 113,183.29	\$ 2,788,515.15	38.16%
<b>2024</b>									
New Debentures									
- Downtown Parkade	3,450,000.00	-	-	3,450,000.00	210,516.45	-	-	210,516.45	
	\$ 16,150,547.40	\$ 4,208,167.00	\$ 1,223,862.18	\$ 21,582,576.58	\$ 1,908,572.75	\$ 977,275.55	\$ 113,183.29	\$ 2,999,031.59	41.04%
<b>2025</b>									
Debt Reductions:									
Principal Debt Repayments	(473,820.96)	(424,832.03)	(63,649.94)	(962,302.93)	-	-	-	-	
Actual Debt Reductions	(377,810.90)	(338,608.11)	(20,164.88)	(736,583.89)	-	-	-	-	
	\$ 15,298,915.35	\$ 3,444,726.86	\$ 1,140,047.36	\$ 19,883,689.57	\$ 1,908,572.75	\$ 977,275.55	\$ 113,183.29	\$ 2,999,031.59	41.04%
<b>2026</b>									
Debt Reductions:									
Principal Debt Repayments	(473,820.96)	(424,832.03)	(63,649.94)	(962,302.93)	-	-	-	-	
Actual Debt Reductions	(419,251.33)	(369,145.73)	(23,098.40)	(811,495.46)	-	-	-	-	
	\$ 14,405,843.26	\$ 2,650,749.10	\$ 1,053,299.02	\$ 18,109,891.38	\$ 1,908,572.75	\$ 977,275.55	\$ 113,183.29	\$ 2,999,031.59	41.04%
<b>2027</b>									
Debt Reductions:									
Principal Debt Repayments	(473,820.96)	(424,832.03)	(63,649.94)	(962,302.93)	-	-	-	-	
Actual Debt Reductions	(462,471.91)	(400,904.86)	(26,134.59)	(889,511.36)	-	-	-	-	
	\$ 13,469,550.40	\$ 1,825,012.21	\$ 963,514.49	\$ 16,258,077.10	\$ 1,908,572.75	\$ 977,275.55	\$ 113,183.29	\$ 2,999,031.59	41.04%
Paid Out Debentures:									
- Water System					-	(82,944.06)	-	(82,944.06)	
- Water System					-	(26,562.51)	-	(26,562.51)	
	\$ 13,469,550.40	\$ 1,825,012.21	\$ 963,514.49	\$ 16,258,077.10	\$ 1,908,572.75	\$ 867,768.98	\$ 113,183.29	\$ 2,889,525.02	39.54%
<b>2028</b>									
New Debentures									
- SASCU Rec. Centre - Pool Replacement	5,000,000.00	-	-	5,000,000.00	305,096.30	-	-	305,096.30	
	\$ 18,469,550.40	\$ 1,825,012.21	\$ 963,514.49	\$ 21,258,077.10	\$ 2,213,669.05	\$ 867,768.98	\$ 113,183.29	\$ 3,194,621.32	43.72%
Debt Reductions:									
Principal Debt Repayments	(473,820.96)	(371,604.96)	(63,649.94)	(909,075.86)	-	-	-	-	
Actual Debt Reductions	(507,551.21)	(370,534.32)	(29,277.05)	(907,362.58)	-	-	-	-	
	\$ 17,488,178.23	\$ 1,082,872.93	\$ 870,587.50	\$ 19,441,638.66	\$ 2,213,669.05	\$ 867,768.98	\$ 113,183.29	\$ 3,194,621.32	43.72%
Paid Out Debentures:									
- Blackburn Park					(40,890.88)	-	-	(40,890.88)	
	\$ 17,488,178.23	\$ 1,082,872.93	\$ 870,587.50	\$ 19,441,638.66	\$ 2,172,778.17	\$ 867,768.98	\$ 113,183.29	\$ 3,153,730.44	43.16%
<b>2029</b>									
Debt Reductions:									
Principal Debt Repayments	(562,125.08)	(371,604.96)	(63,649.94)	(997,379.98)	-	-	-	-	
Actual Debt Reductions	(476,882.22)	(400,219.99)	(32,529.49)	(909,631.70)	-	-	-	-	
	\$ 16,449,170.93	\$ 311,047.98	\$ 774,408.07	\$ 17,534,626.98	\$ 2,172,778.17	\$ 867,768.98	\$ 113,183.29	\$ 3,153,730.44	43.16%
Paid Out Debentures:									
- Water System					-	(720,735.75)	-	(720,735.75)	
	\$ 16,449,170.93	\$ 311,047.98	\$ 774,408.07	\$ 17,534,626.98	\$ 2,172,778.17	\$ 147,033.23	\$ 113,183.29	\$ 2,432,994.69	33.29%



Debtenture Reductions:									
Principal Debtenture Repayments	(562,125.08)	(69,369.21)	(63,649.94)	(695,144.23)	-	-	-	-	
Acturial Debtenture Reductions	(519,522.40)	(71,092.89)	(35,895.77)	(626,511.06)	-	-	-	-	
	\$ 15,367,523.45	\$ 170,585.88	\$ 674,862.36	\$ 16,212,971.69	\$ 2,172,778.17	\$ 147,033.23	\$ 113,183.29	\$ 2,432,994.69	33.29%
Paid Out Debtentures:									
Underpass 20 St/21St	-	-	-	-	(187,204.38)	-	-	(187,204.38)	
	\$ 15,367,523.45	\$ 170,585.88	\$ 674,862.36	\$ 16,212,971.69	\$ 1,985,573.79	\$ 147,033.23	\$ 113,183.29	\$ 2,245,790.31	30.73%
2030									
Debtenture Reductions:									
Principal Debtenture Repayments	(478,170.70)	(69,369.21)	(63,649.94)	(611,189.85)	-	-	-	-	
Acturial Debtenture Reductions	(463,990.71)	(76,711.36)	(39,379.87)	(580,081.94)	-	-	-	-	
	\$ 14,425,362.04	\$ 24,505.31	\$ 571,832.55	\$ 15,021,699.90	\$ 1,985,573.79	\$ 147,033.23	\$ 113,183.29	\$ 2,245,790.31	30.73%
Paid Out Debtentures:									
Water System	-	-	-	-	-	(144,598.77)	-	(144,598.77)	
	\$ 14,425,362.04	\$ 24,505.31	\$ 571,832.55	\$ 15,021,699.90	\$ 1,985,573.79	\$ 2,434.46	\$ 113,183.29	\$ 2,101,191.54	28.75%
2031									
Debtenture Reductions:									
Principal Debtenture Repayments	(478,170.70)	(862.44)	(63,649.94)	(542,683.08)	-	-	-	-	
Acturial Debtenture Reductions	(503,009.92)	(934.59)	(42,985.91)	(546,950.42)	-	-	-	-	
	\$ 13,444,181.42	\$ 22,688.28	\$ 465,196.70	\$ 13,932,066.40	\$ 1,985,573.79	\$ 2,434.46	\$ 113,183.29	\$ 2,101,191.54	28.75%
2032									
Debtenture Reductions:									
Principal Debtenture Repayments	(478,170.70)	(862.44)	(63,649.94)	(542,683.08)	-	-	-	-	
Acturial Debtenture Reductions	(543,729.03)	(1,027.27)	(46,718.17)	(591,407.47)	-	-	-	-	
	\$ 12,422,281.69	\$ 20,798.57	\$ 354,828.59	\$ 12,797,908.85	\$ 1,985,573.79	\$ 2,434.46	\$ 113,183.29	\$ 2,101,191.54	28.75%
2033									
Debtenture Reductions:									
Principal Debtenture Repayments	(478,170.70)	(862.44)	(63,649.94)	(542,683.08)	-	-	-	-	
Acturial Debtenture Reductions	(586,222.75)	(1,102.86)	(50,581.05)	(637,906.66)	-	-	-	-	
	\$ 11,357,888.24	\$ 18,833.27	\$ 240,597.60	\$ 11,617,319.11	\$ 1,985,573.79	\$ 2,434.46	\$ 113,183.29	\$ 2,101,191.54	28.75%
2034									
Debtenture Reductions:									
Principal Debtenture Repayments	(478,170.70)	(862.44)	(63,649.94)	(542,683.08)	-	-	-	-	
Acturial Debtenture Reductions	(630,581.41)	(1,181.47)	(54,579.14)	(686,342.02)	-	-	-	-	
	\$ 10,243,136.13	\$ 16,789.36	\$ 122,368.52	\$ 10,388,294.01	\$ 1,985,573.79	\$ 2,434.46	\$ 113,183.29	\$ 2,101,191.54	28.75%
Paid Out Debtentures:									
- Civic Building	-	-	-	-	(641,434.21)	-	-	(641,434.21)	
	\$ 10,243,136.13	\$ 16,789.36	\$ 122,368.52	\$ 10,388,294.01	\$ 1,344,139.58	\$ 2,434.46	\$ 113,183.29	\$ 1,459,757.33	19.98%
2035									
Debtenture Reductions:									
Principal Debtenture Repayments	(329,161.49)	(862.44)	(63,649.94)	(393,673.87)	-	-	-	-	
Acturial Debtenture Reductions	(181,875.44)	(1,263.23)	(58,718.58)	(241,857.25)	-	-	-	-	
	\$ 9,738,099.21	\$ 14,663.69	\$ 0.00	\$ 9,752,762.90	\$ 1,344,139.58	\$ 2,434.46	\$ 113,183.29	\$ 1,459,757.33	19.98%
Paid Out Debtentures:									
- Blackburn Park Improvements	-	-	-	-	(31,430.54)	-	-	(31,430.54)	
- Sewer System	-	-	-	-	-	-	(113,183.29)	(113,183.29)	
	\$ 9,738,099.21	\$ 14,663.69	\$ 0.00	\$ 9,752,762.90	\$ 1,312,709.04	\$ 2,434.46	\$ -	\$ 1,315,143.50	18.00%
2036									
Debtenture Reductions:									
Principal Debtenture Repayments	(311,480.95)	(862.44)	-	(312,343.39)	-	-	-	-	
Acturial Debtenture Reductions	(156,374.62)	(1,348.26)	-	(157,722.88)	-	-	-	-	
	\$ 9,270,243.64	\$ 12,452.99	\$ 0.00	\$ 9,282,696.63	\$ 1,312,709.04	\$ 2,434.46	\$ -	\$ 1,315,143.50	18.00%
Paid Out Debtentures:									
- Tennis Club - Loan Guarantor	-	-	-	-	(45,764.45)	-	-	(45,764.45)	
- Civic Building	-	-	-	-	(24,972.81)	-	-	(24,972.81)	
	\$ 9,270,243.64	\$ 12,452.99	\$ 0.00	\$ 9,282,696.63	\$ 1,261,971.79	\$ 2,434.46	\$ -	\$ 1,244,406.25	17.03%
2037									
Debtenture Reductions:									
Principal Debtenture Repayments	(299,014.14)	(862.44)	-	(299,876.58)	-	-	-	-	
Acturial Debtenture Reductions	(167,943.16)	(1,436.68)	-	(169,379.84)	-	-	-	-	
	\$ 8,803,286.34	\$ 10,153.87	\$ 0.00	\$ 8,813,440.21	\$ 1,241,971.79	\$ 2,434.46	\$ -	\$ 1,244,406.25	17.03%
2038									
Debtenture Reductions:									
Principal Debtenture Repayments	(299,014.14)	(862.44)	-	(299,876.58)	-	-	-	-	
Acturial Debtenture Reductions	(182,221.61)	(1,528.65)	-	(183,750.26)	-	-	-	-	
	\$ 8,322,050.59	\$ 7,762.78	\$ 0.00	\$ 8,329,813.37	\$ 1,241,971.79	\$ 2,434.46	\$ -	\$ 1,244,406.25	17.03%
2039									
Debtenture Reductions:									
Principal Debtenture Repayments	(299,014.14)	(862.44)	-	(299,876.58)	-	-	-	-	
Acturial Debtenture Reductions	(165,797.27)	(1,624.29)	-	(167,421.56)	-	-	-	-	
	\$ 7,857,239.19	\$ 5,276.05	\$ 0.00	\$ 7,862,515.24	\$ 1,241,971.79	\$ 2,434.46	\$ -	\$ 1,244,406.25	17.03%
Debtenture Debt - Paydown									
- Underpass	(1,971,476.97)	-	-	(1,971,476.97)	(276,416.07)	-	-	(276,416.07)	
	\$ 5,885,762.22	\$ 5,276.05	\$ 0.00	\$ 5,891,038.27	\$ 965,555.72	\$ 2,434.46	\$ -	\$ 967,990.18	13.25%
2040									
Debtenture Reductions:									
Principal Debtenture Repayments	(203,798.07)	(862.44)	-	(204,660.51)	-	-	-	-	
Acturial Debtenture Reductions	(130,190.37)	(1,723.76)	-	(131,914.13)	-	-	-	-	
	\$ 5,551,773.78	\$ 2,689.85	\$ 0.00	\$ 5,554,463.63	\$ 965,555.72	\$ 2,434.46	\$ -	\$ 967,990.18	13.25%
Paid Out Debtentures:									
- Shuswap Memorial Cemetery	-	-	-	-	(54,237.52)	-	-	(54,237.52)	
	\$ 5,551,773.78	\$ 2,689.85	\$ 0.00	\$ 5,554,463.63	\$ 911,318.20	\$ 2,434.46	\$ -	\$ 913,752.66	12.50%
2041									
Debtenture Reductions:									
Principal Debtenture Repayments	(177,610.55)	(862.44)	-	(178,472.99)	-	-	-	-	
Acturial Debtenture Reductions	(68,635.92)	(1,827.41)	-	(70,463.33)	-	-	-	-	
	\$ 5,305,527.31	\$ (0.00)	\$ 0.00	\$ 5,305,527.31	\$ 911,318.20	\$ 2,434.46	\$ -	\$ 913,752.66	12.50%
Paid Out Debtentures:									
- Water System	-	-	-	-	-	(2,434.46)	-	(2,434.46)	
	\$ 5,305,527.31	\$ (0.00)	\$ 0.00	\$ 5,305,527.31	\$ 911,318.20	\$ (0.00)	\$ -	\$ 911,318.20	12.47%



Available Funds - 2035	\$ 54,000.00				\$ 322,541.47	
Available Funds - 2036	484,430.00				56,263.66	Blackburn Park Upgrades
Available Funds - 2037	484,430.00				56,263.66	Blackburn Park Upgrades
Available Funds - 2038	484,430.00				56,263.66	Blackburn Park Upgrades
Available Funds - 2039	484,430.00				56,263.66	Blackburn Park Upgrades
Interest - 2035 - 2039 - 2.5%	138,280.00				56,263.66	Blackburn Park Upgrades
	\$ 2,150,000.00				\$ 603,859.77	
Payout Underpass Debenure - 2039	(1,971,476.97)				697,697.87	Civic Building
	\$ 148,523.03				729,128.41	Blackburn Park Upgrades
Reallocation of Debt Payments - 2023	5,372.78	Fire Hall/Little Mtn Upgrades	Reallocation of Debt Payments - 2034		754,101.22	Civic Building
Reallocation of Debt Payments - 2024	5,372.78	Fire Hall/Little Mtn Upgrades	Reallocation of Debt Payments - 2035		754,101.22	Civic Building
Reallocation of Debt Payments - 2025	5,372.78	Fire Hall/Little Mtn Upgrades	Reallocation of Debt Payments - 2036		754,101.22	Civic Building
Reallocation of Debt Payments - 2026	5,372.78	Fire Hall/Little Mtn Upgrades	Reallocation of Debt Payments - 2037		754,101.22	Civic Building
Reallocation of Debt Payments - 2027	56,263.66	Blackburn Park Upgrades	Reallocation of Debt Payments - 2038		1,030,517.29	Underpass
Reallocation of Debt Payments - 2028	56,263.66	Blackburn Park Upgrades	Reallocation of Debt Payments - 2039		1,064,754.61	Shuswap Memorial Cemetery
	\$ 322,541.47		Reallocation of Debt Payments - 2040			
			Available (Excludes Interest Earned)		\$ 7,012,121.58	

**Assumptions:**

Analysis assumes that the Community Works Fund will continue until 2027

Analysis assumes 30 year amortization and interest at 4%

Analysis assumes a Federal Grant for the SASCUCentre Pool Replacement Project

Note: A one time transfer to reserve/debt repayment is available in 2035 - \$54,000.00

Note: An ongoing transfer to reserve/debt repayment is available in 2036 - \$484,430.00

**Tax Rate Implications**

	Debenure Borrowings				Repayment	
	General	Water	Sewer	Total		
- Underpass (2019)	\$ 5,185,000.00	\$ -	\$ -	\$ 5,185,000.00	\$ 316,384.86	Referendum - Funded From Eliminated Shaw Centre Debt Repayment (\$432,544.42)
- 20 Ave/20 St Intersection Realign. (2020)	0.00	-	-	0.00	0.00	No Borrowing Anticipated
- Shoemaker Hill/ Auto Road Ext. (2023)	0.00	-	-	0.00	0.00	No Borrowing Anticipated
- Hudson Ave Revitalization (2017)	-	-	-	-	-	No Borrowing Anticipated
- Downtown Parkade (2023)	3,450,000.00	-	-	3,450,000.00	210,516.45	Referendum - Funded From Eliminated Transfer to Reserve for Same Amount
- Public Works - Relocation (2030)	-	-	-	-	-	No Borrowing Anticipated
- Track & Field - Okanagan & 30 St (2035)	-	-	-	-	-	No Borrowing Anticipated
- Westbay Connector Trail (2027)	(0.00)	-	-	(0.00)	(0.00)	No Borrowing Anticipated
- SASCUCentre - Pool Replac/Reconfg (2027)	5,000,000.00	-	-	5,000,000.00	\$ 305,096.30	Referendum - Tax Increase - 1.75% (Likely Less)
	\$ 13,635,000.00	\$ -	\$ -	\$ 13,635,000.00	\$ 831,997.61	

Item 11.3

## CITY OF SALMON ARM

Date: March 26, 2018

### Chief Election Officer & Deputy Chief Election Officer 2018 General Local Election Appointments

#### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*  
*Memorandum from the Chief Administrative Officer*

---

Date: March 16, 2018

To: Mayor Cooper and Members of Council

Subject: Chief Election Officer & Deputy Chief Election Officer  
2018 General Local Election

---

**RECOMMENDATION:**

That Erin Jackson and Patti Ferguson be appointed as Chief Election Officer and Deputy Chief Election Officer for the 2018 General Local Election.


**BACKGROUND:**

While the duties of the Corporate Officer include elections administration, it is necessary for Council to formally appoint Erin Jackson as the Chief Election Officer (CEO) for the 2018 General Local Election.

Patti Ferguson, former Chief Administrative Officer of the City of Armstrong, has many years of experience with elections, including serving as the CEO for the City during the 2014 General Local Election. It is recommended that she serve as the City's Deputy Chief Election Officer for the 2018 General Local Government Election.

There will be no budget impact as a result of these appointments.

The Corporate Officer will provide Council with a detailed report regarding election related items in July.

  
\_\_\_\_\_  
Carl Bannister, MCIP  
Chief Administrative Officer



Item 11.4

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Lavery

Seconded: Councillor Eliason

THAT: Council approve the purchase of ten (10) new picnic tables from Bridge Vault & Dominion Precast, for the quoted amount of \$14,671.17 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to Bridge Vault & Dominion Precast.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*  
*Memorandum from the Engineering and*  
*Public Works Department*

File: ENG2018-58

---

TO: Her Worship the Mayor and Members of Council  
 FROM: Robert Niewenhuizen, Director of Engineering and Public Works  
 PREPARED BY: Jason Chernoff, Supervisor of Parks & Recreation  
 DATE: March 13, 2018  
 SUBJECT: **Park Picnic Tables Acquisition**

---

**RECOMMENDATION:**

**THAT:** Council approves the purchase of ten (10) new picnic tables from Bridge Vault & Dominion Precast, for the quoted amount of \$14,671.17 plus applicable taxes.

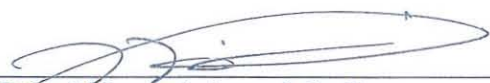
**AND THAT:** The City's Purchasing Policy No.7.13 be waived in procurement of these works and services to authorize the sole sourcing to Bridge Vault & Dominion Precast.

**BACKGROUND:**

The City staff are planning to install ten (10) new picnic tables at various park locations. The Parks Department has several of these exact picnic tables in the current parks inventory. They were supplied by Dominion Precast in Kelowna, recently this company was purchased by Bridge Vault out of Alberta. We were not able to source this type of table from any other supplier. Due to park aesthetics and consistency of inventory staff views this as a sole source project under Policy No. 7.13 Section 3 and we are recommending that we continue purchasing these products from Bridge Vault & Dominion Precast.

Funding in the 2018 Capital Parks budget in the amount of \$34,500 is provided for this purchase.

Respectfully submitted,

  
 Robert Niewenhuizen, A.Sc.T.  
 Director of Engineering and Public Works

cc Monica Dalziel, Chief Financial Officer

Item 11.5

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Flynn

THAT: Council approve the purchase of a new 10 Hp Turborator Aerator from MGD Process Technology Inc., for the quoted amount of \$18,455.00 US dollars plus applicable taxes, custom, duty and brokerage fees;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to MGD Process Technology Inc.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*  
*Memorandum from the Engineering and*  
*Public Works Department*

File: ENG2018-58

---

TO: Her Worship the Mayor and Members of Council  
 FROM: Robert Niewenhuizen, Director of Engineering and Public Works  
 PREPARED BY: Hart Frese, WWTP Chief Operator  
 DATE: March 8, 2018  
 SUBJECT: **Turborator Aerator – New Aerator Purchase**

---

**RECOMMENDATION:**

**THAT:** Council approves the purchase of a new 10 Hp Turborator Aerator from MGD Process Technology Inc., for the quoted amount of \$18,455.00 US dollars plus applicable taxes, custom, duty and brokerage fees.

**AND THAT:** The City's Purchasing Policy No.7.13 be waived in procurement of these works and services to authorize the sole sourcing to MGD Process Technology Inc.

**BACKGROUND:**

The City of Salmon Arm's Wastewater Treatment Plant utilizes Turborator technology to aerate and mix the biosolids in the Auto Thermophilic Aerobic Digester (ATAD). The ATAD currently consists of 5 cells with 8 Turborators providing the aeration and mixing. During the 2004 Stage IIIB upgrade, a 6<sup>th</sup> cell structure was constructed for future use. The cell was designed similar to the other cells and as such utilizes Turborators for mixing and aeration. Subsequently, staff has purchased a new Turborator in 2017 and has budgeted for a second Turborator for 2018 with the goal of commissioning the cell in 2019.

The approved 2018 Budget for this purchase is \$25,000.

As such staff views this as a sole source project under Policy No. 7.13 Section 3 whereby it is a non-competitive situation due to the proprietary nature of the Turborator Aerators.

Respectfully submitted,

Robert Niewenhuizen, A.Sc.T.  
 Director of Engineering and Public Works

cc Monica Dalziel, Chief Financial Officer

Item 11.6

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: Council accept the Quote of A + D Asphalt Solutions Ltd., in accordance with the unit prices quoted as specified in the Contract, estimated to be One Hundred and Forty-Five Thousand Dollars (\$145,000.00) plus applicable taxes.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond





*City of Salmon Arm*  
**Memorandum from the Engineering  
 and Public Works Department**

TO: Her Worship Mayor Cooper and Members of Council

SUBMITTED BY: Robert Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Darin Gerow, ASCT, Engineering Assistant

DATE: March 15, 2018

**SUBJECT: 2018 PAVMENT PATCHING PROGRAM – QUOTE AWARD**

**RECOMMENDATION:**

**THAT:** Council accept the Quote of A + D Asphalt Solutions Ltd., in accordance with the unit prices quoted as specified in the Contract, estimated to be One Hundred and Forty Five Thousand Dollars (\$145,000.00) plus applicable taxes.

**BACKGROUND:**

The annual paving program tender in the past has included all patching works in addition to all major overlay paving projects. In the past, contractors have informed the City that the patching was too encompassing which resulted in higher unit pricing for patching. Typically, City staff saw the major paving companies sub contracting smaller patching companies for these works, resulting in the City paying a premium. This is the second year now that the bids were separated into patching works and paving projects to attempt to achieve better unit pricing on patching.

Including in the patching portion of these works are supply and placing asphaltic concrete pavement in skin patches and full depth patches, tack coat for patches, and placement of asphalt curbing. Separating these works again has resulted in lower quantity pricing for this year's patching. It should be noted that within this contract will include works under charge out accounts. These charge out accounts cannot be accounted for at this time due to the uncertainty of the amount of works, but are estimated to the best of our ability in comparison to other years.

A Request for Quote was put on BC Bid February 16, 2018 and on Tuesday, March 13, 2018 two quote submissions were received as follows:

**Table 1 – Quote Results:**

Company Name	Quote Amount*
A + D Asphalt Solutions Ltd, Armstrong, BC	\$ 145,000.00
Interoute Construction Ltd. DBA Valley Blacktop Revelstoke, BC	\$ 154,750.00

\*Applicable taxes are not included in these amounts

## 2018 PAVEMENT PATCHING PROGRAM - QUOTE AWARD

The lowest quote, A+D Solutions Ltd. have completed patching within The City of Salmon Arm on many occasions including last year's patching program, and have been sub-contracted by one of the main overlay paving contractors or hired by Public Works to complete patching.

### 2018 Budget:

The proposed budget for the 2018 Patching Program is as follows:


Program	Total Budget	Patching Program Portion (estimate)
Patching	\$ 64,000.00	\$ 60,000.00
Capital Projects	\$ 35,000.00	\$ 30,000.00
Utility Patching, Charge Outs, etc.	\$ 46,000.00	\$ 40,000.00
<b>Total</b>	<b>\$ 145,000.00</b>	<b>\$ 130,000.00</b>

Staff has included excess quantities within this quote to receive the unit pricing for our capital projects, utility crossing repairs and charge out accounts.

Depending on the actual tonnage and square meters of asphaltic concrete and other costs, the patching program will be increased or reduced in order to take maximum advantage of the available funds. It should be noted that a unit price Contract allows flexibility to increase or decrease the scope of work (total number of units).

Based on the above, we recommend that the 2018 Pavement Patching Program be awarded to A+D Asphalt Solutions Ltd. in accordance with the unit prices quoted as specified in the Contract, estimated to be One Hundred and Forty Five Thousand Dollars (\$145,000.00) plus applicable taxes. The individual Contract amounts will not exceed project budgets in the 2018 budget.

Respectfully submitted,

  
Robert Niewenhuizen, A.Sc.T.  
Director of Engineering and Public Works

cc Monica Dalziel, CFO

THIS PAGE INTENTIONALLY LEFT BLANK

Item 11.7

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: the Mayor and Corporate Officer be authorized to execute the Shuswap Watershed Council Contribution Agreement for 2016 to 2018 Amendment #1 between the Columbia Shuswap Regional District, the Thompson-Nicola Regional District, the City of Salmon Arm, the Adams Lake Indian Band and the Fraser Basin Council.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond





**City of Salmon Arm**  
*Memorandum from the Corporate Officer*

---

TO: Her Worship Mayor Cooper and Council  
DATE: March 15, 2018  
SUBJECT: Shuswap Watershed Council Contribution Agreement Amendment

---

**RECOMMENDATION:**

THAT: the Mayor and Corporate Officer be authorized to execute the Shuswap Watershed Council Contribution Agreement for 2016 to 2018 Amendment #1 between the Columbia Shuswap Regional District, the Thompson-Nicola Regional District, the City of Salmon Arm, the Adams Lake Indian Band and the Fraser Basin Council.

**Background:**

In January 2016, the Shuswap Watershed Council Contribution Agreement for 2016-2018 was executed by the signatories for the CSRD, TNRD, City of Salmon Arm and the Fraser Basin Council.

An amendment to the Agreement has been drafted to include the contribution of \$1,300.00 for each of 2017 and 2018 from the Adams Lake Indian Band.

It is recommended that Council authorize the Mayor and Corporate Officer to execute the Contribution Agreement for 2016 to 2018 Amendment #1, commencing on the date which it is executed by the last of the funding partners and terminating on March 31, 2019.

Respectfully Submitted,



Erin Jackson

**Attachments:**

Appendix A: Shuswap Watershed Council Contribution Agreement for 2016-2018

Appendix B: Shuswap Watershed Council Contribution Agreement for 2016-2018 Amendment #1



## Shuswap Watershed Council

### Contribution Agreement for 2016 to 2018

**BETWEEN: COLUMBIA SHUSWAP REGIONAL DISTRICT ("the CSRD")**

**AND: THOMPSON-NICOLA REGIONAL DISTRICT ("the TNRD")**

**AND: THE CITY OF SALMON ARM ("Salmon Arm")**

**AND: THE FRASER BASIN COUNCIL ("the Recipient")**

The local governments contributing funds will be referred to in this Agreement as "funding partners".

#### 1. Contribution Agreement Purpose and Terms

The purpose of this Contribution Agreement is to fund the *Shuswap Watershed Council: Water Quality Program & Recreation Safety Education Program in the Shuswap Watershed* ("the program") as approved May 6, 2015 by the Shuswap Watershed Council, updated December 1, 2015, and available online [here](#). The Shuswap Watershed Council confirmed at their November 25, 2015 meeting that Fraser Basin Council (FBC) would serve as program managers from 2016 – 2018, with the possibility of extension.

#### 2. Fiscal Year Ends

It is noted that local governments operate on a December 31 year end, and Fraser Basin Council and provincial governments operate on a March 31 year end.

#### 3. Program Funding

Income amounts below are the maximum amounts available. It is understood that some funding partners need to withhold funds to pay for other expenses related to the Shuswap Watershed Council.

Source	2016	2017	2018
CSRD (Areas C, D, E, F and District of Sicamous)	108 900	155 000	160 000
TNRD	53 600	53 600	53 600
City of Salmon Arm	40 000	40 000	40 000
Surplus funds	50 000 (est.)	TBD	TBD
<b>Totals</b>	<b>252 500</b>	<b>248 600</b>	<b>253 600</b>

Any surplus funds remaining at the end of each year ending March 31 will be identified and carried forward to future years. Any funds remaining at the end of this Agreement will be returned to the funding partners, unless this agreement is extended (see Article 5) in which case the funds will be carried forward to future years.

Funding requirements for 2017 and 2018 will be communicated to the funding partners by late November each year, to allow for local government budgeting purposes. The current anticipated annual expenses for the program are less than the maximum available income available.

Quarterly and annual financial reports will be provided to the Shuswap Watershed Council, as well as the funding partners.

#### 4. Payments

The FBC is the financial manager for the Shuswap Watershed Council. The timing of payments to FBC can be flexible depending on the funding partners' specific circumstances. Ideally, it shall be 100% of the commitment by July 31 each year. If an invoice is required, please advise the recipient.

#### 5. Duration, Termination and Extension

This Agreement shall come into effect on the date on which it is executed by the last of the funding partners and the Recipient, and shall terminate on March 31, 2019 (the first three years of the program) unless terminated earlier in accordance with the provisions of this Agreement. There is a mandatory review of the program to commence October 1, 2018. If the review is successful, this Agreement may be extended to March 31, 2021.

#### 6. Staff, Roles and Day Rates, Approval of Invoices

The following Fraser Basin Council staff will be involved and will charge the following day rates based on the recipient's financial policies. Invoices for Fraser Basin Council labour and expenses will be approved quarterly as per the Shuswap Watershed Council Terms of Reference.

- Mike Simpson (Kamloops), Program Manager, \$700/day. Overall responsibility for program delivery and management, and reporting to the SWC and funding partners
- Erin Vieira (Kamloops), Program Manager, \$500/day. Responsible for facilitating and coordinating program implementation
- Denise Hoskins or Sonja Dodig (Vancouver), communications, \$500/day. Support for communications, public engagement, website, and graphic design.
- Jessie Ning and other administrative staff (Vancouver), financial management and administration, \$400/day and \$250/day respectively.

#### Contribution Agreement Contacts

Columbia Shuswap Regional District  
Charles Hamilton, Chief Administrative Officer  
Tel: (250) 833-5905  
E-mail: chamilton@csrd.bc.ca

Thompson-Nicola Regional District  
Sukh Gill, Chief Administrative Officer  
Tel: 250-377-8673  
E-mail: sgill@tnrd.ca

City of Salmon Arm  
Carl Bannister, Chief Administrative Officer  
Tel: 250-803-4038  
E-mail: cbannister@salmonarm.ca

Fraser Basin Council  
Mike Simpson, Senior Regional Manager  
Tel: 250 314-9660  
Cell: 250-299-1202  
Email: msimpson@fraserbasin.bc.ca

Signatures

IN WITNESS WHEREOF, the parties hereto have executed this Agreement at \_\_\_\_\_, in the province of British Columbia this \_\_\_\_ day of \_\_\_\_\_ 2016.


**COLUMBIA SHUSWAP REGIONAL DISTRICT**

  
\_\_\_\_\_  
Charles Hamilton, Chief Administrative Officer, CSRD

  
\_\_\_\_\_  
Witness

Jan 19, 2016  
\_\_\_\_\_  
Date

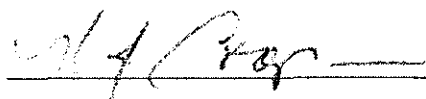
**THOMPSON-NICOLA REGIONAL DISTRICT**

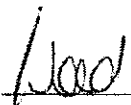
  
\_\_\_\_\_  
Sukh Gill, Chief Administrative Officer, TNRD

  
\_\_\_\_\_  
Carolyn Black  
Witness

Jan 27, 2016  
\_\_\_\_\_  
Date


**CITY OF SALMON ARM**

  
\_\_\_\_\_  
Nancy Cooper, Mayor, Salmon Arm

  
\_\_\_\_\_  
Witness

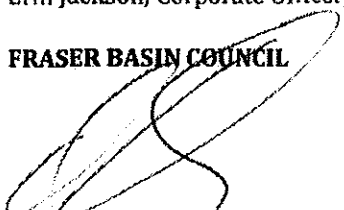
Jan 15, 2016  
\_\_\_\_\_  
Date


  
\_\_\_\_\_  
Erin Jackson, Corporate Officer, Salmon Arm

  
\_\_\_\_\_  
Witness

Jan 15, 2016  
\_\_\_\_\_  
Date

**FRASER BASIN COUNCIL**

  
\_\_\_\_\_  
David Marshall, Executive Director, FBC

  
\_\_\_\_\_  
Witness

Feb 2, 2016  
\_\_\_\_\_  
Date



Contribution Agreement for 2016 – 2018  
Amendment #1 January 30<sup>th</sup> 2018

Amendments are shown below in **bold font**; all other elements of the contribution agreement are unchanged.

From:

BETWEEN: COLUMBIA SHUSWAP REGIONAL DISTRICT ("the CSRD")

AND: THOMPSON-NICOLA REGIONAL DISTRICT ("the TNRD")

AND: THE CITY OF SALMON ARM ("Salmon Arm")

AND: THE FRASER BASIN COUNCIL ("the Recipient")

The local governments contributing funds will be referred to in this Agreement as "funding partners".

To:

Same as above, with the addition of:

AND: **ADAMS LAKE INDIAN BAND ("Adams Lake")**

The local **and First Nations** governments contributing funds will be referred to in this Agreement as "funding partners".

From:

**3. Program Funding**

Source	2016	2017	2018
CSRD (Areas C, D, E, F and District of Sicamous)	108 900	155 000	160 000
TNRD	53 600	53 600	53 600
City of Salmon Arm	40 000	40 000	40 000
Surplus funds	50 000 (est.)	TBD	TBD
Totals	252 500	248 600	253 600

To:

### 3. Program Funding

Source	2016	2017	2018
CSRD (Areas C, D, E, F and District of Sicamous)	108 900	155 000	160 000
TNRD	53 600	53 600	53 600
City of Salmon Arm	40 000	40 000	40 000
<b>Adams Lake Indian Band</b>	<b>-</b>	<b>1300</b>	<b>1300</b>
Surplus funds	50 000 (est.)	TBD	TBD
<b>Totals</b>	<b>252 500</b>	<b>249 900</b>	<b>254 900</b>

From:

### Contribution Agreement Contacts

Columbia Shuswap Regional District  
Charles Hamilton, Chief Administrative Officer  
Tel: (250) 833-5905  
E-mail: [chamilton@csrd.bc.ca](mailto:chamilton@csrd.bc.ca)

Thompson-Nicola Regional District  
Sukh Gill, Chief Administrative Officer  
Tel: 250-377-8673  
E-mail: [sgill@tnrd.ca](mailto:sgill@tnrd.ca)

City of Salmon Arm  
Carl Bannister, Chief Administrative Officer  
Tel: 250-803-4038  
E-mail: [cbannister@salmonarm.ca](mailto:cbannister@salmonarm.ca)

Fraser Basin Council  
Mike Simpson, Senior Regional Manager  
Tel: 250 314-9660  
Cell: 250-299-1202  
E-mail: [msimpson@fraserbasin.bc.ca](mailto:msimpson@fraserbasin.bc.ca)

To:

Same as above, with the addition of:

**Adams Lake Indian Band**  
**Rena Gregoire, Tax Administrator, Acting Lands Manager**  
**Tel. 250-679-8841**  
**E-mail: [rgregoire@alib.ca](mailto:rgregoire@alib.ca)**



## Signatures

IN WITNESS WHEREOF, the parties hereto have executed this AMENDMENT #1 at \_\_\_\_\_,  
in the province of British Columbia this \_\_\_\_\_ day of \_\_\_\_\_ 2018.

### COLUMBIA SHUSWAP REGIONAL DISTRICT

_____	_____	_____
Charles Hamilton, Chief Administrative Officer, CSRD	Witness	Date

### THOMPSON-NICOLA REGIONAL DISTRICT

_____	_____	_____
Sukh Gill, Chief Administrative Officer, TNRD	Witness	Date

### CITY OF SALMON ARM

_____	_____	_____
Nancy Cooper, Mayor, Salmon Arm	Witness	Date

_____	_____	_____
Erin Jackson, Corporate Officer, Salmon Arm	Witness	Date

### ADAMS LAKE INDIAN BAND

_____	_____	_____
Rena Gregoire, Tax Administrator, Adams Lake Indian Band	Witness	Date

### FRASER BASIN COUNCIL

_____	_____	_____
David Marshall, Executive Director, FBC	Witness	Date

12.1

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Lavery

Seconded: Councillor

WHEREAS: the City of Salmon Arm, as a signatory to the BC Climate Action Charter, acknowledges that climate change is a reality and has the goal to move towards carbon neutrality with respect to the City's operations;

AND WHEREAS: cities can take a leadership role in demonstrating alternative energy options,

THEREFORE BE IT RESOLVED THAT: the City consider initiating a grid-tied net metering Solar Photo Voltaic Pilot Project on a City property with all data and live metrics of the project to be readily shared with the public;

AND THAT: staff report back regarding:

- (a) potential viable sites;
- (b) the cost estimates including site audits, installation, grid connections and estimated annual maintenance of the recommended panel sizing and configuration;
- (c) estimates of energy generation and payback length; and
- (d) recommendations of how best to structure usage agreements where tenants of leased city properties currently pay for the electricity they use if that city building is a potentially viable site.

AND FURTHER THAT: the costs associated with this pilot project, including auditing of potential sites, installation, connections and three (3) years of annual maintenance be funded from the Climate Action Reserve.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

)

THIS PAGE INTENTIONALLY LEFT BLANK

Item 21.1

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: Development Variance Permit No. VP-459 be authorized for issuance for Lot 1, Section 14, Township 20, Range 10, W6M, KDYD, Plan EPP34573 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 26.9.1 Minimum Setback of Principle Building - decrease the minimum setback of a principle building from the front parcel line from 6.0 m to 0.0 m.

[Development Variance Permit Application No. VP-459; City of Salmon Arm / Salmon Arm Folk Music Society / B. Hermanski; 541 - 3 Street SW; Setback Variance]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm*

*Development Services Department Memorandum*

TO: Her Worship Mayor Cooper and Members of Council

DATE: March 13, 2018

SUBJECT: Variance Permit Application No. VP-459 (Setback)  
 Legal: Lot 1, Section 14, Township 20, Range 10, Plan EPP34573  
 Civic Address: 541 – 3 Street SW  
 Owner: City of Salmon Arm  
 Applicant/Agent: Salmon Arm Folk Music Society / Bernd Hermanski

**MOTION FOR CONSIDERATION**

**THAT: Development Variance Permit No. VP-459 be authorized for issuance for Lot 1, Section 14, Township 20, Range 10, Plan EPP34573 which will vary Zoning Bylaw No. 2303 as follows:**

- 1. Section 26.9.1 Minimum Setback of Principle Building - decrease the minimum setback of a principle building from the front parcel line from 6.0 m to 0.0 m.**

**STAFF RECOMMENDATION**

**THAT:** The motion for consideration be adopted.

**PROPOSAL**

The subject property is located at 541 – 3 Street SW (APPENDICES 1 and 2), is owned by the City of Salmon Arm and leased to the Salmon Arm Folk Music Society. The proposal is to construct a covered walkway to shelter an existing elevated public entranceway from 5 Avenue SW. The applicant is requesting that the front parcel line setback be reduced from 6.0 metres to 0.0 metres to accommodate the proposed structure. The siting of the existing and proposed structures is attached as APPENDIX 3.

The applicant has provided a rationale letter attached as APPENDIX 4 and site photo showing a markup of the proposed structure as APPENDIX 5.

**BACKGROUND**

The subject property consists of a two storey building which is currently occupied by the Salmon Arm Folk Music Society. The main public entrance to the building is by an uncovered walkway from the 5 Avenue SW frontage. The property is designated High Density Residential in the City's Official Community Plan (OCP) and zoned P-3 (Institutional) in the City's Zoning Bylaw. Adjacent land uses include the following:

North: 5 Avenue SW / Comprehensive Development Zone 6 (CD-6)  
 South: Park and Recreation (P-1)  
 East: 3 Street SW / High Density Residential (R-5)  
 West: Park and Recreation (P-1)



COMMENTSFire Department

No concerns.

Building Department

No concerns.

Engineering Department


Comments attached as APPENDIX 6.

Planning Department

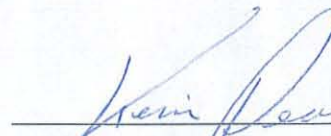
The application was originally received in April 2017 however was put on hold by the applicant until March of 2018. The applicant is requesting to reduce the front yard setback from 6.0 m to 0.0 m to accommodate the proposed covered walkway. In discussions with the applicant, staff had concerns over the zero lot line setback as 5 Avenue SW does not currently have the 20.0 m dedication required for the ultimate roadway width. An estimated 2.4 m of additional dedication is needed from the subject property to meet the 20.0 metre requirement. If the dedication was taken the future proposed covered walkway would encroach into the dedication area.

In consideration of this and as identified in their rationale letter, the applicant has acknowledged that it will remove, modify or adjust the structure and be responsible for all associated costs if and when the City widens 5 Avenue SW. There are no current plans to widen 5 Avenue SW and staff do not anticipate it being completed in the near future. Given the applicant has acknowledged and committed to modification of the structure if the road widening occurs; staff have no objection to the proposed variance.

The open supportive post concept versus a closed wall structure alleviates the initial site line concerns staff had with the closed concept.



Prepared by: Wesley Miles, MCIP, RPP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services





A horizontal number line is shown with markings at 0, 25, 50, 75, and 100. The word "Meters" is written below the line. A blue shaded segment is drawn between the 25 and 50 marks.



### Subject Parcel



Orthophoto

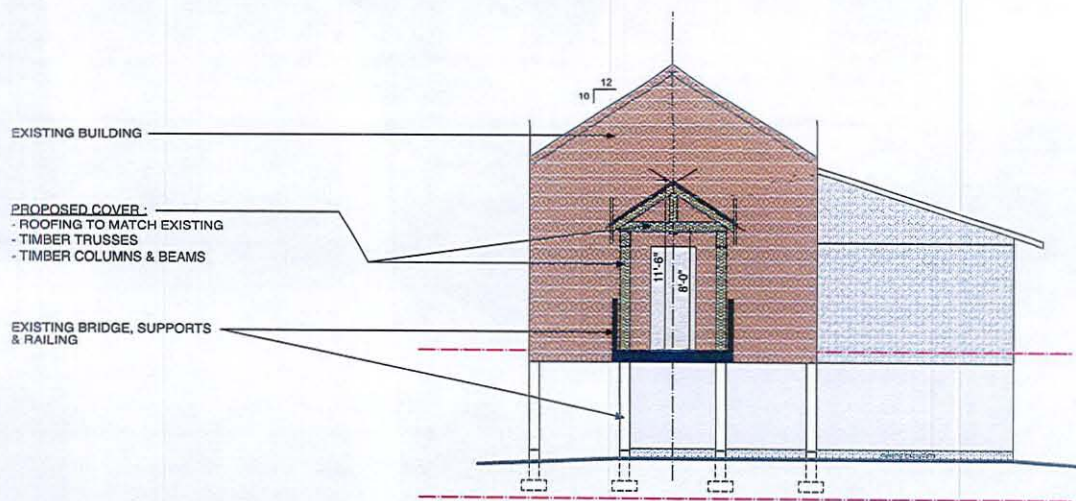


0 5 10 15 20  
Meters

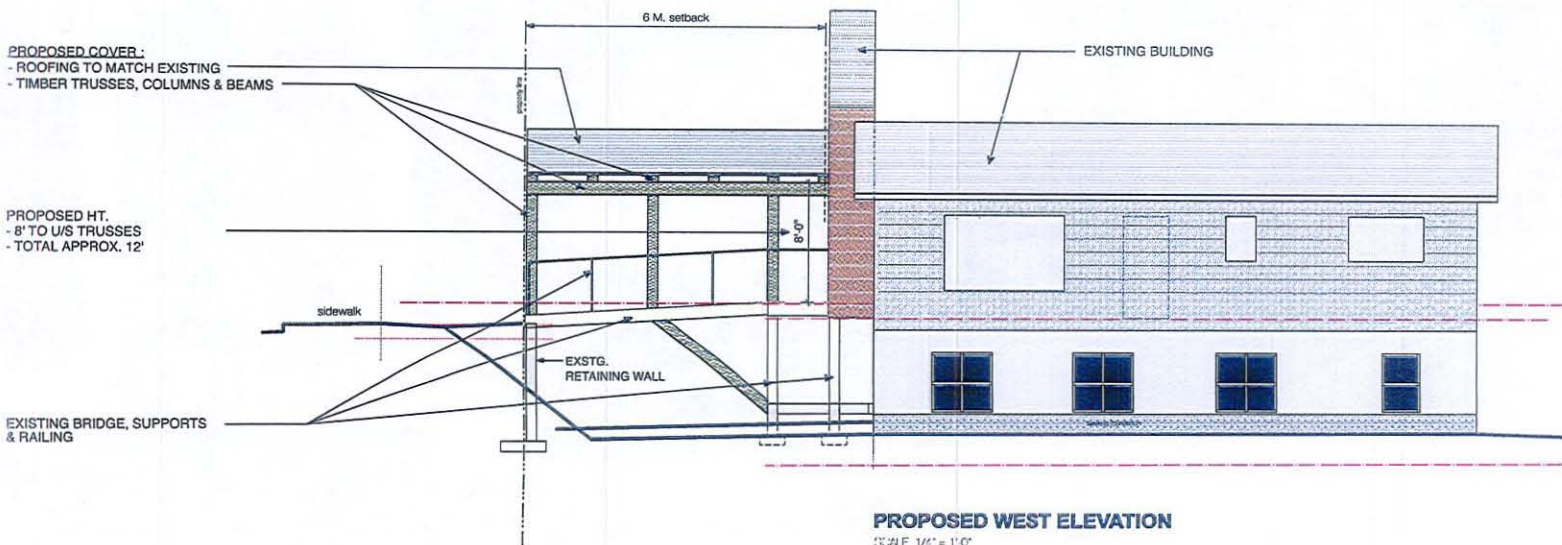


Subject Parcel

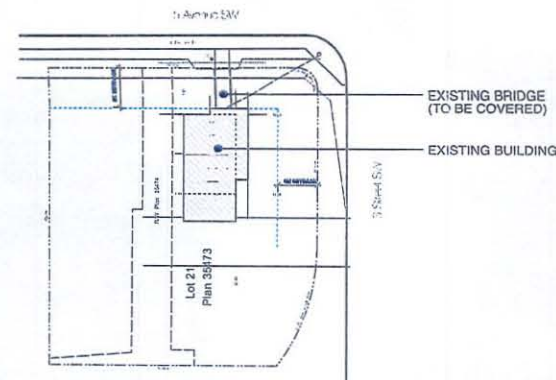




**PROPOSED NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED WEST ELEVATION**  
SCALE 1/4" = 1'-0"



**SITE PLAN** SCALE 1" = 10' (1:1200)

**PROJECT DATA**  
CIVIC ADDRESS: 541 - 3RD ST SW  
LEGAL DESCRIPTION: LOT 1, PLAN 35473, SEC 14, TP 20, R10, W6M, KD0Y  
PID 001-646-934  
ZONING: P3  
SITE AREA: APPROX. 19,000 SQ. FT. (0.176 HA)

NOT FOR  
CONSTRUCTION

DATE: 18 APR 2016  
VARIANCE APP: 18 APR 2016

DRAWN: BH + KB  
DATE: MARCH 10, 2016  
SCALE: AS NOTED



**BERND BIERMANSKI**  
**ARCHITECT**  
INCORPORATED  
48 - ALEXANDER ST. N.E.  
P.O. BOX 1434  
SALMON ARM, B.C. V1E 4P6  
TEL (250) 433 7400  
FAX (250) 433 7403  
E-MAIL: bernd@bieranski.com

PROJECT:  
SALMON ARM  
FOLK MUSIC SOCIETY  
Renovation to White  
House  
SALMON ARM B.C.

DRAWING TITLE:  
**PROPOSED  
COVERED  
BRIDGE**

DRAWING NO.  
**A1**  
variance  
OF  
1



Salmon Arm Folk Music Society  
Box 21 Salmon Arm, BC V1E 4N2  
e-mail: [info@rootsandblues.ca](mailto:info@rootsandblues.ca)  
website: [www.rootsandblues.ca](http://www.rootsandblues.ca)  
phone: 250-833-4096  
fax: 250-833-4097  
August 17, 18 and 19<sup>th</sup>, 2018

Sent March 2, 2018

March 1, 2018

Attn: Kevin Pearson  
Director of Development Services  
City of Salmon Arm  
Box 40  
500 2 Ave. NE  
Salmon Arm, BC V1E 4N2

RE: Bridge Cover Variance Request Letter (Re: VP-459)

This letter is written to acknowledge that the Salmon Arm Folk Music Society will remove, modify, and/or adjust the bridge/roof structure applied for under file #VP-459, to the City's satisfaction in the event the City decides to widen 5<sup>th</sup> Avenue SW.

The cost to change the structure will be the leaseholder's (Salmon Arm Folk Music Society) responsibility (if still leasing the property) and the City will not be responsible to provide financial support in the event the structure is deemed to impede the road widening.

The Salmon Arm Folk Music Society requests the City to provide written notice at least six months in advance to allow the organization time to properly plan for the structure to be removed and/or modified.

Please do not hesitate to contact myself if you require further information to help this matter proceed forward.

Thank you,

A handwritten signature in blue ink, appearing to read "David Gonella".

David Gonella  
Executive Director  
Salmon Arm Folk Music Society  
250-833-4096





Photo 1: Photo looking west at the subject property and markup of the proposed covered walkway structure.





*City of Salmon Arm*  
*Memorandum from the Engineering*  
*and Public Works Department*

To: Kevin Pearson, Director of Development Services  
Date: May 23, 2017  
Prepared by: Darin Gerow, Engineering Assistant  
SUBJECT: **DEVELOPMENT VARIANCE PERMIT APPLICATION NO. VP- 459E**  
LEGAL: Lot 1, Section 14, Township 20, Range 10 Plan EPP34573  
CIVIC: 541 – 3 Street SW  
Owner: Salmon Arm Folk Music Society, Box 21, Salmon Arm, BC, V1E 4N2  
Agent: Bernd Hermanski Architect Inc., Box 1438, Salmon Arm, BC, V1E 4P6

Further to your referral dated May 5, 2017, the Engineering Department has thoroughly reviewed the site and offers the following comments and recommendations, relative to the variances requested:

The applicant is requesting to vary City of Salmon Arm Zoning Bylaw No. 2303 as follows:

- 1) Reduce the front parcel setback from 6.0 metres to 0 metres.

Engineering Department has no objection to the proposed variance to reduce setbacks subject to the following considerations:

1. Runoff from the covered roof assembly shall not be directed onto City right-of-way.
2. Any roof support structures including footings shall be contained on private property.

Darin Gerow, ASCT  
Engineering Assistant

Rob Niewenhuizen, ASCT  
Director of Engineering & Public Works

THIS PAGE INTENTIONALLY LEFT BLANK

Item 21.2

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: Development Variance Permit No. VP-471 be authorized for issuance for Strata Lot 9, Section 18, Township 20, Range 9, W6M, KDYD, Strata Plan EPS2062 which will vary Mobile Home Park Bylaw No. 1435 as follows:

1. Section 4.06 – Site Coverage – increase the maximum site coverage from 35% to 38%.

[Development Variance Permit Application No. VP-471; Shmyr, J. & Weringer, J.; #27 – 481 Highway 97B NE; Site Coverage Variance]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond





*City of Salmon Arm*

*Development Services Department Memorandum*

TO: Her Worship Mayor Cooper and Members of Council

DATE: March 13, 2018

SUBJECT: Variance Permit Application No. VP-471 (Parcel Coverage)  
 Legal: Strata Lot 9, Section 18, Township 20, Range 9, W6M, KDYD, Strata Plan EPS2062  
 Civic Address: 27-481 Hwy 97B NE (Carriage Lane)  
 Owner/Applicant: Joe Shmyr and Joyce Weninger

**MOTION FOR CONSIDERATION**

**THAT:** Development Variance Permit No. VP-471 be authorized for issuance for Strata Lot 9, Section 18, Township 20, Range 9, W6M, KDYD, Strata Plan EPS2062 which will vary Mobile Home Park Bylaw No. 1435 as follows:

1. **Section 4.06 Site Coverage** – Increase the maximum site coverage from 35% to 38%.

**STAFF RECOMMENDATION**

**THAT:** The motion for consideration be adopted.

**PROPOSAL**

The subject property is located at 27-481 Hwy 97B NE in the Carriage Lane bare-land strata development (APPENDICES 1 and 2). The property is under permit for a modular home with attached garage. The applicants are requesting that the maximum site coverage be increased from 35% to 38% as outlined in the motion for consideration.

The site plan and proposed building layout are shown in APPENDIX 3.

**BACKGROUND**

The property is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-6 (Mobile Home Park) in the City's Zoning Bylaw. The property is completely within the ALR but within the Urban Containment Boundary. Carriage Lane is a phased bare-land strata development consisting of 30 bare-land strata lots. Adjacent land uses include the following:

North: Common Access Road / Mobile Home Park Residential (R-6)  
 South: Common Area / Mobile Home Park Residential (R-6)  
 East: Mobile Home Park Residential (R-6)  
 West: Mobile Home Park Residential (R-6)

COMMENTSFire Department

No concerns.

Building Department

No concerns.

Engineering Department

No concerns.

Planning Department

The R-6 zoning of the property dates back to 1977 and coincided with the Agricultural Land Commission's Non-Farm Use approval in 1979 for a mobile home park on the western portion of the original parcel at that time. The subject property is approximately 510 m<sup>2</sup> in area which is over the minimum lot size of 450 m<sup>2</sup> for a double wide modular home. The R-1 Single Family Residential Zone has the same minimum lot size requirement however allows for 45% parcel coverage. A previous variance (VP-210) was granted in 2002 for the Crystal Springs bare-land strata mobile home park development for lots 1 through 15. It permitted an increase in site coverage from 35% to 45%. Other similar variances have been granted for the Uplands and Willow Cove subdivisions and most recently (VP-438) for Lot 19 of Carriage Lane, which is three lots to the west, was granted in 2016 to allow for 40.2% lot coverage. Carriage Lane is approximately half built out at this time. The R-6 Zone itself does not have a maximum parcel coverage or minimum setback regulation; it defers to the Mobile Home Park Bylaw for those requirements. The Mobile Home Park Bylaw is old and when it was adopted, it did not contemplate double wide modular homes which essentially resemble single family dwellings. Single wide mobile homes within the older mobile home parks did not need high parcel coverage.

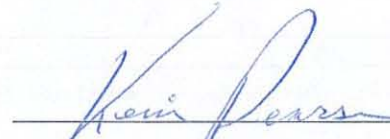
The requested variance is not anticipated to have any significant impact on the surrounding properties as all the required setbacks are being met and the site coverage is within the comparable provisions of the R-1 zone. In addition, it is consistent with previous approvals and with less than 45% total site coverage.

CONCLUSION

The requested variance to increase the maximum site coverage from 35% to 38% to accommodate the construction of a modular home with attached garage is recommended for approval by staff for the reasons noted above.

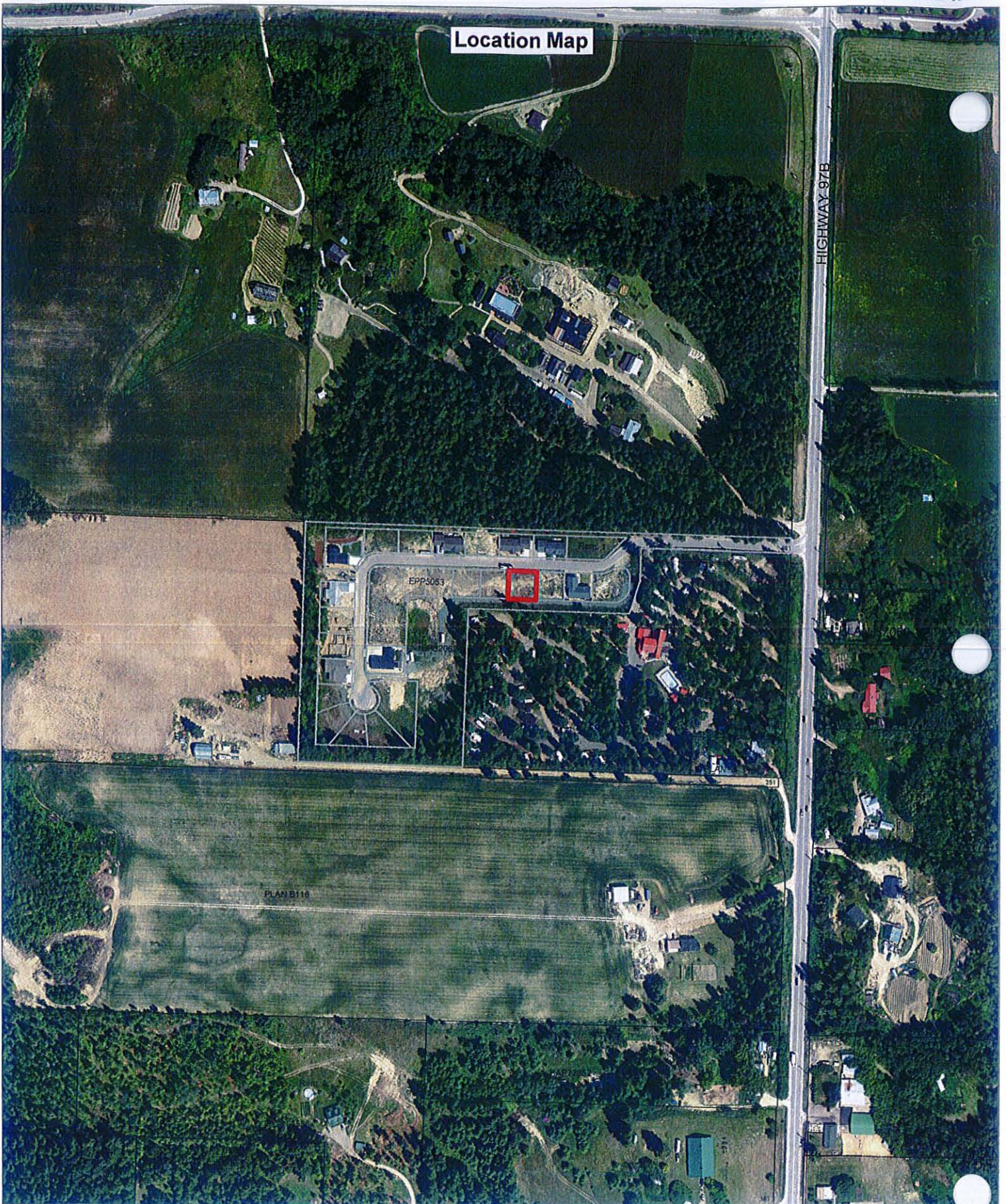


Prepared by: Wesley Miles, MCIP, RPP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services





0 40 80 120 160  
Meters



Subject Parcel



Orthophoto



0 5 10 15 20  
Meters



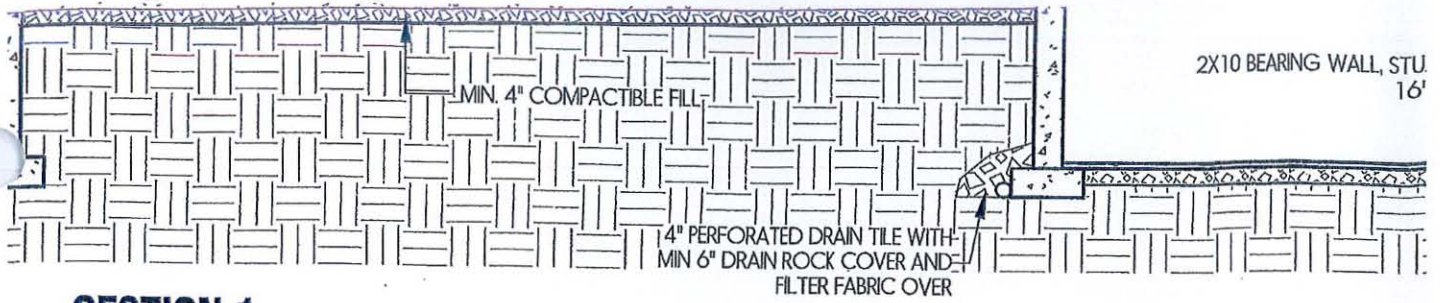
Subject Parcel



[illegible]

\* AUG. 2015 - SL.24 CHANGED TO SL.8





# SECTION 1

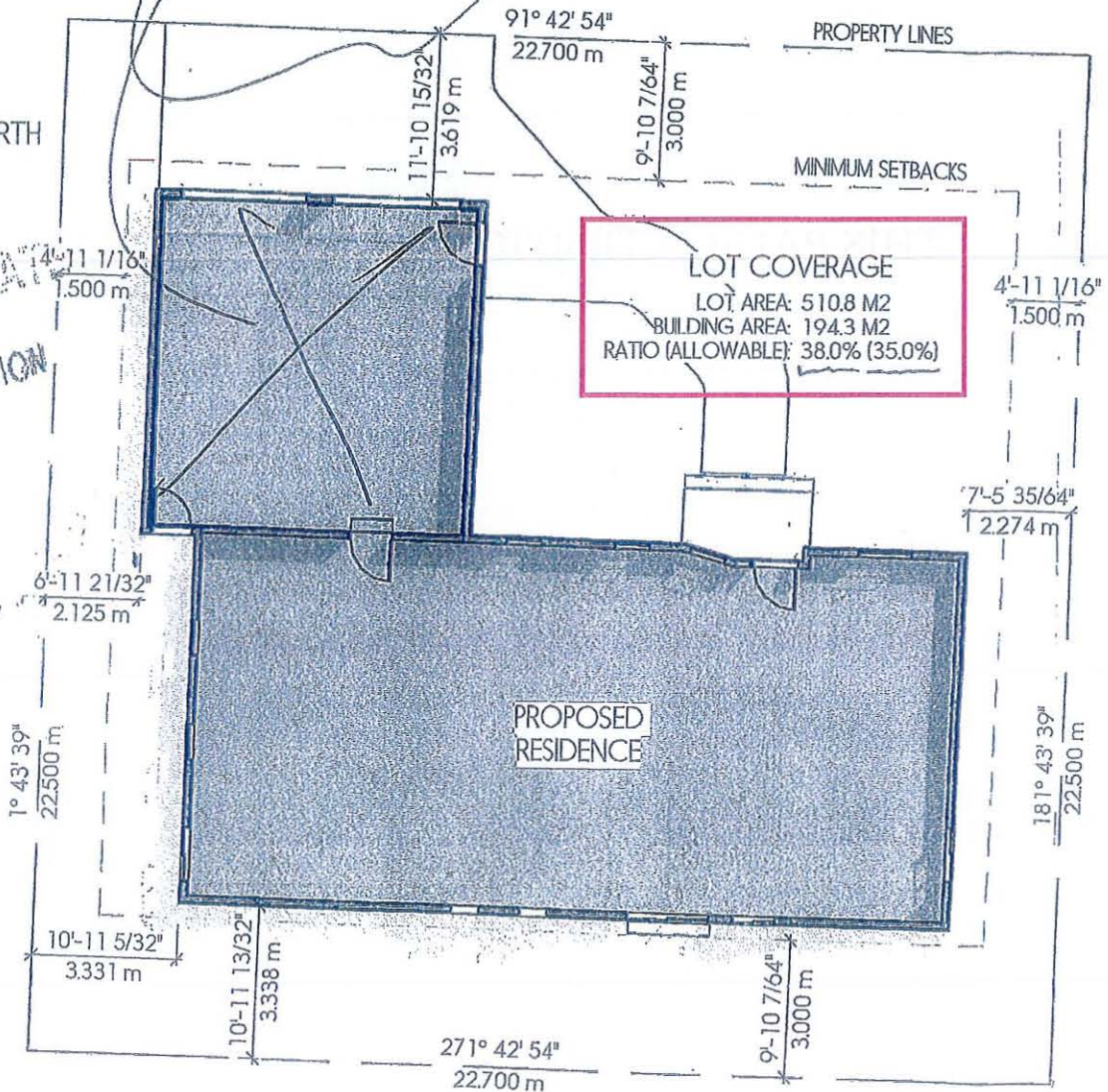
1/4" = 1'-0"

Requested Variance: to increase maximum parcel coverage from 35% to 38%

*Separate Permit Required.*

COMMON ACCESS

YOCATIFCARE  
REQUIRED FOR  
NDATION LOCATION



THIS PAGE INTENTIONALLY LEFT BLANK

Item 21.3

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: Development Variance Permit Application No. VP-468 be authorized for issuance for Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 which will vary the provisions of Zoning Bylaw No. 2303 as follows:

1. Section 4.12.1 (a) Fences and Retaining Walls - increase the maximum height of a fence in conjunction with retaining walls from 2.0 m to 4.2 m as shown on Meyer Designs Ltd. (File 2017-043) dated January 30, 2018, attached as Appendix 5 to the staff report dated February 22, 2018;
2. Section 14.6 Maximum Height of Accessory Buildings - increase the maximum height of an accessory building from 6.0 m to 8.7 m to allow for a new accessory building, as shown on Meyer Designs Ltd. (File 2017-043-A) dated December 5, 2017, attached as Appendix 5 to the staff report dated February 22, 2018.

[Development Variance Permit Application No. VP-468; Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 - 17 Street NE; Accessory Building and Retaining Wall Height]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond





City of Salmon Arm

Development Services Department Memorandum

TO: Her Worship Mayor Cooper and Members of Council

DATE: February 22, 2018

SUBJECT: Zoning Bylaw Amendment Application No. 1115 (R-9 to R-8)  
 Variance Permit Application No. VP-468 (Accessory Building and Retaining Wall Height)  
 Legal: Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035  
 Civic Address: 4431 – 17 Street NE  
 Owner: Dale and Renee Unruh  
 Agent: Hindbo Construction Group Inc.

**MOTION FOR CONSIDERATION**

THAT: Development Variance Permit No. VP-468 be authorized for issuance for Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 4.12.1 (a) Fences and Retaining Walls – increase the maximum height of a fence in conjunction with retaining walls from 2.0 m to 4.2 m as shown on Meyer Designs Ltd. dated January 30, 2018 (File No. 2017-043) and attached as APPENDIX 5.
2. Section 14.6 Maximum Height of Accessory Buildings – increase the maximum height of an accessory building from 6.0 m to 8.7 m to allow for a new accessory building, as shown on Meyer Designs Ltd. dated December 5, 2017 (File No. 2017-043-A) and attached as APPENDIX 5.

AND THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning proposed Lot B shown on the Subdivision Plan prepared by Brown Johnson Land Surveyors received January 19, 2018 (File No. 656 – 17) and attached as Schedule A from R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

**STAFF RECOMMENDATION**

THAT: The motion for consideration be adopted.

**PROPOSAL**

The subject property is located at 4431 – 17 Street NE (APPENDICES 1 and 2). The proposal is to rezone the parcel from R-9 (Estate Residential) to R-8 (Residential Suite) to allow for a detached suite to be constructed. The applicant is also requesting two variances, first to increase the maximum height of four retaining walls, ranging from 2.0 m to 4.2 m, and second to increase the maximum height of an accessory building from 6.0 m to 8.7 m to accommodate the proposed detached suite.

In addition, the applicant has applied for a boundary adjustment (File: 18.04). This is to accommodate construction of an upgraded driveway, retaining walls and garage addition.

The proposed subdivision plan, site layout and building elevations are attached as APPENDIX 5. A letter of rationale is attached as APPENDIX 6 and site photos are attached as APPENDIX 7.

### COMMENTS

#### Fire Department

No concerns.

#### Building Department

No concerns.

#### Engineering Department

No concerns.

#### Planning Department

The applicant is requesting to rezone the subject property in addition to requesting to variances to the Zoning Bylaw.

#### *Residential Suite Zone (R-8)*

The subject parcel is designated Low Density in the City's Official Community Plan (APPENDIX 3) and zoned R-9 (Estate Residential) in the Zoning Bylaw (APPENDIX 4). The area is largely comprised of R-7, R-9 and R-1 zoned parcels containing single family dwellings, however there are eight R-8 zoned properties within the Raven Hill subdivision area.

The applicant is requesting to rezone the subject property from R-9 to R-8 to allow for the construction of a detached suite. The proposed lot meets all the conditions of minimum parcel area and minimum parcel width as specified to permit a detached suite. The site has a number of options to accommodate the required additional parking stall.

#### *Fences and Retaining Walls*

The Zoning Bylaw allows the maximum height of a retaining wall to be 2.0 m in a residential zone. The design of the site shows four large retaining walls which vary in height and at one point all will be above the maximum. In addition, the retaining wall along the pool deck includes an estimated 1.2 m railing which brings its combined maximum height to 4.2 m. The purpose of the retaining walls is to support the construction of multiple structures on the sloping site, including a detached suite, pool, poolside cabana, and garage addition to the existing single family dwelling.

There are three properties directly adjacent to the west which may incur a visual impact from the proposed development. Currently there is limited buffering along the shared property line, and the initial site preparation is visible from the Lakeshore Road down slope.

#### *Height of Accessory Building*

The applicant is requesting an increase to the maximum height of an accessory building from 6.0 m to 8.7 m, for a variance of 2.7 m. In general terms, building height is measured from the mid-point of the lowest existing grade adjacent to the buildings foundation. For the proposed building, that existing grade point is measured vertically from where west facing foundation wall would be sited.

The height of the proposed building is 8.7 m; with most of the variance accounting for the raise in the grade and slope of the building site. The front elevation is roughly 4.2 m and gives the detached suite a

single story look from the 17 Street NE frontage. The accessory building is intended to be used as a detached suite if the associated zoning amendment is approved by Council. The structure would still be 1.2 m over the maximum permitted height of 7.5 m of a detached suite in the R-8 zone.

Staff is recommending approval in consideration of the following:

1. The proposal is a comprehensive residential development involving a number of structures on a significantly sloped lot. In general, an increased height to the accessory building (future detached suite) and identified retaining walls is reasonable due to site topography and scope of development.
2. The structures will be significantly outside the 6.0 m required rear yard setback however there is limited existing vegetation and mature trees acting as a visual buffer to the adjacent neighbours down slope to the west. The structures may result in some visual impacts to the neighbouring lots. There are no anticipated negative impacts on views from the surrounding properties upslope of the subject property.

### CONCLUSION

The requested zoning amendment to R-8 (Suite Residential) and the requested variance for height of an accessory building and fence/retaining walls is recommended for approval by staff for the above noted reasons.



Prepared by: Wesley Miles, MCIP, RPP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services





Location Map

0 50 100 150 200

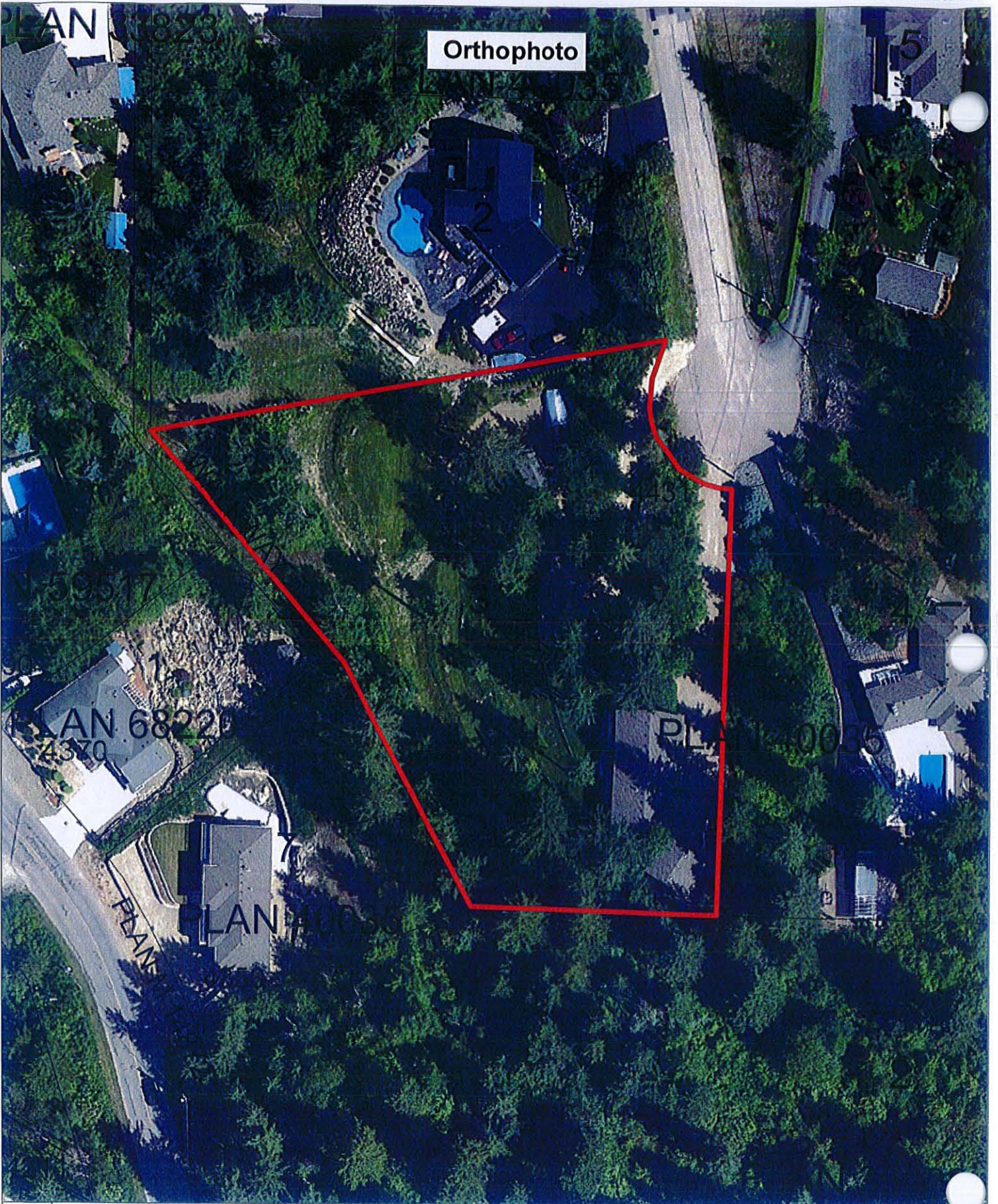
Meters



Subject Parcel



Orthophoto



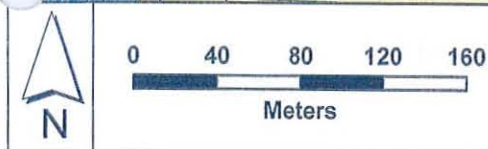
0 10 20 30 40  
Meters



Subject Parcel



Official Community Plan  
Land Use Designation



Subject Parcel



Residential Low Density

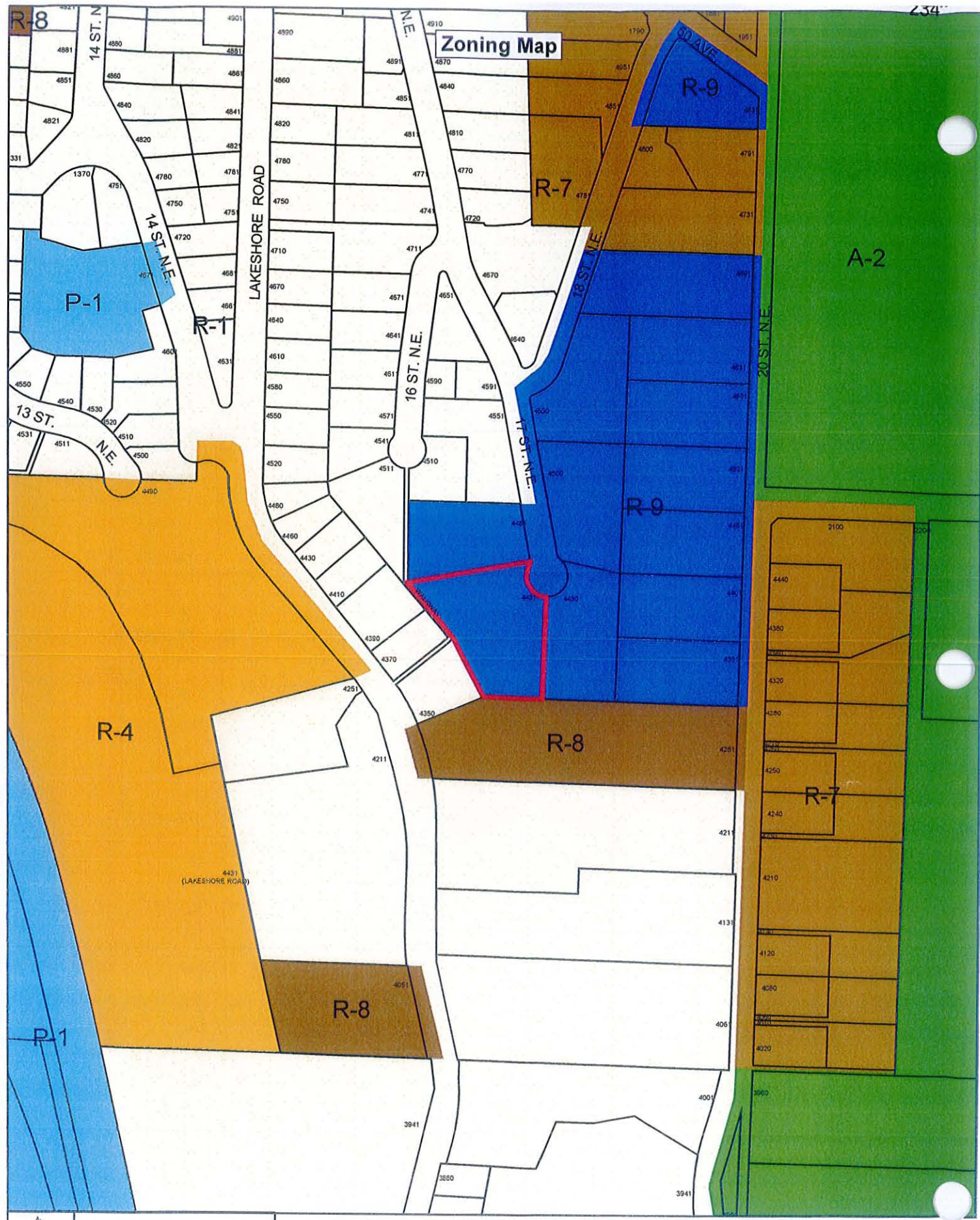


Acreage Reserve



Park





0 20 40 60 80 100  
Meters



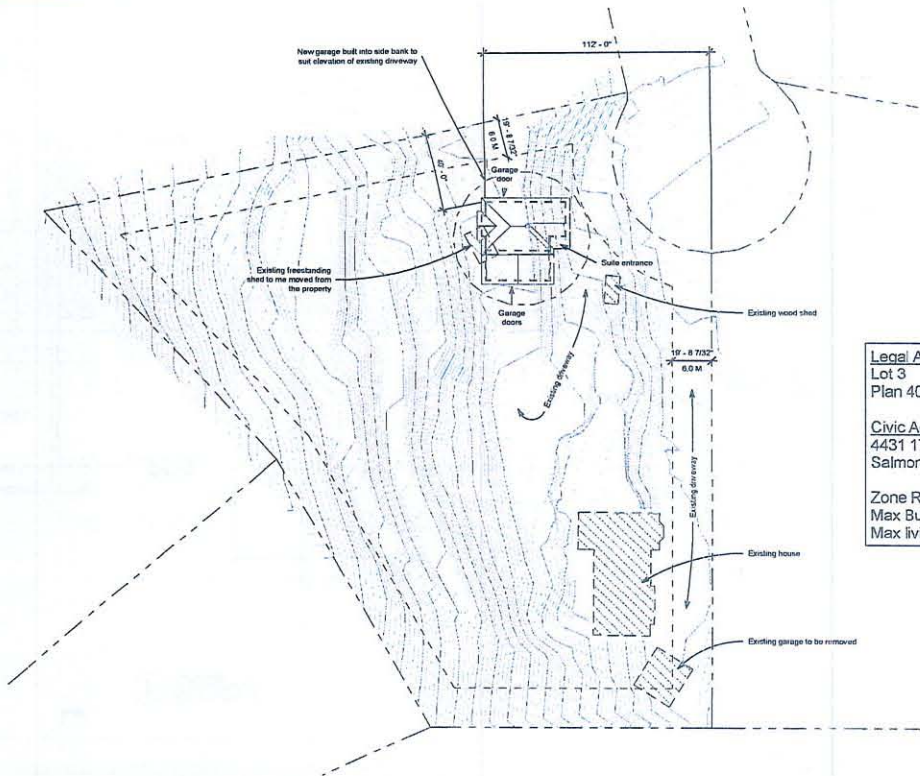
Subject Parcel

- Estate Residential
- Residential Suite
- Single Family Residential

- Park and Recreation
- Medium Family Residential
- Large Lot Residential



Drawing Index	
Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Floor Plans
3	Elevations
4	Sections and Details



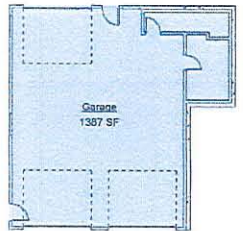
**Legal Address**  
Lot 3  
Plan 40035

**Civic Address**  
4431 17th Street NE  
Salmon Arm, BC

**Zone R8**  
Max Building Height 6.0m  
Max living space 968 SF



⑤ Upper Floor  
3/32" = 1'-0"



④ Main Floor  
3/32" = 1'-0"

① Site Plan  
1" = 30'-0"

This building must comply with thermal performance codes in part 9.36 of the British Columbia Building Code (BCBC 9.36)

This building is designed to use a heat recovery system (HRV)

**General Notes**

1. All construction shall be in compliance with the current residential standards of the Building Code of Canada, current electrical and plumbing codes and fire code and bylaws which may take precedence.

2. It shall be performed in all respects to good building practice.

3. Dimensions to be followed. Do not scale from the drawings.

4. Location to be verified by surveyor prior to construction. All foundations to be poured on undisturbed engineered building pad. All foundations, grades and levels to be verified on site before commencing construction.

**Foundations**

1. Foundations to be face of stud unless otherwise noted.

2. All foundations shall be designed and installed by a professional engineer.

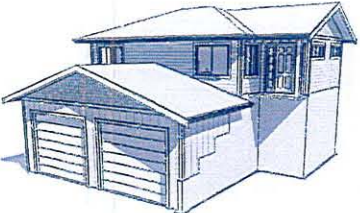
3. Foundations shall be designed and installed by a professional engineer.

4. Foundations shall be designed and installed by a professional engineer.

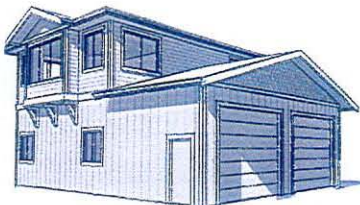
5. Foundations shall be designed and installed by a professional engineer.

- Thermal Performance**
- All new construction must conform to BCBC 9.36 thermal performance codes
- Plumbing, Electrical and Mechanical Systems**
- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
  - Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
  - All fixtures to be approved by the owner.
  - Heating and venting calculations and system design by engineer, supplier or qualified installer.
  - Electrical system to be designed and installed by qualified electrician
- Local Bylaws and Development Regulations**
- All construction shall be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water run off containment, water consumption, landscaping, etc.
  - Any changes required to these designs should be reported to Meyer Designs.
  - Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.
- Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor.
- Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and sub trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

## Proposed Residence for Dale and Renee Unruh



② South-East Perspective



③ South-West Perspective

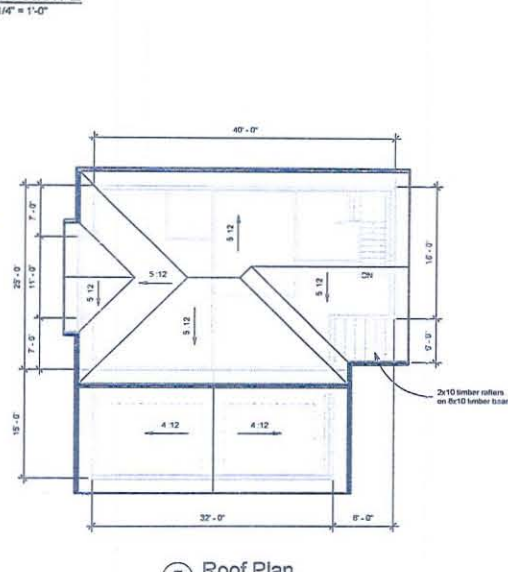
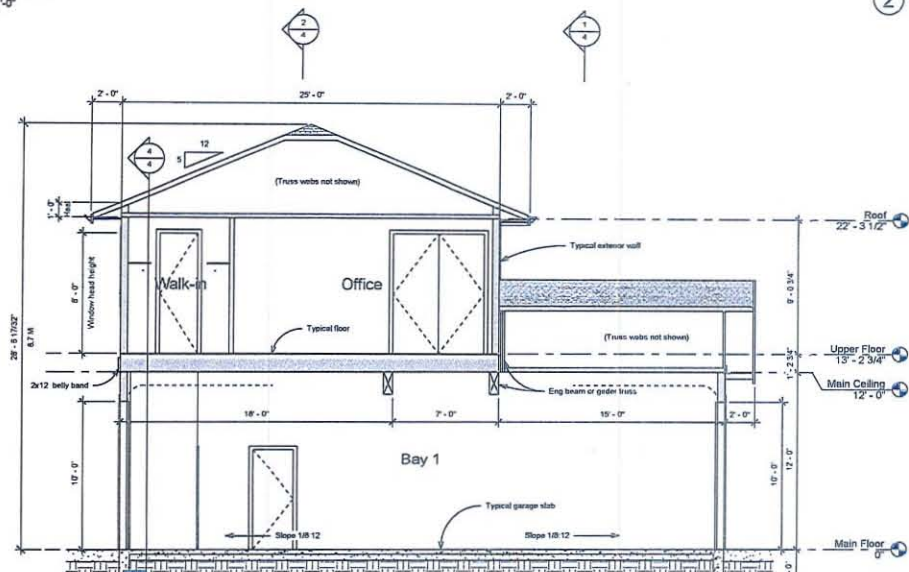
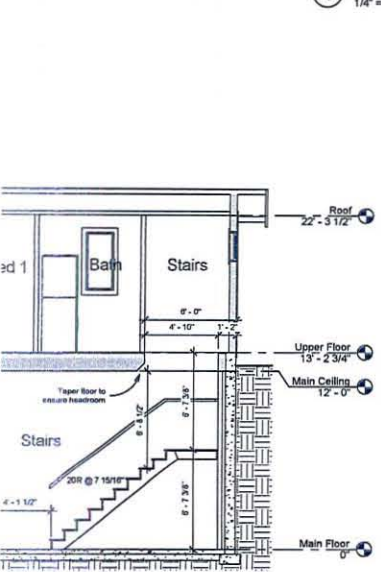
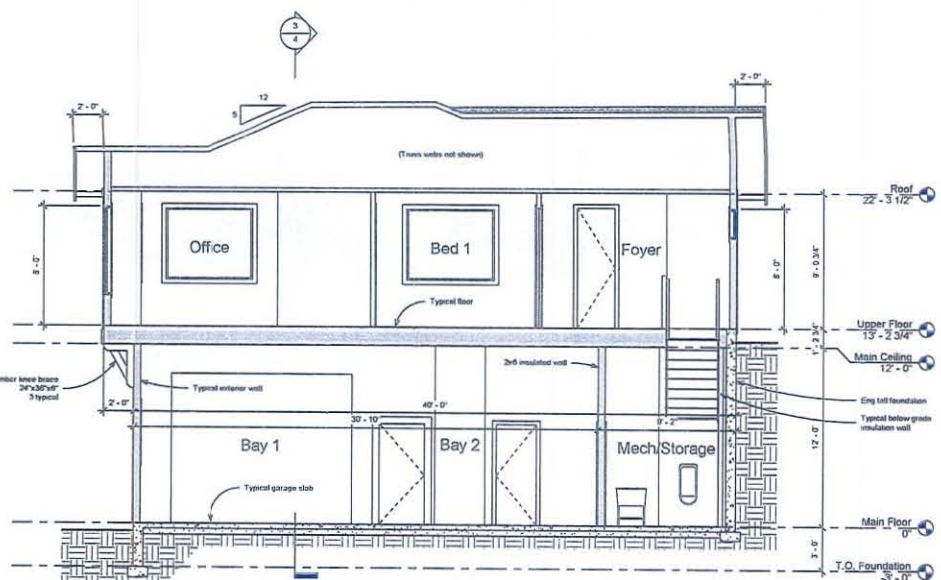
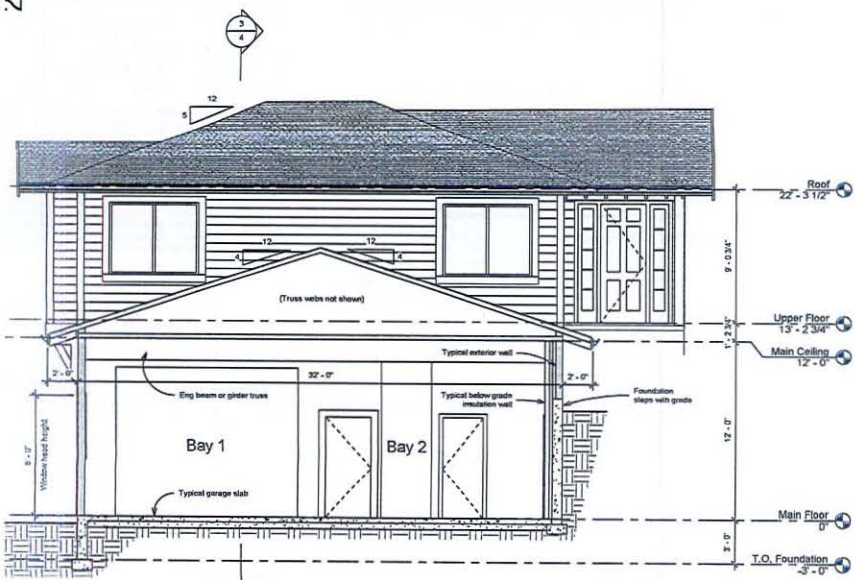
For Permit and Construction v1.1



### Cover Page and Site Plan

Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Meyer
Unruh Residence 4431, 17 street NE Salmon Arm, BC	1





Dimensions are to mid on exterior walls and to center or side of stud for interior walls.  
Interior doors, if not dimensioned, are 3" from the corner to RO or centered in the wall.

### Typical Floors

- Floor over heated space (warehouse and stairs)**
  - 3/4" big plywood (glued and screwed)
  - 1/4" big wood joists
  - Blocking as required by i-post supplier
  - 5/8" drywall
- Floor over unheated space (garage bays)**
  - 3/4" big plywood (glued and screwed)
  - 1/4" big wood joists
  - Blocking as required by i-post supplier
  - 1/4" wall insulation
  - 2 layers type X drywall
- Garage floor slab**
  - 4" finished concrete
  - Slope garage slabs towards door at 1/8" 12
  - Reinforcing per engineering
  - 6 mil poly
  - 5" compacted granular fill
- Patio slab (at front entry)**
  - 4" poured concrete
  - 10M bars 24" oc B/W
  - 8 mil poly
  - 5" compacted granular fill
  - Slope 1/8" 12 away from house

### Typical Walls

- Foundation wall**
  - Care foundation per engineering
  - Drainage to exterior grade line
  - Drain tile with slit screen around perimeter
  - Roof (R12) insulation on inside of foot walls
- Exterior wall**
  - Current board or wood shake finish
  - On building paper or building wrap
  - 1/2" drywall
  - 2x6 stud wall @ 24" oc
  - R20 wall insulation
  - 6 mil poly
  - 1/2" drywall
- Interior wall**
  - 2x4 stud wall @ 16" oc
  - 1/2" drywall both sides
- Basement insulation wall**
  - 2x4 stud wall @ 16" oc (plugged 6" from stud)
  - R20 wall insulation (1" min wrap)
  - 6 mil poly
  - 1/2" drywall

### Typical Roof

- Picture Roof Trusses**
  - Angular struts (Min 35 year)
  - Roof paper
  - 7/16" sheathing
  - Eng wood roof trusses @ 24" oc
  - 5/12 with 12" vent on upper roof
  - 4/12 with 10" vent on lower garage roof
  - R20 insulation at the eave on grade space includes garage
  - 6 mil poly
  - 5/8" drywall
- Soft Land Finish**
  - 2x10 wood joists on gable ends to match house
  - 2x8 wood joists
  - Ventil shutters split
  - 4x6" cant, aluminum gutters

This building must comply with thermal performance codes as per 9.26 of the British Columbia Building Code (BCBC 9.26)

This building is designed to use a heat recovery system (HRV)



**MEYER  
DESIGNS LTD**

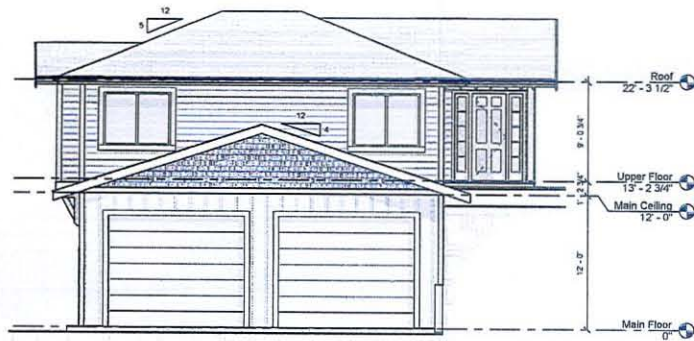
500 Mt Tod Drive  
Coldstream, BC  
V1B 3Y6

250-503-4579  
kelly@meyersdesigns.ca  
MeyerDesigns.ca

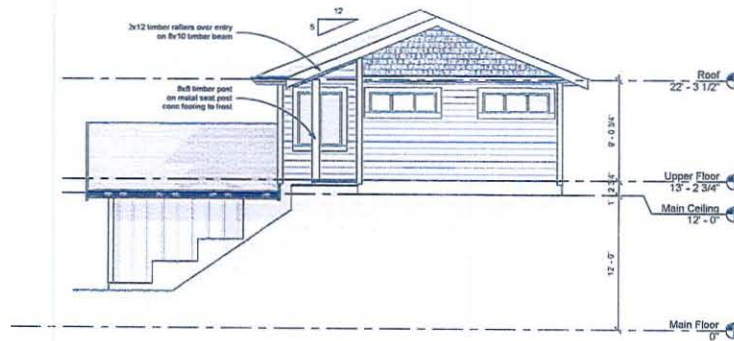
### Sections and Details

Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Meyer

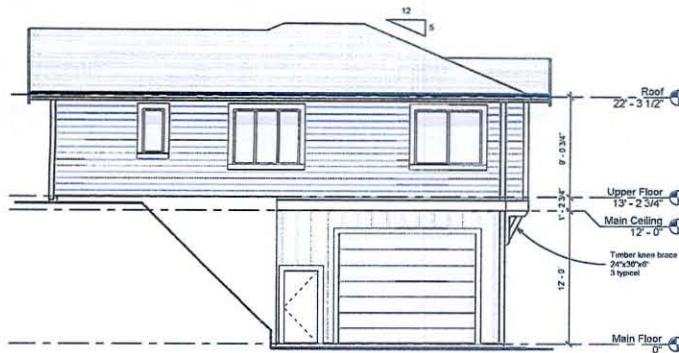
Unruh Residence  
4431, 17 street NE  
Salmon Arm, BC



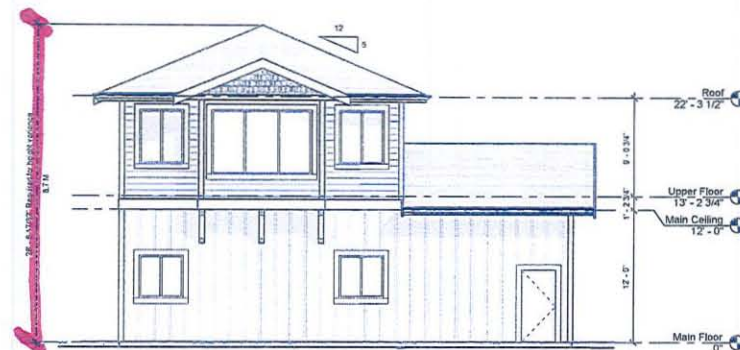
① Front Elevation *North*  
3/16" = 1'-0"



② Right Elevation *East*  
3/16" = 1'-0"



③ Rear Elevation *South*  
3/16" = 1'-0"



④ Left Elevation *West*  
3/16" = 1'-0"

**Height of Accessory Building = 8.7 m**

Dimensions are to start on exterior walls and to center or side of stud for interior walls.  
Interior doors, if not dimensioned, are 3" from the corner to RO or centered in the wall.

### Typical Cladding

**Horizontal Siding (Upper Floor)**  
Horizontal siding - 7" reveal  
1x6 wood trim on corners and windows and doors

**Shingles (in gable ends)**  
Wood shingles (staggered or straight)

**Vertical Board and Batten (Main Floor)**  
Smart panel with 1.5" vertical battens @ 16"o.c.

**Fascia**  
2x10 wood fascia on gable ends to match houses  
2x8 wood fascia over 5" rain gutters on flat edges

**Sealant**  
Vented aluminum to match gutters

### Windows and Door

All exterior door and window sizes, patterns, combinations, configurations and separations to be confirmed by window manufacturer to ensure NAFC (North American Fenestration Standard) compliance.  
What is shown on the plans is a representation of the look and feel intended by the designer.  
The type of window used and manufacturer specs may vary and therefore need to be confirmed prior to construction.



MEYER  
DESIGNS LTD  
600 Mt Tod Drive  
Coldstream, BC  
V1B 3Y6  
250-503-4579  
Kelly@MeyerDesigns.ca  
MeyerDesigns.ca

### Elevations

Project number 2017-043-A  
Date Dec 5, 2017  
Drawn by Kelly Meyer

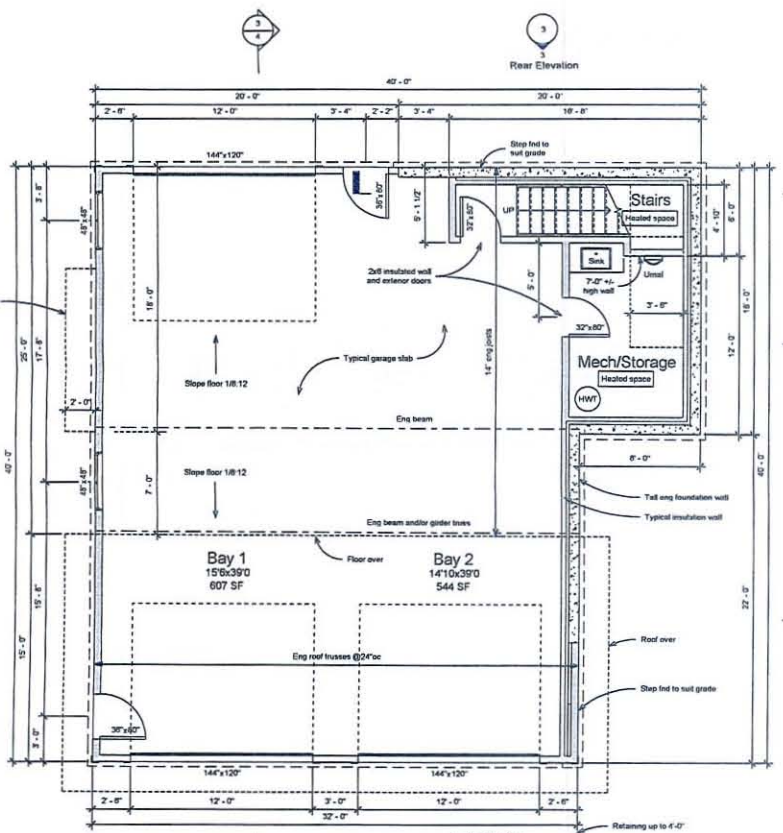
Unruh Residence  
4431, 17 street NE  
Salmon Arm, BC

**3**

**For Permit and Construction v1.1**



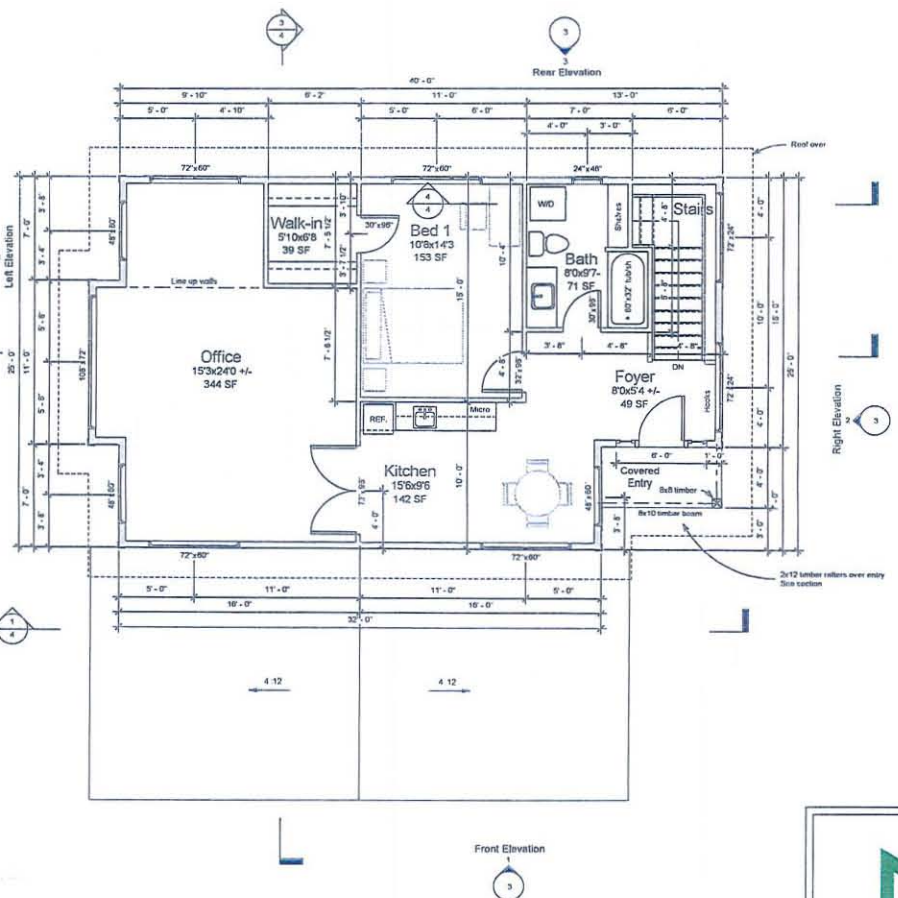
Dimensions are to stud on exterior walls and to center or side of stud for interior walls.  
 Interior doors, if not dimensioned, are 3" from the corner to R/O or centered in the wall.



① Main/Foundation Floor Plan  
 1/4" = 1'-0"

Door Schedule		
Room Name	Size	Comments
Main Floor		
Bay 1	14'4" x 12'0"	Overhead garage
Bay 1	14'4" x 12'0"	Overhead garage
Bay 1	36" x 80"	Exterior swing
Bay 2	14'4" x 12'0"	Overhead garage
Bay 2	36" x 80"	Exterior swing
Mech/Storage	32' x 80"	Exterior swing
Stairs	32' x 80"	Exterior swing
Upper Floor		
Bath	30' x 60"	Single swing interior
Bed 1	32' x 60"	Single swing interior
Bed 1	32' x 60"	Single swing interior
Foyer	30' x 60"	Front door unit
Office	72' x 60"	Double swing interior (locking)

Window Schedule			
Room	Size	Head Height	Comments
Main Floor			
Bay 1	45' x 48"	16'-0"	2x1 slider
Bay 1	45' x 48"	16'-0"	2x1 slider
Upper Floor			
Bath	24' x 48"	8'-0"	Operable
Bed 1	72' x 60"	8'-0"	3x1 slider (jalousie)
Foyer	72' x 24"	8'-0"	3x1 slider
Kitchen	48' x 60"	8'-0"	2x1 slider
Kitchen	72' x 60"	8'-0"	2x1 fixed
Office	48' x 60"	8'-0"	2x1 slider
Office	48' x 60"	8'-0"	2x1 slider
Office	72' x 60"	8'-0"	2x1 fixed
Office	72' x 60"	8'-0"	2x1 fixed
Office	108' x 72"	8'-0"	3x1 fixed
Stairs	72' x 24"	8'-0"	3x1 fixed
Grand total 13			



② Upper Floor Plan  
 1/4" = 1'-0"



600 Mt Tod Drive  
 Coldstream, BC  
 V1B 3Y6  
 250-503-4579  
 Kelly@MeyerDesigns.ca  
 MeyerDesigns.ca

Floor Plans

Project number 2017-043-A  
 Date Dec 5, 2017  
 Drawn by Kelly Meyer

Unruh Residence  
 4431, 17 street NE  
 Salmon Arm, BC

2

For Permit and Construction v1.1

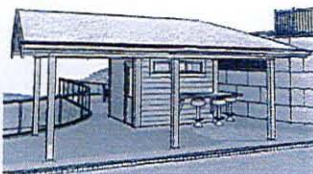


# Drawing Index

Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Pool Area Retaining Plans
3	Carriage House and Garage Addition Retaining
4	3 Bay Garage Addition



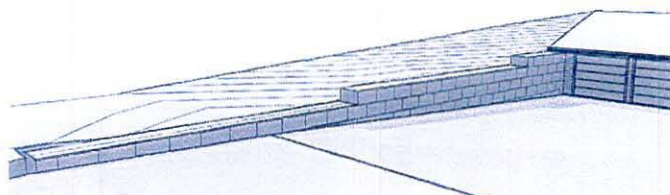
③ Carriage House - See Project 2017-043-A



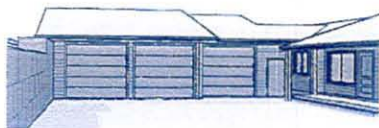
⑤ Poolside Cabana - See Project 2017-043-B



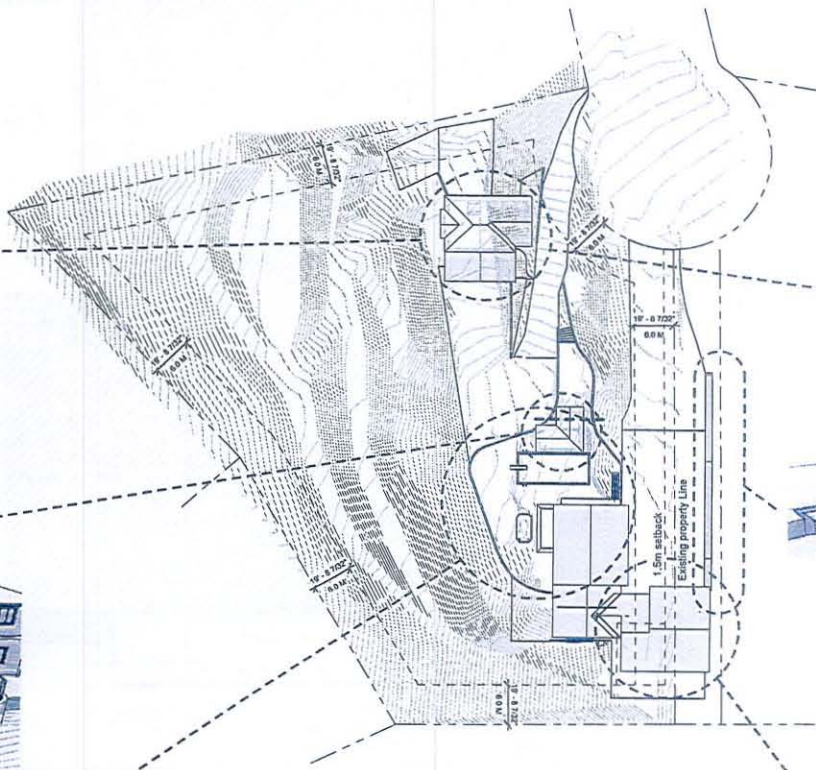
⑧ Carriage House (North) - See 2017-043-A



④ Garage Addition Retaining - See sheet 3



⑦ 3 Bay Garage Addition - See sheet 3



① Site Plan - Overall  
1" = 30'-0"

② Pool Deck Retaining - See sheet 2

## Notes

to be in compliance with the current residential standards of the Building Code of Canada, current electrical and plumbing codes and building code and bylaws which may take precedence.

all work shall be performed in all respects to good building practice and in accordance with the current building codes and bylaws.

location to be verified by surveyor prior to construction. foundations to be poured on undisturbed engineered building pad. dimensions, grades and levels to be verified on site before commencing construction.

**Foundations**  
foundations to face of stud unless otherwise noted. foundations to be confirmed with floor system supplier. and floor joist layout will be provided by the manufacturer. foundations shall be designed and installed by a professional engineer, and foundations to conform with engineering, soil conditions and codes. foundations to have a minimum compressive strength of 20mpa at 28 days. not backfill until floor structure is complete. foundations shown are for representation only. all drawings of each truss will be supplied by the truss supplier. spans more than 7'-0" shall be bridged at mid span using 2x2 bridging installed as per N.B.C. to be installed at all penetrations in roof system and changes in slope.

to be installed at all changes in horizontal exterior finishes and unprotected openings. Caulking to be installed around all unfinished openings.

## Thermal Performance

All new construction must conform to BCBC 9.36 thermal performance codes.

## Plumbing, Electrical and Mechanical Systems

- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
- Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
- All fixtures to be approved by the owner.
- Heating and venting calculations and system design by engineer, supplier or qualified installer.
- Electrical system to be designed and installed by qualified electrician.

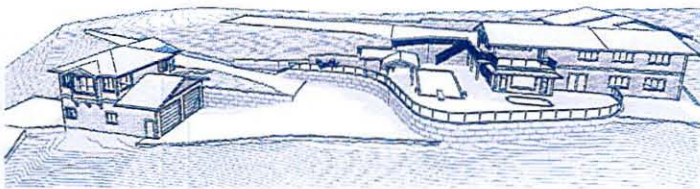
## Local Bylaws and Development Regulations

- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water runoff containment, water consumption, landscaping, etc.
- Any changes required to these designs should be reported to Meyer Designs.
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.

Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor.

Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and subcontractors to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

## Proposed Development for Dale and Renee Unruh



⑥ Site Perspective

**Legal Address**  
Lot 3  
Plan 40035

**Civic Address**  
4431 17th Street NE  
Salmon Arm, BC

Currently zoned R7

**Note**  
Application to move East property line and change to zone R8 is in progress



**MEYER**  
DESIGNS LTD.  
650 Mt Ted Drive  
Coldstream, BC  
V1B 3Y6

250-503-4579  
Kelly@MeyerDesigns.ca  
MeyerDesigns.ca

## Cover Page and Site Plan

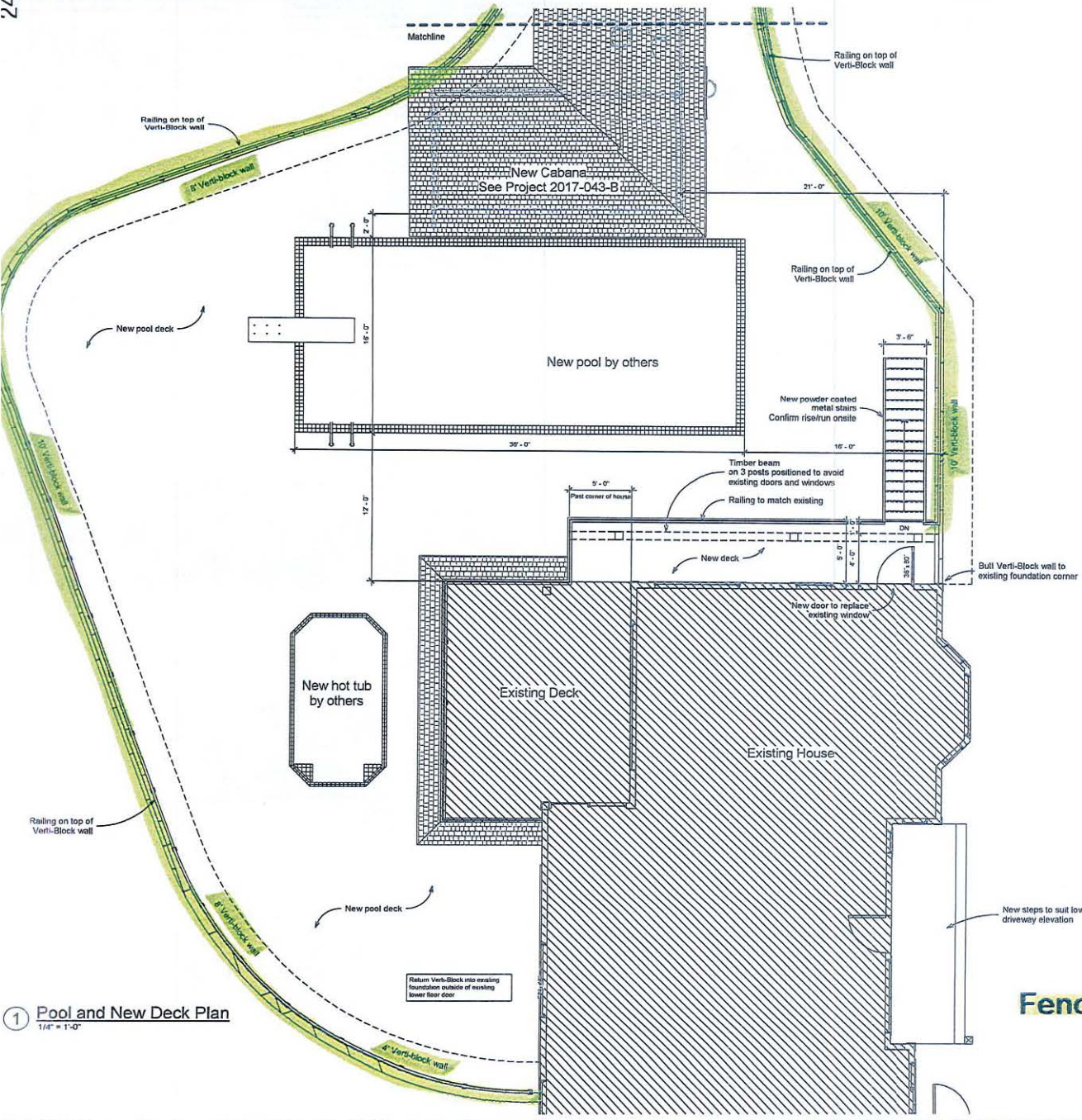
Project number: 2017-043  
Date: Jan 30, 2018  
Drawn by: Kelly Meyer

Unruh Residence  
4431 17th St NE  
Salmon Arm BC

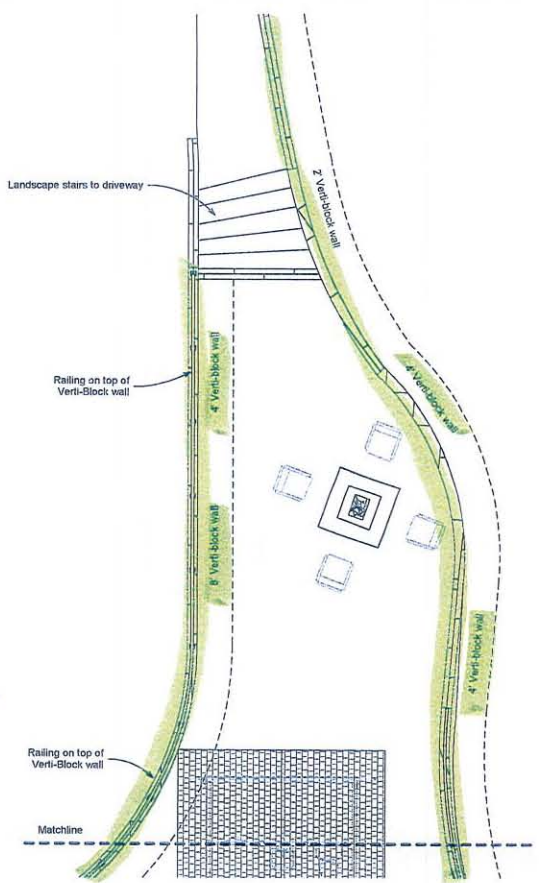
1

For Permit and Estimate v1.2





1 Pool and New Deck Plan  
1/4" = 1'-0"



2 Fire Pit Area  
1/4" = 1'-0"

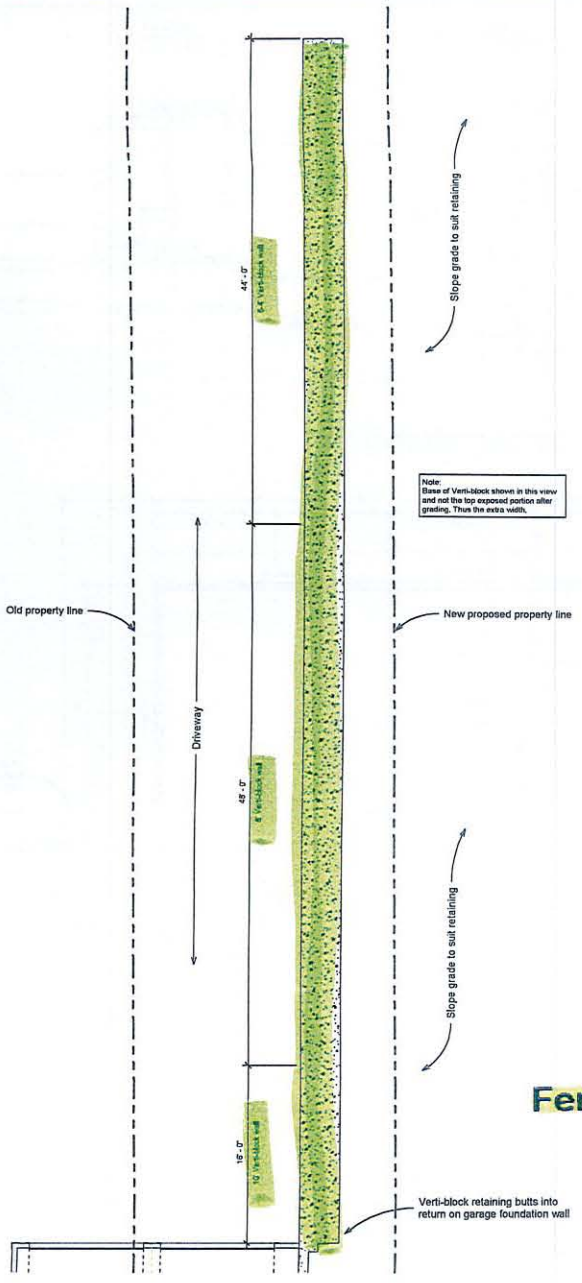
## Fences and Retaining Walls

For Permit and Estimate v1.2



Pool Area Retaining Plans	
Project number	2017-043
Date	Jan 30, 2018
Drawn by	Kelly Meyer
Urnuh Residence 4431 17th St NE Salmon Arm BC	

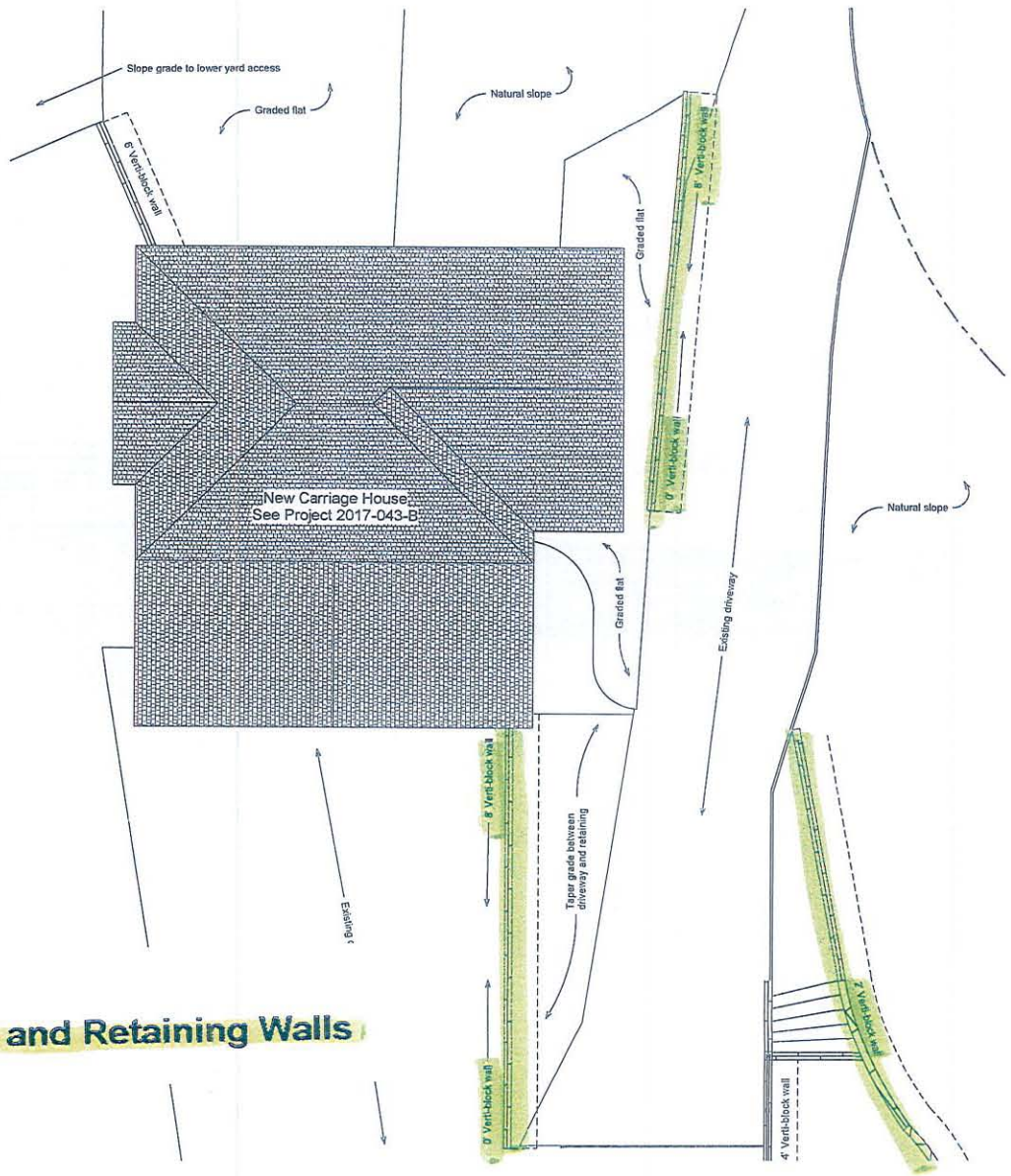




② Garage Addition Retain  
3/16" = 1'-0"

Note:  
Base of Verti-block shown in this view  
and not the top exposed portion after  
grading. Thus the extra width.

## Fences and Retaining Walls



① Carriage House Retaining Plan  
3/16" = 1'-0"

For Permit and Estimate v1.2



MEYER  
DESIGNS LTD  
600 Mt Todd Drive  
Caldstream, BC  
V1B 3Y6  
250-503-4579  
Kelly@MeyerDesigns.ca  
MeyerDesigns.ca

### Carriage House and Garage Addition Retaining

Project number 2017-043  
Date Jan 30, 2018  
Drawn by Kelly Meyer

Unruh Residence  
4431 17th St NE  
Salmon Arm BC

3

4

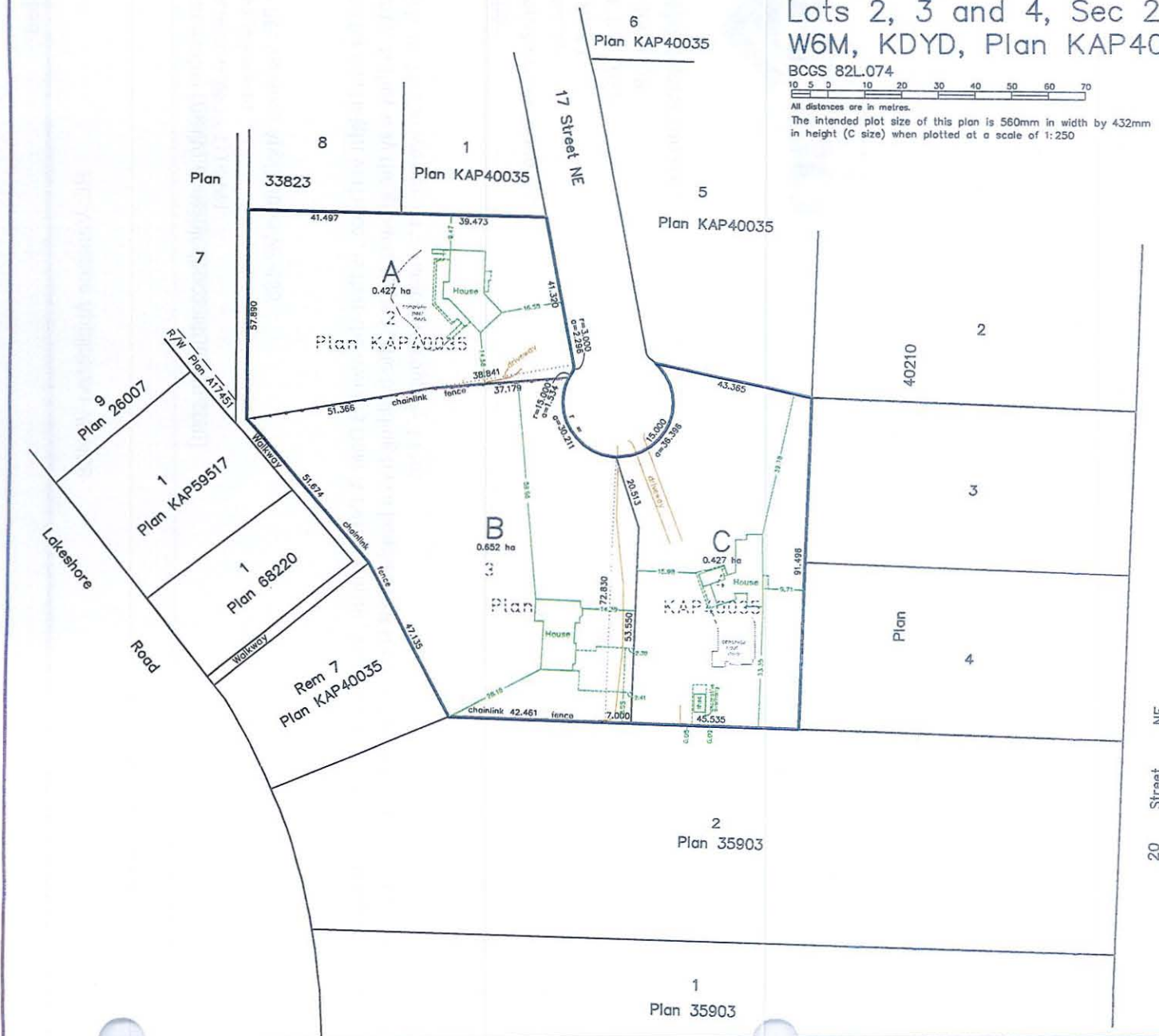


# Sketch Plan of Proposed Subdivision of Lots 2, 3 and 4, Sec 25, Tp 20, R 10, W6M, KDYD, Plan KAP40035

BCGS 82L.074

All distances are in metres.

The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:250



## LEGEND

edge of driveway  
boundary  
chainlink fence

December 19, 2017

BROWNE JOHNSON LAND SURVEYORS  
B.C. AND CANADA LANDS  
SALMON ARM, B.C. 250-832-9701  
File: 656-17 656-17.r



**Wes Miles**

---

**Subject:** RE: Variance Application VP-468

---

**From:** Don Hindbo [<mailto:don@hindboconstruction.com>]

**Sent:** November-28-17 1:14 PM

**To:** Denise Ackerman

**Subject:** RE: Variance Application VP-468

Denise

The reason for this Height variance , is that the owners Dale & Renee Unruh , have applied to build a cairrage home on the property , & they way the ground slopes , the building has a height of 28 ft 6.5 inches & the maximum allowed under R-8 is 24.6 ft , so we need a variance for roughly 4 feet

Thanks

Don Hindbo

Hindbo Construction Group Inc.

2691 13 ave sw

Salmon Arm B C

Office-250 832 1017

Cell- 250-804-3038

[don@hindboconstruction.com](mailto:don@hindboconstruction.com)





## APPENDIX 7



Photo 1: Photo looking west from 17 Street NE at the accessory building / future detached suite.



Photo 2: Photo looking south at the existing dwelling and driveway access.

THIS PAGE INTENTIONALLY LEFT BLANK



**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing in the Council Chambers of the City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, on **Monday, March 26, 2018 at 7:00 p.m.**

**1) Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning of Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 from R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).**

**Civic Address:** 4431 - 17 Street NE

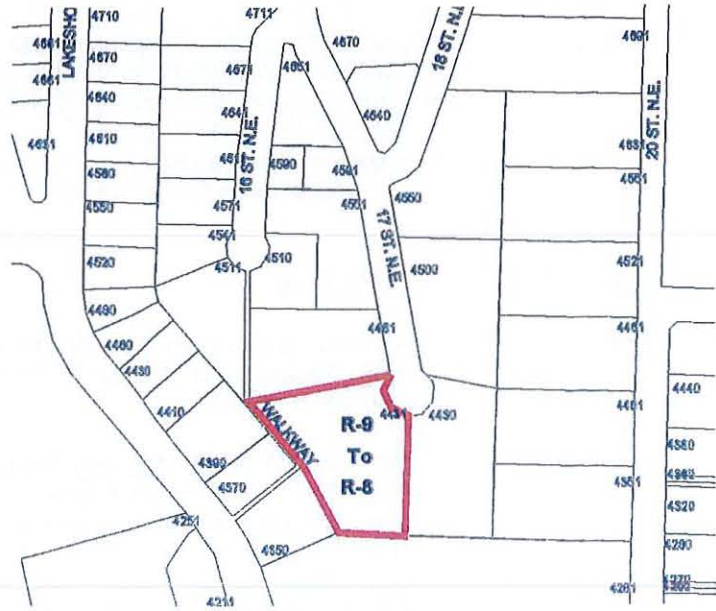
**Location:** East of Lakeshore Road NE  
and West of 20 Street NE

**Present Use:** Single family residential

**Proposed Use:** Single family  
residential with a detached suite

**Owner / Applicant:** D. & R. Unruh/  
Hindbo Construction Group Inc.

**Reference:** ZON-1115/ Bylaw No. 4250



The file for the proposed bylaw is available for inspection between the hours of 8:30 a.m. and 4:00 p.m., Monday through Friday, excluding holidays from March 13, 2018 to March 26, 2018, both inclusive, in the office of the Corporate Officer at the City of Salmon Arm, 500 - 2 Avenue NE.

Those who deem their interest affected by the proposed bylaw are urged to review the file available in the Development Services Department (or telephone 250-803-4021) to obtain the facts of the proposal prior to the Public Hearing.

Erin Jackson, Corporate Officer

Salmon Arm Observer: March 14 and March 21





City of Salmon Arm

Development Services Department Memorandum

TO: Her Worship Mayor Cooper and Members of Council

DATE: February 22, 2018

SUBJECT: Zoning Bylaw Amendment Application No. 1115 (R-9 to R-8)  
 Variance Permit Application No. VP-468 (Accessory Building and Retaining Wall Height)  
 Legal: Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035  
 Civic Address: 4431 – 17 Street NE  
 Owner: Dale and Renee Unruh  
 Agent: Hindbo Construction Group Inc.

MOTION FOR CONSIDERATION

THAT: Development Variance Permit No. VP-468 be authorized for issuance for Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 4.12.1 (a) Fences and Retaining Walls – increase the maximum height of a fence in conjunction with retaining walls from 2.0 m to 4.2 m as shown on Meyer Designs Ltd. dated January 30, 2018 (File No. 2017-043) and attached as APPENDIX 5.
2. Section 14.6 Maximum Height of Accessory Buildings – increase the maximum height of an accessory building from 6.0 m to 8.7 m to allow for a new accessory building, as shown on Meyer Designs Ltd. dated December 5, 2017 (File No. 2017-043-A) and attached as APPENDIX 5.

AND THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning proposed Lot B shown on the Subdivision Plan prepared by Brown Johnson Land Surveyors received January 19, 2018 (File No. 656 – 17) and attached as Schedule A from R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject property is located at 4431 – 17 Street NE (APPENDICES 1 and 2). The proposal is to rezone the parcel from R-9 (Estate Residential) to R-8 (Residential Suite) to allow for a detached suite to be constructed. The applicant is also requesting two variances, first to increase the maximum height of four retaining walls, ranging from 2.0 m to 4.2 m, and second to increase the maximum height of an accessory building from 6.0 m to 8.7 m to accommodate the proposed detached suite.

In addition, the applicant has applied for a boundary adjustment (File: 18.04). This is to accommodate construction of an upgraded driveway, retaining walls and garage addition.

The proposed subdivision plan, site layout and building elevations are attached as APPENDIX 5. A letter of rationale is attached as APPENDIX 6 and site photos are attached as APPENDIX 7.

## COMMENTS

### Fire Department

No concerns.

### Building Department

No concerns.

### Engineering Department

No concerns.

### Planning Department

The applicant is requesting to rezone the subject property in addition to requesting to variances to the Zoning Bylaw.

#### *Residential Suite Zone (R-8)*

The subject parcel is designated Low Density in the City's Official Community Plan (APPENDIX 3) and zoned R-9 (Estate Residential) in the Zoning Bylaw (APPENDIX 4). The area is largely comprised of R-7, R-9 and R-1 zoned parcels containing single family dwellings, however there are eight R-8 zoned properties within the Raven Hill subdivision area.

The applicant is requesting to rezone the subject property from R-9 to R-8 to allow for the construction of a detached suite. The proposed lot meets all the conditions of minimum parcel area and minimum parcel width as specified to permit a detached suite. The site has a number of options to accommodate the required additional parking stall.

#### *Fences and Retaining Walls*

The Zoning Bylaw allows the maximum height of a retaining wall to be 2.0 m in a residential zone. The design of the site shows four large retaining walls which vary in height and at one point all will be above the maximum. In addition, the retaining wall along the pool deck includes an estimated 1.2 m railing which brings its combined maximum height to 4.2 m. The purpose of the retaining walls is to support the construction of multiple structures on the sloping site, including a detached suite, pool, poolside cabana, and garage addition to the existing single family dwelling.

There are three properties directly adjacent to the west which may incur a visual impact from the proposed development. Currently there is limited buffering along the shared property line, and the initial site preparation is visible from the Lakeshore Road down slope.

#### *Height of Accessory Building*

The applicant is requesting an increase to the maximum height of an accessory building from 6.0 m to 8.7 m, for a variance of 2.7 m. In general terms, building height is measured from the mid-point of the lowest existing grade adjacent to the buildings foundation. For the proposed building, that existing grade point is measured vertically from where west facing foundation wall would be sited.

The height of the proposed building is 8.7 m; with most of the variance accounting for the raise in the grade and slope of the building site. The front elevation is roughly 4.2 m and gives the detached suite a

single story look from the 17 Street NE frontage. The accessory building is intended to be used as a detached suite if the associated zoning amendment is approved by Council. The structure would still be 1.2 m over the maximum permitted height of 7.5 m of a detached suite in the R-8 zone.

Staff is recommending approval in consideration of the following:

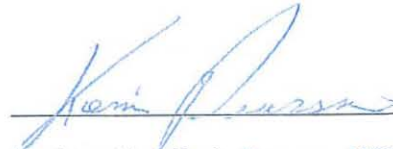
1. The proposal is a comprehensive residential development involving a number of structures on a significantly sloped lot. In general, an increased height to the accessory building (future detached suite) and identified retaining walls is reasonable due to site topography and scope of development.
2. The structures will be significantly outside the 6.0 m required rear yard setback however there is limited existing vegetation and mature trees acting as a visual buffer to the adjacent neighbours down slope to the west. The structures may result in some visual impacts to the neighbouring lots. There are no anticipated negative impacts on views from the surrounding properties upslope of the subject property.

### CONCLUSION

The requested zoning amendment to R-8 (Suite Residential) and the requested variance for height of an accessory building and fence/retaining walls is recommended for approval by staff for the above noted reasons.



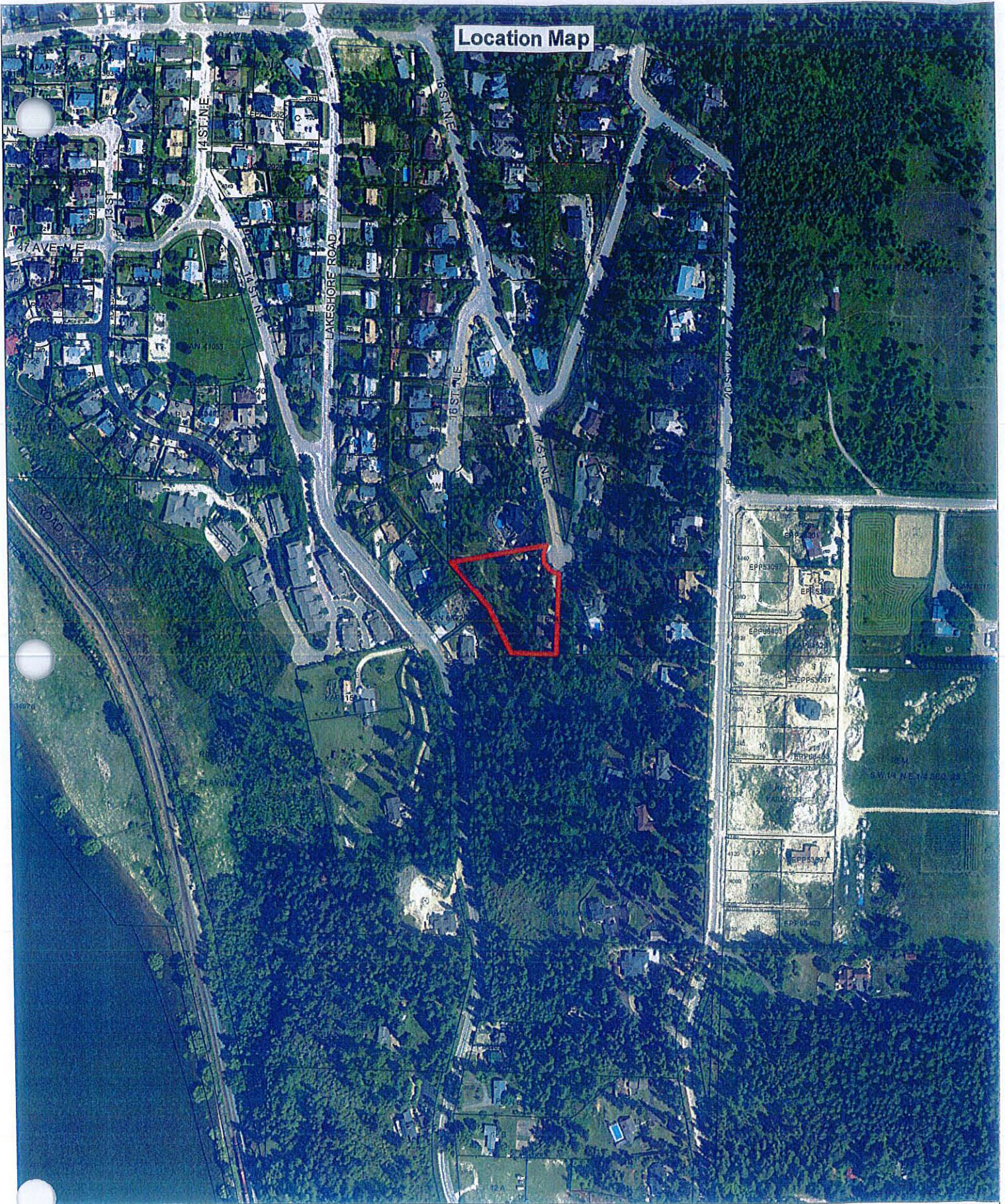
Prepared by: Wesley Miles, MCIP, RPP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



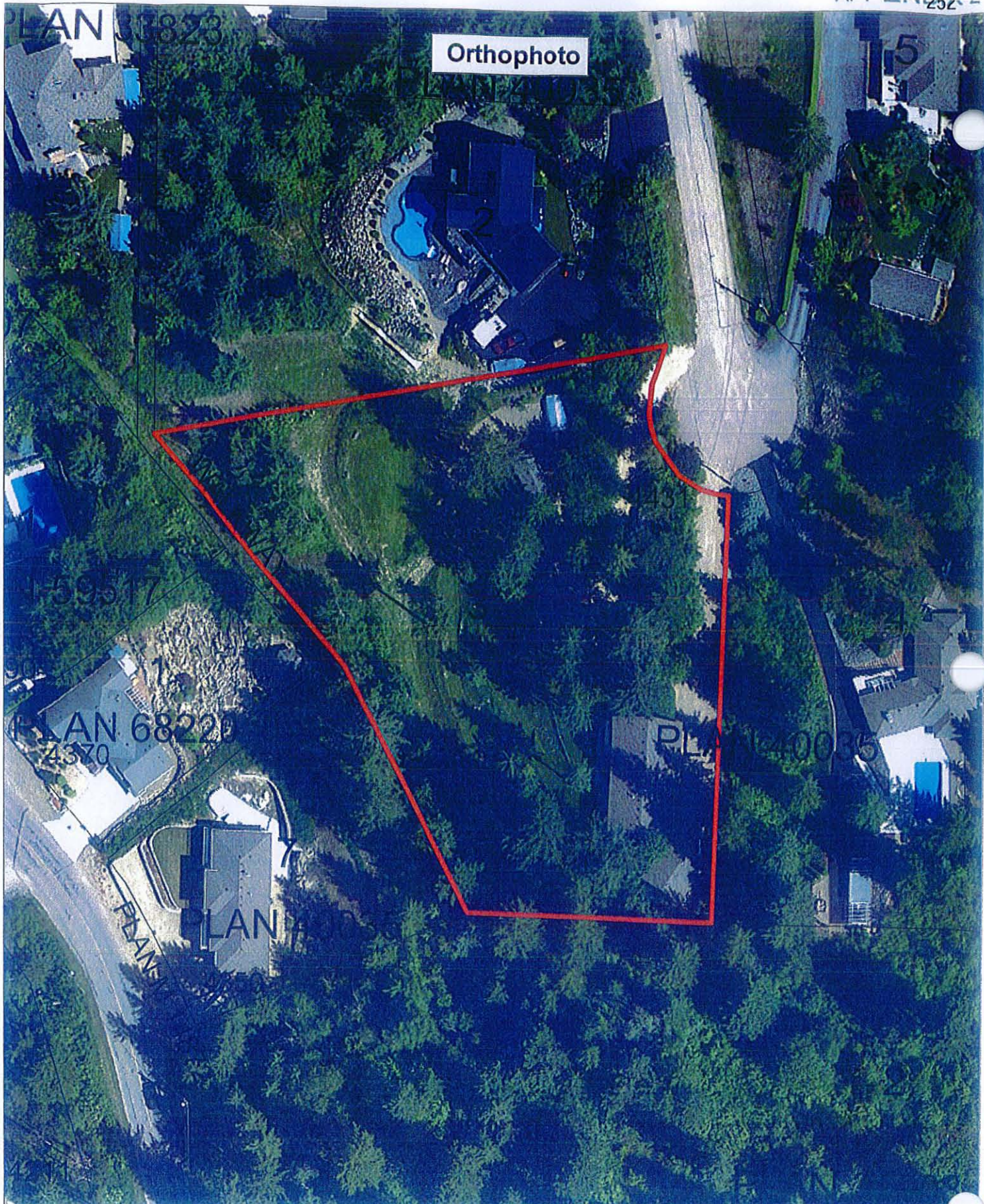
Location Map



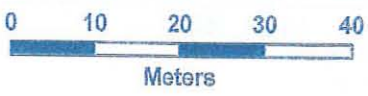
0 50 100 150 200  
Meters

 Subject Parcel





Orthophoto



 Subject Parcel



Official Community Plan  
Land Use Designation



Subject Parcel



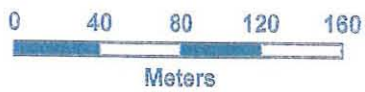
Acreage Reserve



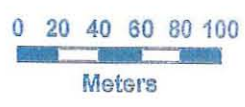
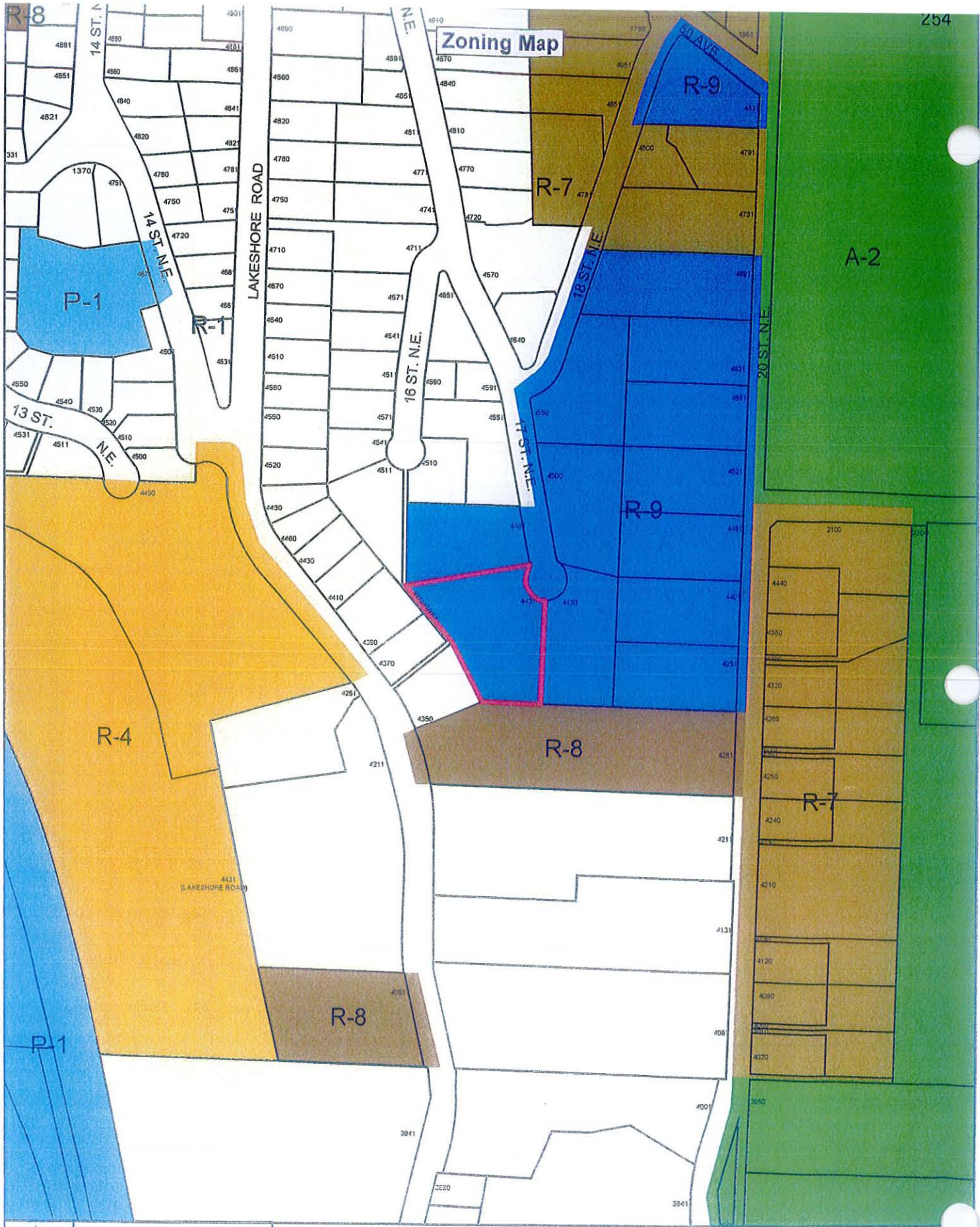
Residential Low Density



Park







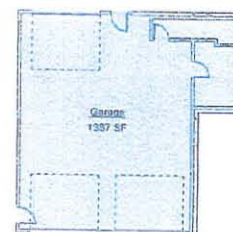
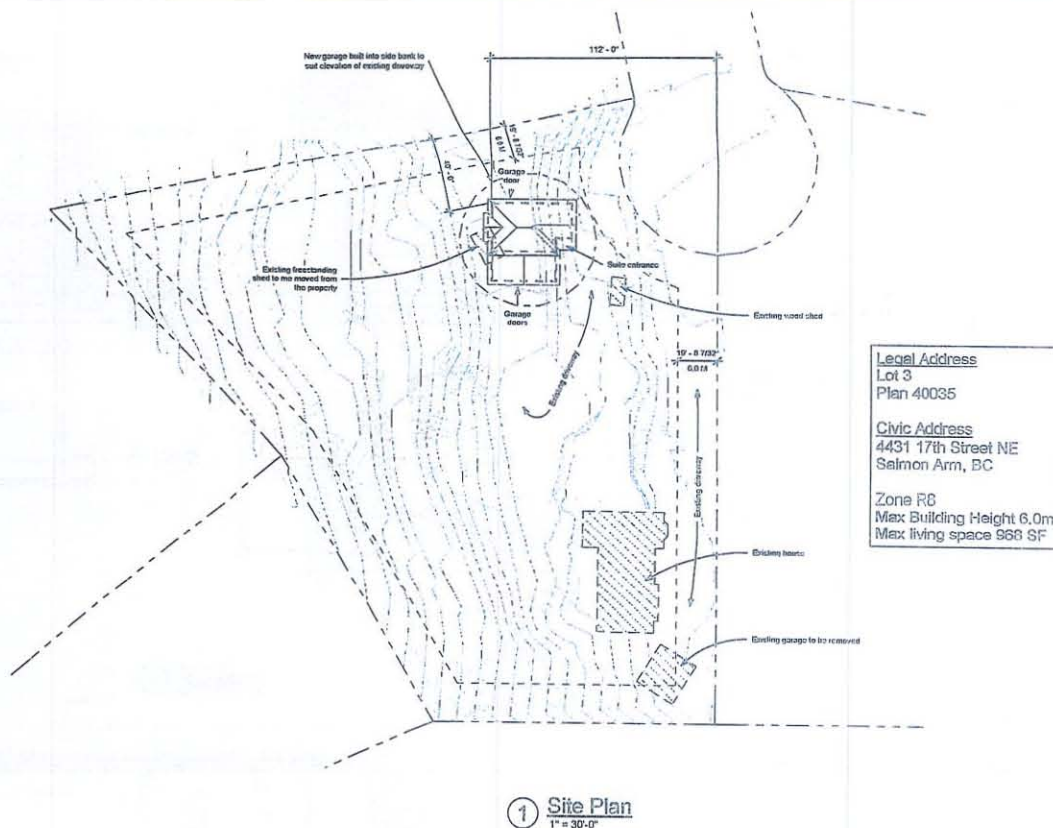
Subject Parcel

- |                           |                           |
|---------------------------|---------------------------|
| Estate Residential        | Park and Recreation       |
| Residential Suite         | Medium Family Residential |
| Single Family Residential | Large Lot Residential     |



# Drawing Index

Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Floor Plans
3	Sections
4	Details and Details



This building must comply with the current building code of the City of Salmon Arm (BCBC 6.33).

This building is designed to use a heat recovery system (HRV).

## Notes

1. Compliance with the current residential standards of the City of Salmon Arm, current electrical and plumbing codes and all applicable bylaws which may take precedence.

2. Performance in all respects to good building practice.

3. Drawings to be followed. Do not scale from the drawings.

4. All construction to be verified by surveyor prior to construction. To be placed on undisturbed engineered building pad. All foundations to be verified on site before construction.

5. Foundations to be verified by surveyor prior to construction. To be placed on undisturbed engineered building pad. All foundations to be verified on site before construction.

6. Foundations to be verified by surveyor prior to construction. To be placed on undisturbed engineered building pad. All foundations to be verified on site before construction.

7. Foundations to be verified by surveyor prior to construction. To be placed on undisturbed engineered building pad. All foundations to be verified on site before construction.

## Thermal Performance

- All new construction must conform to BCBC 6.36 thermal performance codes.

## Plumbing, Electrical and Mechanical Systems

- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
- Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
- All fixtures to be approved by the owner.
- Heating and venting calculations and system design by engineer, supplier or qualified installer.
- Electrical system to be designed and installed by qualified electrician.

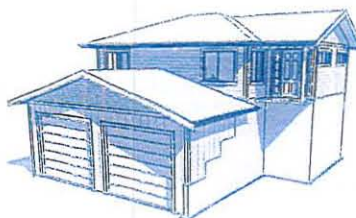
## Local Bylaws and Development Regulations

- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water run off containment, water consumption, landscaping, etc.
- Any changes required to these designs should be reported to Meyer Designs.
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.

Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor.

Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and sub trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

## Proposed Residence for Dale and Renee Unruh



For Permit and Construction v1.1



600 Mt Todd Drive  
Caldwell, BC  
V1B 3Y6  
250-503-4579  
kelly@meeyardesigns.ca  
MeyerDesigns.ca

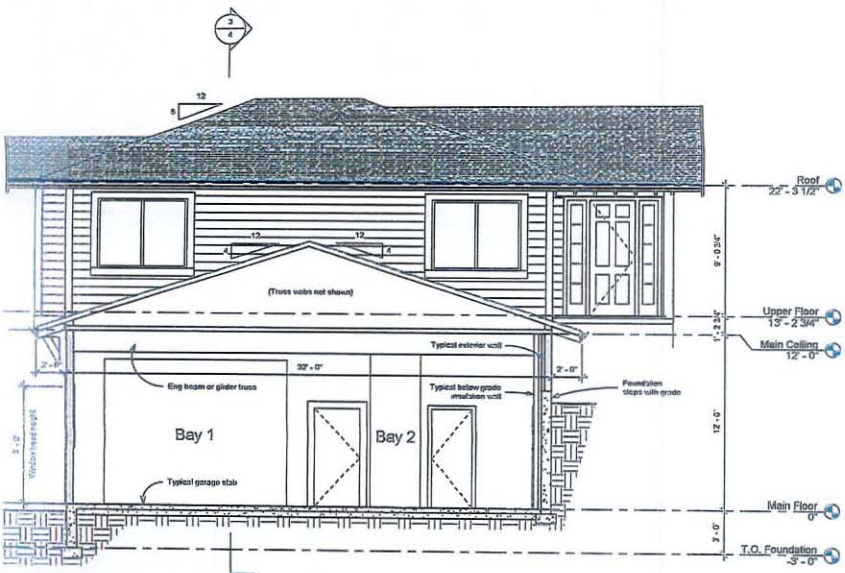
## Cover Page and Site Plan

Project number: 2017-013-A  
Date: Dec 5, 2017  
Drawn by: Kelly Meyer

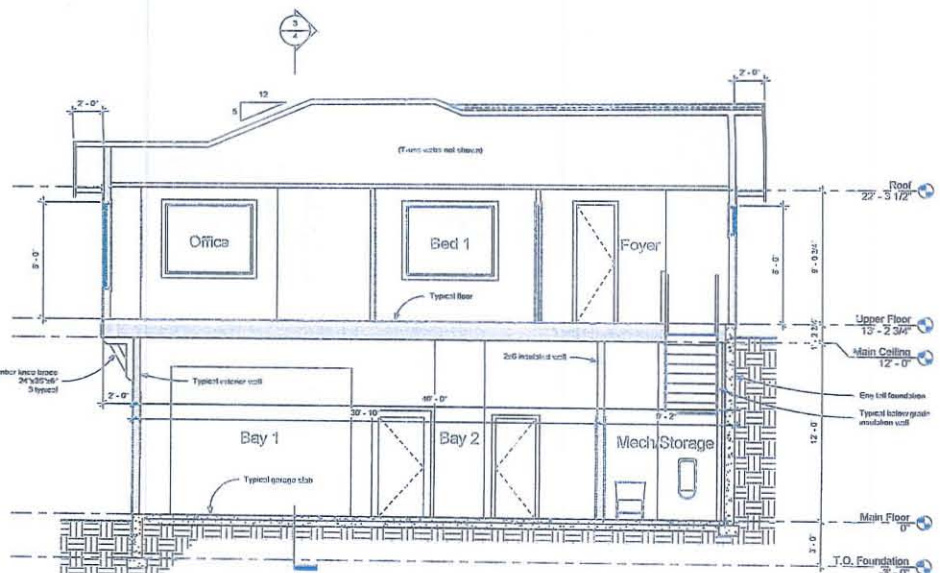
Unruh Residence  
4431, 17th Street NE  
Salmon Arm, BC

1

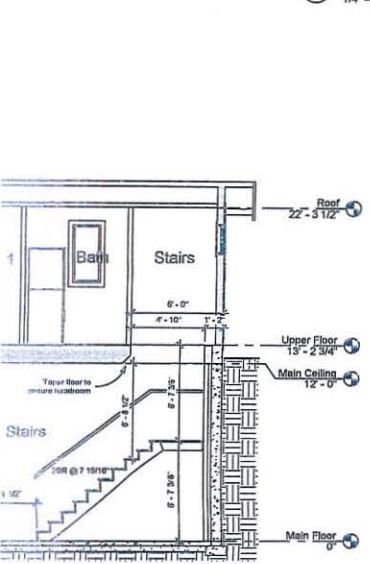




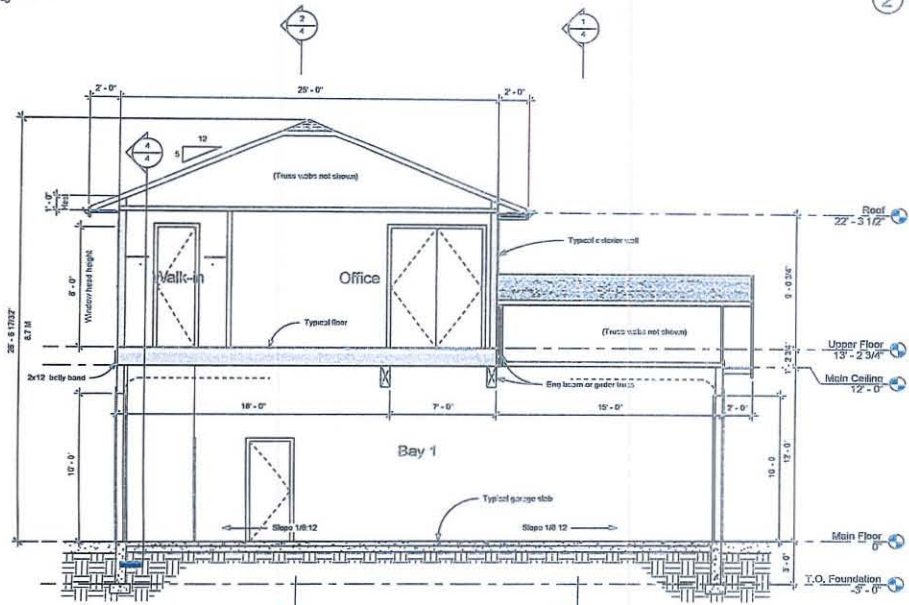
① Section 1  
1/4" = 1'-0"



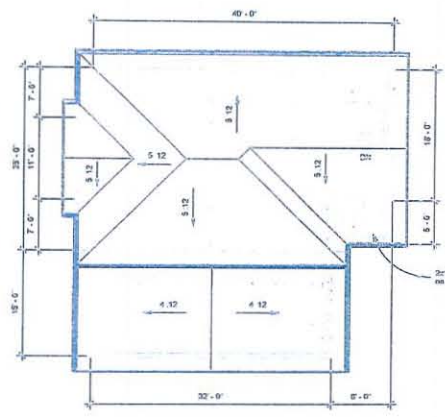
② Section 2  
1/4" = 1'-0"



④ Section 3  
1/4" = 1'-0"



③ Section A  
1/4" = 1'-0"



⑤ Roof Plan  
1/8" = 1'-0"

Overdoors are to start on exterior walls and to extend to side of stud for interior walls.  
Interior doors, if not dimensioned, are 3" from the center to RO or centered in bay wall.

### Typical Floors

Clear over finished ranges (wooden and steel)  
5/8" dry physical (gypsum and concrete)  
1/4" dry wood joists  
Flooring as required by local supplier  
5/8" drywall

Clear over unfinished ranges (wooden and steel)  
5/8" dry physical (gypsum and concrete)  
1/4" dry wood joists  
Flooring as required by local supplier  
5/8" drywall

Garage floor slab  
4" finished concrete  
Slope garage slabs towards door at 1/8" 12"  
Reinforcing per engineering  
6 mil poly  
5" compacted granular fill

Patio slab (if foot entry)  
4" finished concrete  
1000 bars 24" on BW  
6 mil poly  
5" compacted granular fill  
Slope 1/8" 12" away from house

### Typical Walls

Foundation wall  
Clear foundation per engineering  
Disappearing to exterior grade line  
Down 6" with 1/8" screen mesh reinforcement  
Rebar #12 @ 12" on center on inside of foot walls

Interior wall  
Clear finish or wood shiplap finish  
On building paper or building wrap  
1/2" plywood  
2x4 stud wall @ 24" on center  
6 mil poly  
1/2" drywall

Exterior wall  
2x4 stud wall @ 16" on center  
1/2" drywall both sides

Interior finish foundation wall  
4" on building paper or building wrap  
2" on space  
2x4 stud wall @ 16" on center (aligned 6" from corner)  
6 mil poly  
1/2" drywall

### Typical Roof

Roofing (Steel Trusses)  
Asph/Flt Shingles (Min 30 year)  
Roof paper  
2x10" sheathing  
King wood roof trusses @ 24" on center  
5/12 with 1/2" lead on upper roof  
4/12 with 1/2" lead on lower garage roof  
R15 insulation after ceiling on inside space includes  
ceiling  
6 mil poly  
5/8" drywall

Trusses and Joists  
2x10 wood truss on gable ends to match house  
2x10 wood truss  
Wooden aluminum rafters  
6x10" steel, aluminum gables

This building must comply with International Residential Code as per 6.3.2 of the British Columbia Building Code (BCBC 6.3.2)

This building is designed to resist a seismic hazard (RSDV)

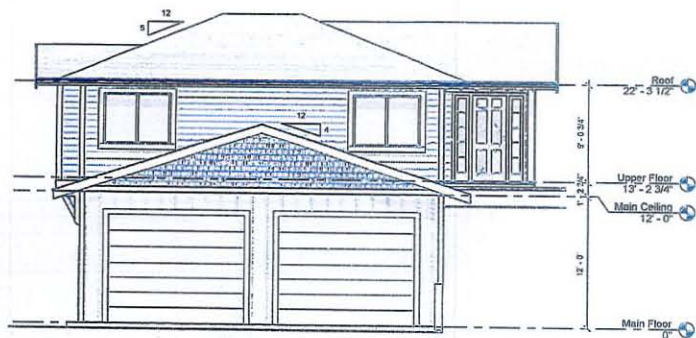


**MEYER  
DESIGNS LTD**  
800 Mt Todd Drive  
Coldstream, BC  
V1B 3V6  
250-503-4579  
kelly@MeyerDesigns.ca  
MeyerDesigns.ca

### Sections and Details

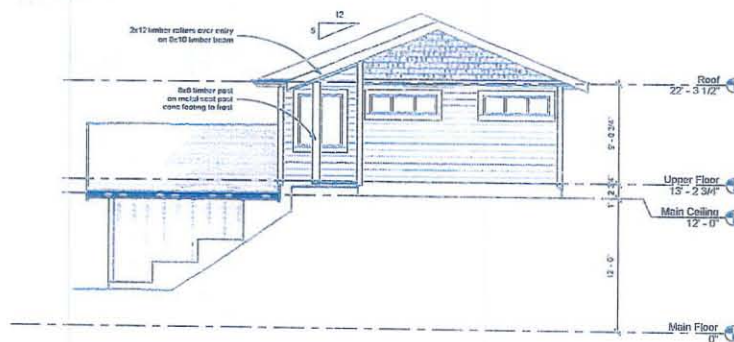
Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Mayer

Unruh Residence  
4431, 17 street NE  
Squamish, BC



① Front Elevation  
3/16" = 1'-0"

*North*



② Right Elevation  
3/16" = 1'-0"

*East*



③ Rear Elevation  
3/16" = 1'-0"

*South*



④ Left Elevation  
3/16" = 1'-0"

*West*

**Height of Accessory Building = 8.7 m**

Dimensions are to start on exterior walls and to center or side of stud for interior walls.  
Inset doors, if not dimensioned, are 2" from the corner to RO or centered in the wall.

### Typical Cladding

**Horizontal Siding (Shake Shave Board)**  
Horizontal siding - 2" reveal  
1/2" reveal from top corners and windows and doors  
**Shingles (on gable ends)**  
Vertical shingles (clapped or shingle)  
**Vertical Board and Batten (Shake Shave Board)**  
Shake board with 1/2" vertical battens (1/2" x 1/2")  
**Roofs**  
2x10 wood joists on 2x12 studs to match house  
2x12 wood joists on 2x12 studs to match house  
**Notes**  
Wood of aluminum to match gutters

### Windows and Door

All exterior door and windows, gutters, combinations, configurations and suppliers to be confirmed by window and door schedule to ensure NFPA (North American Fire Protection Standard) compliance.  
Wood or chain on the place is a representation of the look and feel intended by the designer.  
The type of window and door manufacturer is not specified and therefore need to be confirmed prior to construction.



MEYER  
DESIGN LTD  
800 Mt Todd Drive  
Caldersham, BC  
V1B 3Y5  
250-603-6579  
kelly@meyerdesign.ca  
MeyerDesign.ca

### Elevations

Project number: 2017-043-A  
Date: Dec 5, 2017  
Drawn by: Kelly Meyer

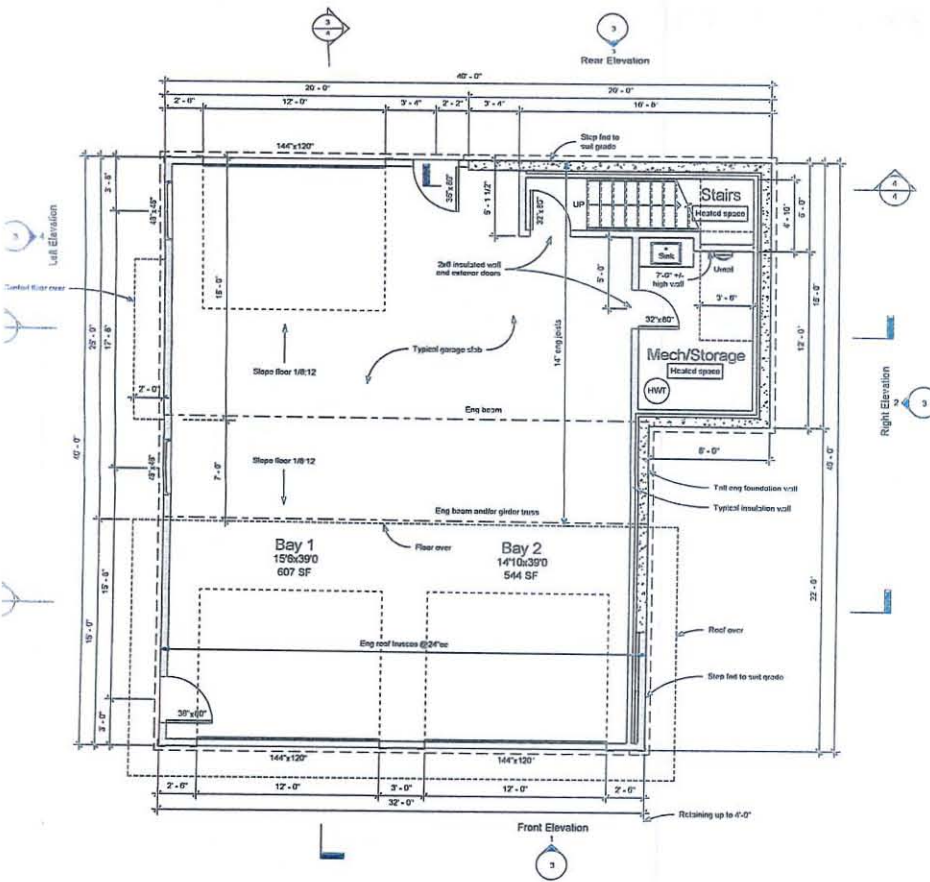
Unruh Residence  
4431, 17 street NE  
Salmon Arm, BC

**3**

For Permit and Construction v1.1



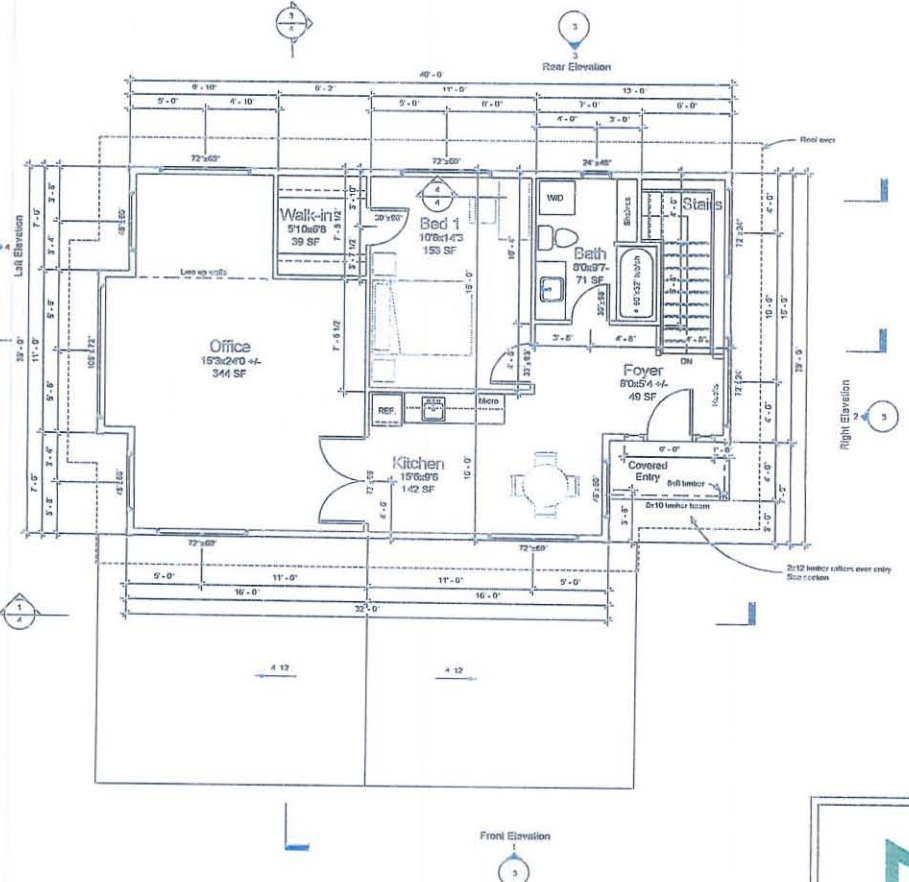
Overseas not to show as exterior walls and to  
center or side of start for interior walls.  
Interior doors, if not dimensioned, are 3' from the  
corner to the end or centered in the wall.



① Main/Foundation Floor Plan  
1/4" = 1'-0"

Door Schedule		
Room Name	Size	Comments
<b>Main Floor</b>		
Bay 1	144" x 120"	Overhead garage
Bay 1	144" x 120"	Overhead garage
Bay 1	32' x 60'	Overhead garage
Bay 2	144" x 120"	Overhead garage
Bay 2	32' x 60'	Overhead garage
Mech/Storage	32' x 60'	Overhead garage
Stairs	32' x 60'	Overhead garage
<b>Upper Floor</b>		
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage

Window Schedule		
Room	Size	Comments
<b>Main Floor</b>		
Bay 1	144" x 120"	Overhead garage
Bay 1	144" x 120"	Overhead garage
Bay 1	32' x 60'	Overhead garage
Bay 2	144" x 120"	Overhead garage
Bay 2	32' x 60'	Overhead garage
Mech/Storage	32' x 60'	Overhead garage
Stairs	32' x 60'	Overhead garage
<b>Upper Floor</b>		
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage
Bed 1	32' x 60'	Overhead garage



② Upper Floor Plan  
1/4" = 1'-0"



Floor Plans

Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Meyer

Unruh Residence  
4431, 17 street NE  
Salmon Arm, BC

2

For Permit and Construction v1.1



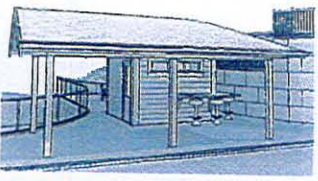
Drawing Index	
Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Pool Deck Retaining
3	Garage Addition Retaining
4	3 Bay Garage Addition



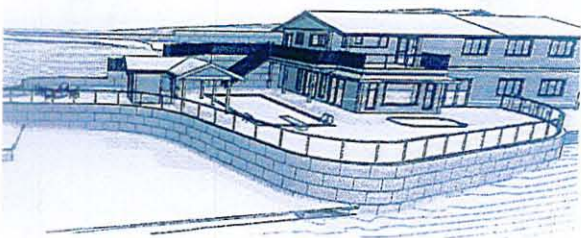
③ Carriage House - See Project 2017-043-A



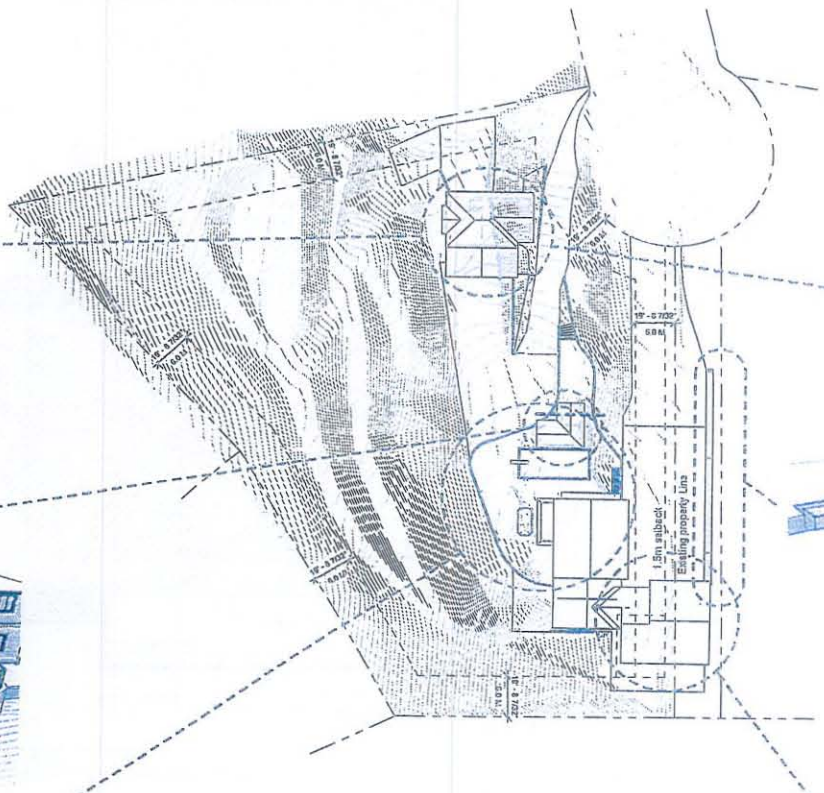
⑧ Carriage House (North) - See 2017-043-A



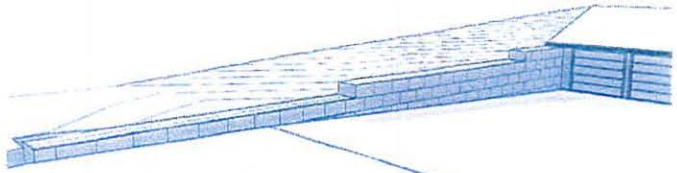
⑤ Poolside Cabana - See Project 2017-043-B



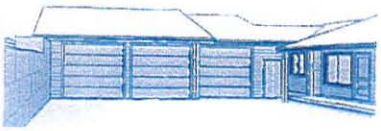
② Pool Deck Retaining - See sheet 2



① Site Plan - Overall  
1" = 30'-0"



④ Garage Addition Retaining - See sheet 3



⑦ 3 Bay Garage Addition - See sheet 3

Notes

1. compliance with the current residential standards of the BC Building Code of Canada, current electrical and plumbing codes and 1.01 and 1.02 which may take precedence

2. performed in all respects to good building practice

3. to be followed, Do not scale from the drawings

4. to be verified by surveyor prior to construction, to be poured on undisturbed engineered pad, levels and levels to be verified on site before construction

5. to be installed at all changes in horizontal exterior finishes and exterior openings. Caulking to be installed around all unfinished joints.

- Thermal Performance**
- All new construction must conform to BCBC 9.36 thermal performance codes
- Plumbing, Electrical and Mechanical Systems**
- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
  - Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
  - All fixtures to be approved by the owner.
  - Heating and venting calculations and system design by engineer, supplier or qualified installer.
  - Electrical system to be designed and installed by qualified electrician
- Local Bylaws and Development Regulations**
- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, front coverage, water run off containment, water consumption, landscaping, etc.
  - Any changes required to these designs should be reported to Meyer Designs.
  - Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.
- Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor
- Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and sub trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

Proposed Development for Dale and Renee Unruh



⑥ Site Perspective

**Legal Address**  
Lot 3  
Plan 40035

**Civic Address**  
4431 17th Street NE  
Salmon Arm, BC

Currently zoned R7

**Note**  
Application to move East property line and change to zone R8 is in progress

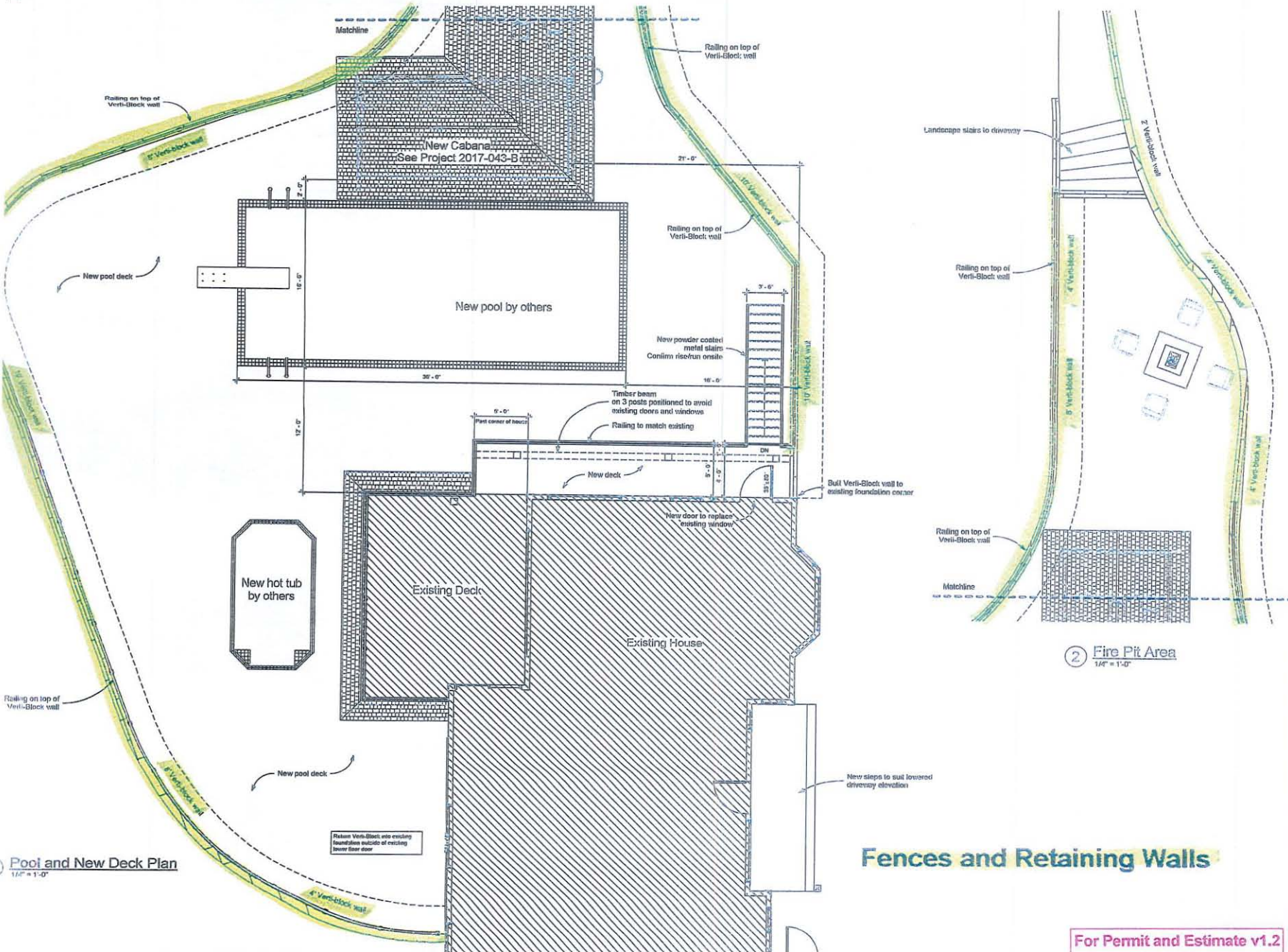
For Permit and Estimate v1.2



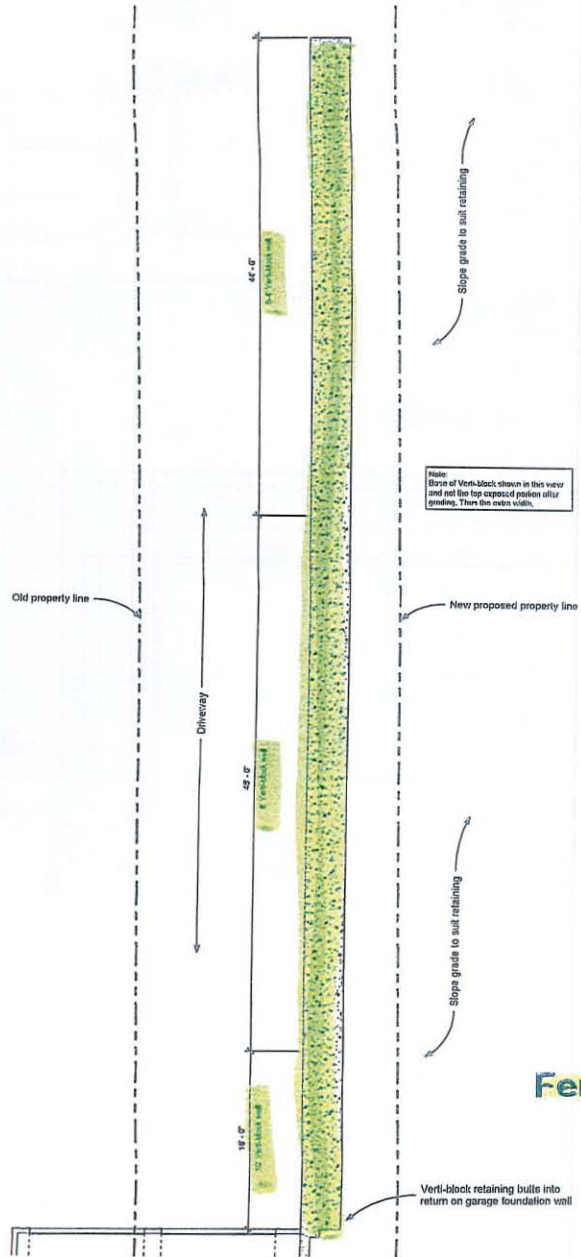
Cover Page and Site Plan

Project number	2017-043
Date	Jun 30, 2016
Drawn by	Kelly Meyer
Unruh Residence 4431 17th St NE Salmon Arm BC	1

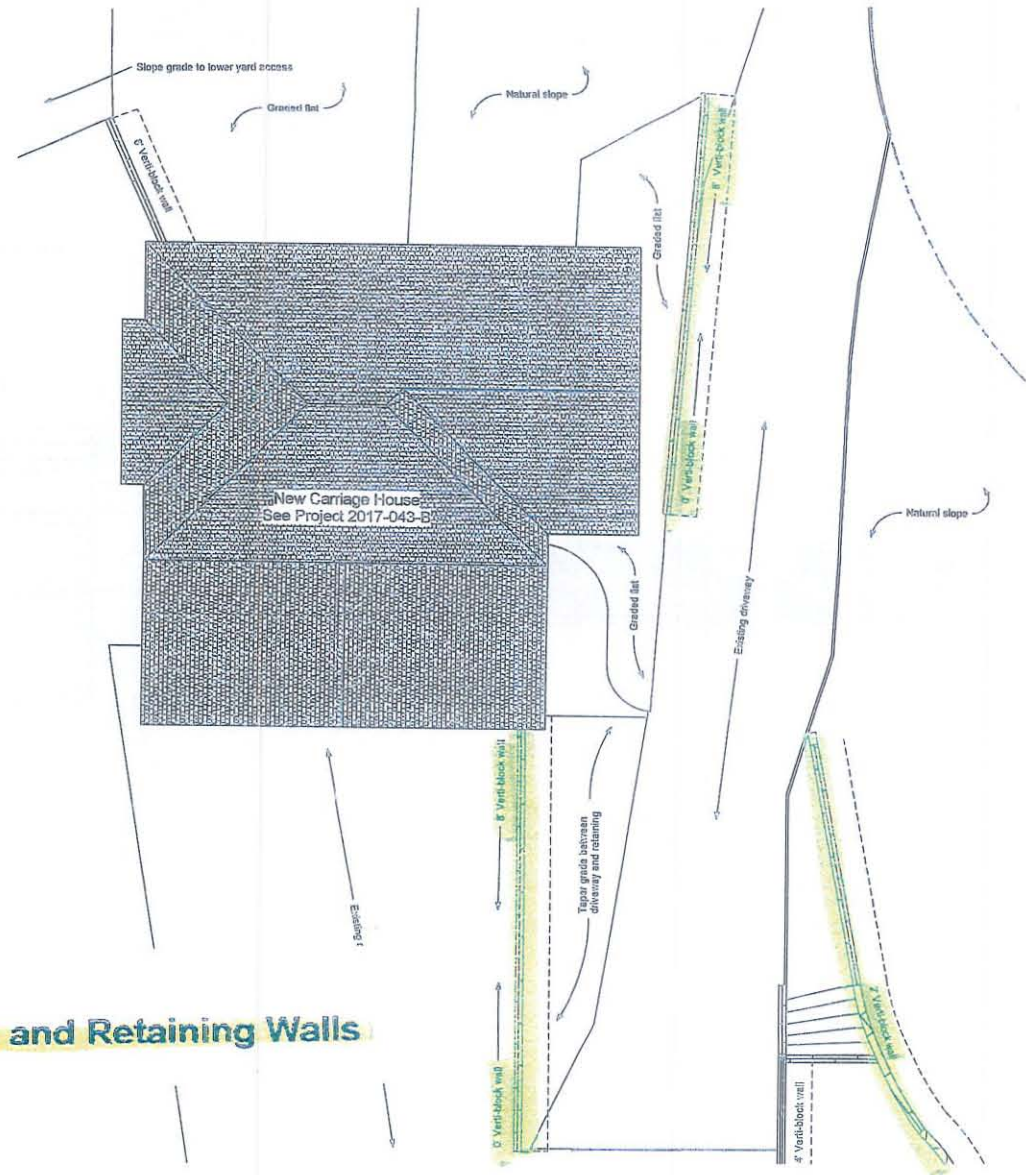




For Permit and Estimate v1.2



② Garage Addition Retain  
3/16" = 1'-0"



① Carriage House Retaining Plan  
3/16" = 1'-0"

## Fences and Retaining Walls

For Permit and Estimate v1.2



**MEYER  
DESIGNS LTD**  
600 RR Todd Drive  
Coldstream, BC  
V1B 3Y6  
250-503-4578  
Kelly@MeyerDesigns.ca  
MeyerDesigns.ca

**Carriage House  
and Garage  
Addition Retaining**

Project number	2017-043
Date	Jan 30, 2018
Drawn by	Kelly Meyer

Unruh Residence  
4431 17th St NE  
Salmon Arm BC

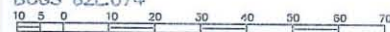
**3**





For Permit and Estimate v1.2

BCGS 82L074



All distances are in metres.

The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:250



### LEGEND



December 19, 2017

BROWNE JOHNSON LAND SURVEYORS  
B.C. AND CANADA LANDS  
SALMON ARM, B.C. 250-832-9701  
File: 656-17      656-17.row

**Wes Miles**

---

**Subject:** RE: Variance Application VP-468

---

**From:** Don Hindbo [<mailto:don@hindboconstruction.com>]

**Sent:** November-28-17 1:14 PM

**To:** Denise Ackerman

**Subject:** RE: Variance Application VP-468

Denise

The reason for this Height variance , is that the owners Dale & Renee Unruh , have applied to build a cairrage home on the property , & they way the ground slopes , the building has a height of 28 ft 6.5 inches & the maximum allowed under R-8 is 24.6 ft , so we need a variance for roughly 4 feet

Thanks

Don Hindbo

Hindbo Construction Group Inc.

2691 13 ave sw

Salmon Arm B C

Office-250 832 1017

Cell- 250-804-3038

[don@hindboconstruction.com](mailto:don@hindboconstruction.com)







Photo 1: Photo looking west from 17 Street NE at the accessory building / future detached suite.

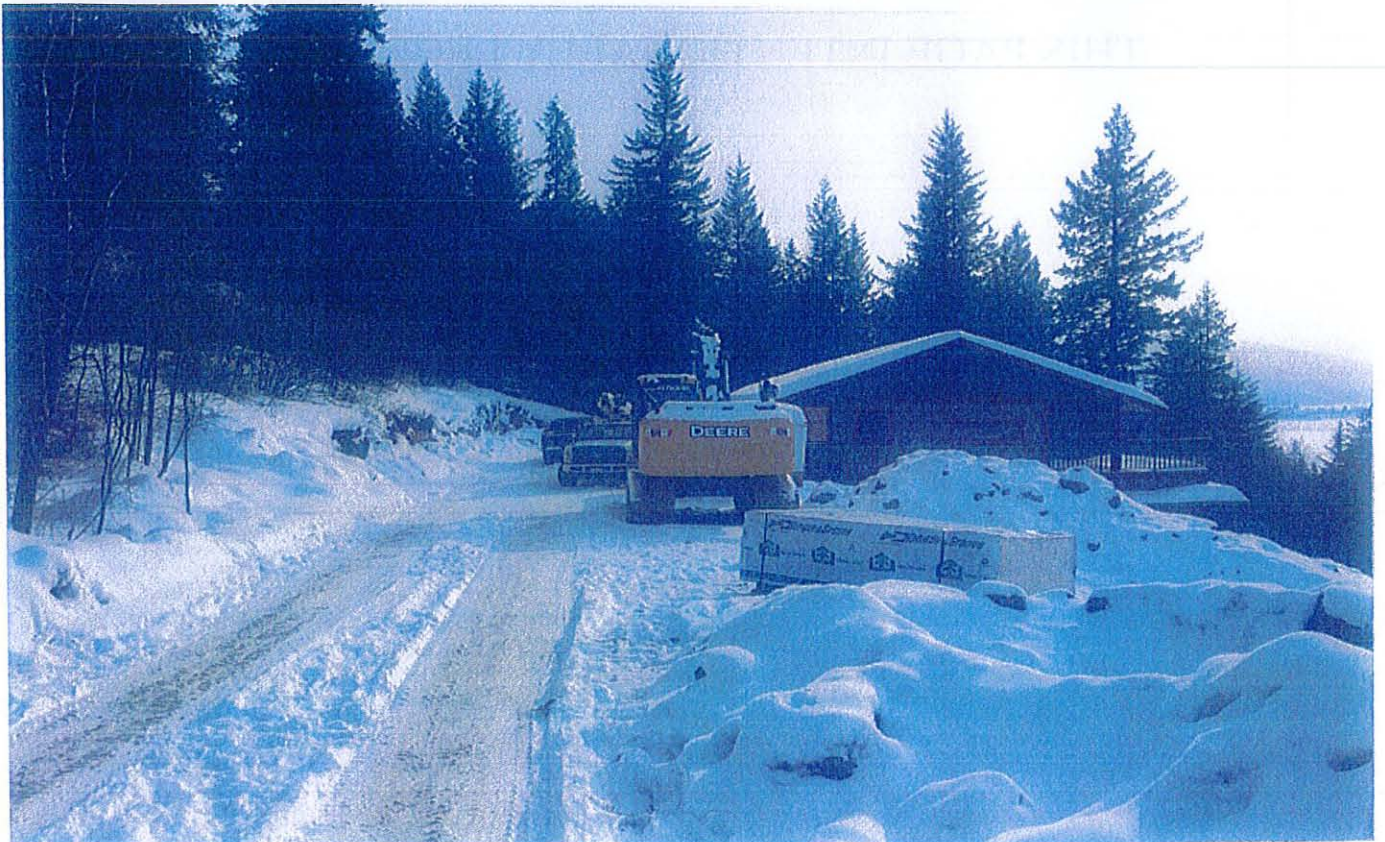


Photo 2: Photo looking south at the existing dwelling and driveway access.



THIS PAGE INTENTIONALLY LEFT BLANK

**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing in the Council Chambers of the City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, on Monday, March 26, 2018 at 7:00 p.m.

**1) Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning** of Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone).

**Civic Address:** 791 - 5 Street SE

**Location:** Just north of the intersection of 10 Avenue SE and 5 Street SE; on the west side of 5 Street SE

**Present Use:** Single family dwelling

**Proposed Use:** To facilitate future multi-family residential development

**Owner / Applicant:** R. Reimer & R. Reimer

**Reference:** ZON-1117/ Bylaw No. 4251



The file for the proposed bylaw is available for inspection between the hours of 8:30 a.m. and 4:00 p.m., Monday through Friday, excluding holidays from March 13, 2018 to March 26, 2018, both inclusive, in the office of the Corporate Officer at the City of Salmon Arm, 500 - 2 Avenue NE.

Those who deem their interest affected by the proposed bylaw are urged to review the file available in the Development Services Department (or telephone 250-803-4021) to obtain the facts of the proposal prior to the Public Hearing.

Erin Jackson, Corporate Officer

Salmon Arm Observer: March 14 and March 21



**Notification of Rezoning Application**  
for Rezone from R-1 to R-4



*Hillcrest Place*

Randy Reimer  
250-804-6205  
[randygreimer@hotmail.com](mailto:randygreimer@hotmail.com)

Roderick Reimer  
250-833-8204  
[roderickreimer@gmail.com](mailto:roderickreimer@gmail.com)

March 16, 2018

Dear Property Owner:

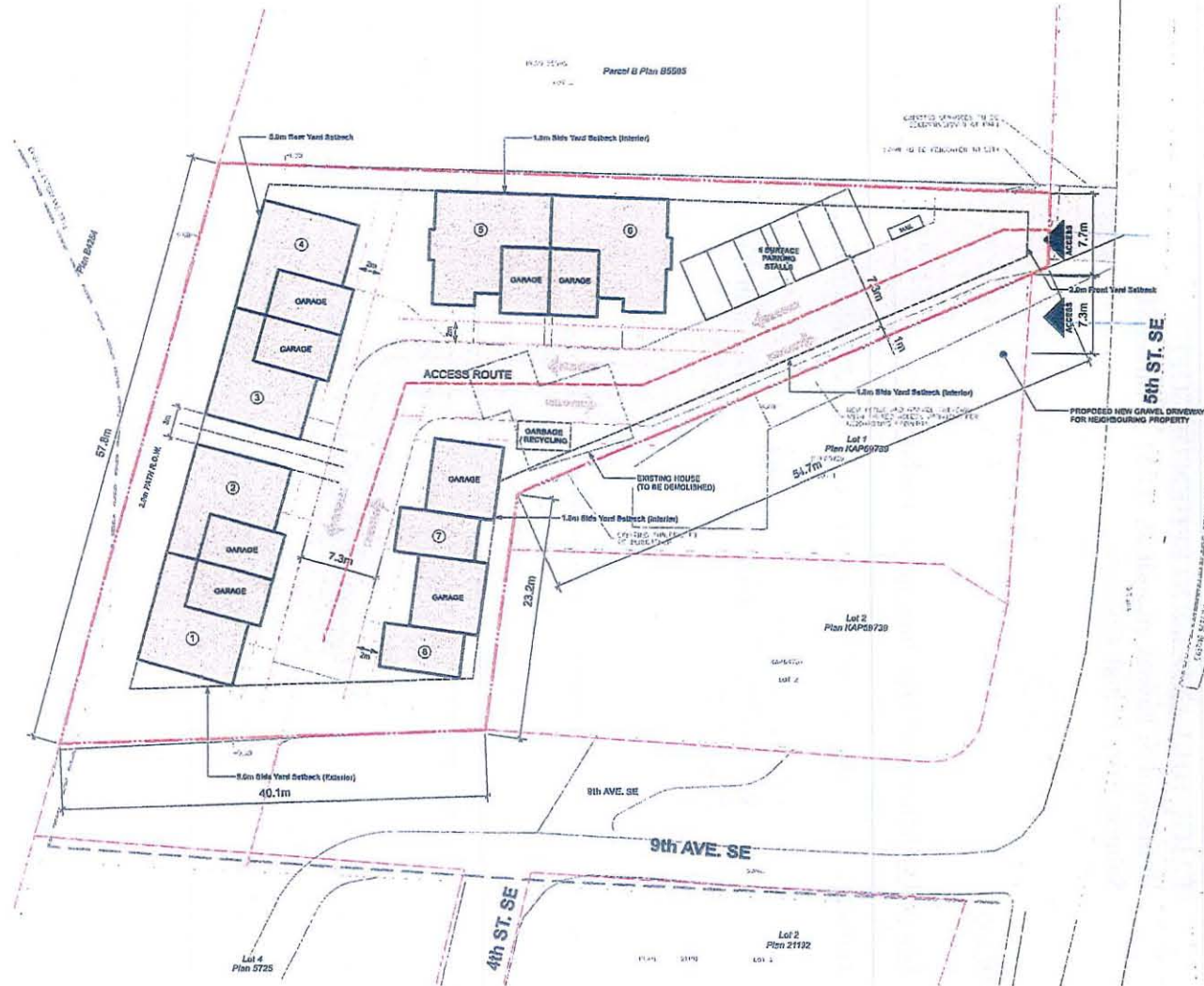
This letter is regarding a revised application we have made to the City of Salmon Arm seeking approval for rezoning the following described property:

791 5<sup>th</sup> St SE  
Salmon Arm, BC V1E 4G2

We are again asking the City of Salmon Arm to approve our application to allow a Medium Density Residential development on the described property. However, based on concerns we have heard from neighbors and council, we have made some changes from our previous application.

Following are some changes and some clarifications:

- The plan we are currently proposing has 8 units whereas our previous plan had 9 units.
- In our last application we were proposing 14 parking stalls, all of which were required. In the current application we are proposing 16 parking stalls of which only 12 are required.
- The current plan has more green space.
- We plan to provide a fence to maintain, as much as possible, the privacy of the neighboring properties.
- We will save as many trees as we can. Particularly, we feel we can save the trees on the northeastern corner of the property.
- We no longer need a variance as we did previously.
- We had a Traffic Access Suitability Assessment prepared by a Professional Engineer.



#### PROJECT INFO:

**Civic Address:**  
791 - 5th St. SE, Salmon Arm, BC

**Legal Description:**  
Lot 5, Plan S725, Sec. 14, Tp. 20, R.10, W.M. K.O.Y.D.

**Site area:**  
2,551.45m (30,592.2sf)  
0.705 acres

**OGP Designation:**  
High Density Residential

**Zoning:**  
Current - R-1 (Low Density Residential)  
Proposed - R4 (Medium Density Residential)

**Allowable Density:**  
16.2 units / acre = 11 units

**Allowable Parcel Coverage:**  
55%

**Maximum Building Height:**  
10.0m (32.8ft) for Principal Buildings  
\*13.0m (42.7ft) if amenities provided

**Setbacks:**

Front Yard	2.0m (6.6ft)
Rear Yard	5.0m (16.4ft)
Side Yard (Interior)	1.8m (5.9ft)
Side Yard (Exterior)	5.0m (16.4ft)

**Min. Separation Between Residential Buildings on Same Lot**

- If not more than one storey = 1.5m (4.9ft)
- If more than one storey = 3.0m (9.8ft)

**Required Parking:**  
1.5 Stalls / Unit

#### PROJECT SUMMARY:

**Unit Totals:**  
2 x Duplex (2)  
= 4 Units

**Unit Types:**

**Units 1-4**  
Footprint = 705m (753.5sf) + Garage  
Living Spaces on Main Floor  
Bedrooms On Upper Floor  
Walk-Out Basement  
Approx. Gross Floor Area (2200sf)

**Units 5-6**  
Footprint = 915m (980sf) + Garage  
Living Spaces + Master Suite on Main Floor  
Extra Bedrooms / Den Upstairs  
Approx. Gross Floor Area (1800sf)

**Units 7-8**  
Footprint = 785m (840sf), including Garage  
Living Spaces on Second Floor  
Bedrooms On Third Floor  
Approx. Gross Floor Area (1950sf)

**Parking:**  
Required = 12  
Proposed = 16 (Units 1-4 with 1-Car Garage, Units 7-8 with 2-car Garage, plus 6 Surface)

**Driveway Area:**  
Approx. 7375m (7,933sf)

PRELIMINARY

ISSUE DATE  
1st Draft 1st Draft  
Revised for Planning 1st Draft

DRAWN BY: ML  
DATE: March 2018  
SCALE: 1:200

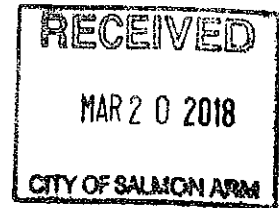
**ARCHITECT**  
100 BOX 2350  
4100 - 42nd ST SE  
SALMON ARM, BC V1E 4J3  
T 250.515-4901  
E mrc@mcarchitect.ca  
W www.mcarchitect.ca

**Project**  
Multi-Unit  
Residential  
Development  
791 - 5th Street SE  
Salmon Arm, BC

DRAWING TITLE:  
SITE PLAN

DRAWING NO:

A01



# AGREEMENT

This Agreement dated effective the 16 day of March, 2018

BETWEEN:

**RODERICK REIMER and RANDAL REIMER**  
 Businessmen, having an address at 791 5<sup>th</sup> Street SE  
 Salmon Arm, British Columbia

(together the "Reimers")

AND:

**PAIGE HILLAND and STEPHEN OGLOFF**  
 Homeowners, having an address at 851 5<sup>th</sup> Street SE  
 Salmon Arm, British Columbia

(the "Owners")

WHEREAS:

A. The parties hereto own adjoining properties being:

Reimers: 791 5<sup>th</sup> Street SE, Salmon Arm, British Columbia

PID 010-257-900 Lot 5 Section 14 Township 20 Range 10  
 West of the 6<sup>th</sup> Meridian Kamloops Division Yale District  
 Plan 5725

Owners 851 5<sup>th</sup> Street SE, Salmon Arm, British Columbia

PID 025-117-701 Lot 1 Section 14 Township 20 Range 10  
 West of the 6<sup>th</sup> Meridian Kamloops Division Yale District  
 Plan KAP69739

(together the "Properties")

B. The Reimers wish to subdivide and develop their property.

C. The parties are desirous of separating their current shared driveway so that each party will have separate driveways to access their respective properties.




- E. The Reimers have agreed, at their sole cost, to prepare and build a separate driveway on the property of the Owners and additionally to build a fence at their sole cost between the Properties.

NOW THEREFORE THIS AGREEMENT WITNESSES THAT FOR GOOD AND VALUABLE CONSIDERATION the receipt and sufficiency of which are hereby acknowledged by each of the parties, the Reimers and the Owners agree as follows:


1. The Reimers agree to prepare and to build, at their sole cost, a gravelled driveway for the Owners along the property line as outlined in the plan attached hereto (the "Driveway").
2. The Driveway shall be built such that it extends to allow the Owners access from 5<sup>th</sup> Street SE.
3. The Reimers agree to build along the property line outlined in the Plan attached hereto, at their sole cost, a fence to separate the Properties. The fence shall be made of wood panelling and shall be built to a height of six (6) feet.

AS EVIDENCE OF THEIR AGREEMENT the parties have executed this Agreement as of the day and year first above written.


  
Witness Colin Blair

  
RODERICK REIMER

  
RANDAL REIMER

  
Witness Victoria Jewell

  
PAIGE HILLAND

  
STEPHEN OGLOFF



**Required Parking:**  
1.5 Stalls / Unit

Driveway Area:  
Approx. 737sm (7,933sf)

DRAWING NO:

A01





*City of Salmon Arm*  
*Development Services Department Memorandum*

To: Her Worship Mayor Cooper and Members of Council

Date: February 26, 2018

Subject: Zoning Bylaw Amendment Application No. 1117

Legal: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725  
 Civic: 791 – 5 Street SE  
 Owner/Applicant: Reimer, R. & R.

**MOTION FOR CONSIDERATION**

**THAT:** A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone).

**AND THAT:** Final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

**STAFF RECOMMENDATION**

**THAT:** The motion for consideration be adopted.

**BACKGROUND**

The 0.28 hectare subject parcel is located at 791 – 5 Street SE, just north of 10 Ave SE/Auto Road (Appendix 3 and 4), and has frontage on both 5 Street and 9 Avenue SE. The proposal is to rezone the parcel from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone) to facilitate an 8-unit multi-family development.

This proposal was previously before Council in a staff report dated May 7, 2017, with a 9-unit development proposed. That proposal has been revised, with the current intent to develop 8-units. The applicant has submitted a letter and new site plans detailing their revised approach (Appendix 1), as well as a traffic analysis (Appendix 2).

The subject parcel is designated High Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 5 and 6). This area is largely comprised of R-1 zoned parcels containing single family dwellings, with R-4 and R-5 multi-family development further west and north. The parcel currently contains a single-family home.

The Zoning Map attached shows the mix of zones in the immediate area, predominantly Residential (R-1, R-4, R-5, and R-8), with Institutional zones to the west and undeveloped A-2 land further to the south. Land uses adjacent to the subject parcel include the following:

North: Single-Family Residential (R-1) parcel,  
 South: Road (9 Ave SE), with Single-Family Residential (R-1) parcels beyond,  
 East: Single-Family Residential (R-1) and Residential Suite (R-8) parcels, with R-1 beyond, and  
 West: Rural Holding (A-2) parcel, with R-4 and R-5 parcels beyond.



A conceptual site plan illustrating a total of 8 units in the form of 4 duplex buildings has been provided (Appendix 1), which would be subject to a future Development Permit application. Site photos are attached as Appendix 7.

### OCP POLICY

The subject parcel is designated High Density Residential in the OCP, and is within Residential Development Area A, the highest priority area for development. While the proposed R-4 Medium Density zone is of slightly higher density (40 dwelling units per hectare) than current R-1 zoning, it is considerably less dense than envisioned by the High Density land use designation (100 dwelling units per hectare). In terms of managing growth, the long-term consequence of developing High Density designated lands at a Medium Density would be future pressure to expand the Urban Containment Boundary.

However, the proposed density aligns with OCP Policy 4.4.3, which encourages all growth to be sensitively integrated with neighbouring land uses. Furthermore, the proposed zoning aligns with the Urban Residential Objectives of Section 8.2 and Urban Residential Policies listed in Section 8.3, including providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears to match with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

As per OCP residential policy, the multi-family development proposed would be subject to a future Development Permit application

OCP Map 11.2 designates a proposed greenway crossing over the south-west corner of the subject property (Appendix 8). As per OCP policy 11.3.18, the requirement of land dedication for a trail may be made at the discretion of Council.

### COMMENTS

#### Ministry of Transportation and Infrastructure

Pursuant to the *Transportation Act*, approval of the zoning amendment bylaw by the Ministry is required, as the parcel is within 800 m of a Controlled Access Highway (Trans Canada Highway). The Ministry has granted Preliminary Approval for this rezoning.

#### Engineering Department

While not conditions of rezoning, full municipal services are required, including service upgrades, improvements to 5 Street SE, and a reciprocal access agreement to protect the neighbour's access from 851 5 Street SE.

The Engineering Department concurs with the conclusions of the Franklin Engineering Traffic and Access Assessment that the proposed access meets all safety requirements and that additional traffic flows are negligible. The Engineering Department also agrees with the report's recommendation to include a suitable onsite turn around to prevent vehicles exiting the driveway in reverse.

The attached comments have been provided to the applicant (Appendix 9).

#### Building Department

Setback variance may be required from access route at unit 7.

Internal access route length appears to trigger Fire Department concerns regarding turnaround.

No additional concerns with rezoning. Demolition permit required for existing building. Further review of limiting distance between units required at time of development.

Fire Department

Dead end roadways in excess of 90 metres require a turnaround as per BCBC 9.10.20.3(1) reference A 3.2.5.6.(1).

The attached comments have been provided to the applicant (Appendix 10).

Planning Department

Keeping in mind the High Density Residential OCP designation, the subject parcels are located in an area well-suited for higher density residential development with either R-4 or R-5 zoning, within walking distance to the City Centre. The maximum residential density permitted under R-4 (Medium Density) zoning is 40 dwelling units per hectare of land. As the subject property is 0.28 hectares in area, the maximum permitted density under R-4 would be 11 dwelling units assuming: 1) some form of strata development; 2) the present gross areas of the subject parcel; and 3) no density bonus. The minimum parcel area for a single family dwelling is 300 square metres.

While from a growth management perspective, the best use and density would be some form of multi-family development, staff note that a single family dwelling is a permitted use in the proposed R-4 zone. It is the opinion of Staff that the proposal represents a reasonable balance between growth management principles while respecting existing land uses: the proposed density (currently 8 units are proposed, reduced from 9 units previously considered) appears sensitive to established neighbouring land uses, while representing an increase in density.

In terms of a future development scenario, the shape of the parcel presents some challenges. The site presents challenges relative to snow clearance, emergency access and turn-around traffic. Opportunity for on-street parking at this site is very limited, thus it is important that the proposed development meet or exceed parking requirements (the preliminary site plan provided indicates 16 parking spaces, above the required 12). Additionally, a screened refuse/recycling area would also be required. Planning staff concur with the Franklin report and the City's Engineering Department, recommending the requirement of an onsite turn-around.

Site plans, landscape details, and elevation drawings submitted at the development permit stage are required to illustrate how the applicant's proposed development would address such requirements relative to the subject parcel.

OCP attributes (Appendix 8) include a greenway trail along the west and east perimeters. While small relative to the larger greenway network, a potential greenway connection through the south-west corner of the parcel could be a significant component enabling a feasible connection in an area of steep slopes, upon such time that lands to the west are redeveloped. OCP Map 11.2 designates the proposed greenway over the subject property, and as such, OCP Policy 11.3.18 provides for the requirement of land dedication for a trail at the discretion of Council as a condition for rezoning. In effect, doing so would be a community Amenity Contribution, which ideally results from a negotiated agreement between a local government and owner/applicant.

OCP Policy 11.3.19 allows for the Approving Officer to require land dedication for a trail as a condition for subdivision (stratification). Given the need for field work associated with determining an appropriate trail alignment and in the absence of any development proposed for the parcel to the west, staff would suggest a right-of-way for a future trail be deferred at this rezoning stage, to be established as a condition at time of subdivision.

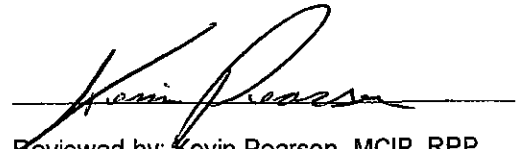
As previously noted, if rezoned to R-4, a form and character development permit application would be required prior to development to demonstrate how the proposed buildings, site and landscape designs will address the various requirements. A lot grading plan would be required at the development permit stage to confirm finished grades. Review of such an application would proceed through City staff, the Design Review Panel, and Council for consideration of approval.

CONCLUSION

The applicant has altered the initial proposal in a manner which improves practical functionality and should decrease associated impacts. The proposed R-4 zoning of the subject property is supported by OCP policy and is therefore supported by staff.



Prepared by: Chris Larson, MCP  
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



**Roderick Reimer**

929 Musgrave Rd  
Enderby, BC V0E 1V3  
250-833-8204  
roderickreimer@gmail.com

**Randal Reimer**

875 Grandview Bench Rd  
Salmon Arm, BC V1E 2X7  
250-804-6205  
randygreimer@hotmail.com

**January 16, 2018**

Mayor and Council  
City of Salmon Arm  
500 2 Avenue NE  
Salmon Arm, BC V1E 4N2

**RE:** Rezoning application for property located at 791-5<sup>th</sup> ST SE

**Dear Mayor and Council:**

The purpose of this letter is to summarize our approach for the proposed development at the above-noted property, and to outline how feedback from Council, City staff, and concerned citizens has helped us to improve our plan since our initial application. This application was ultimately turned down on June 12, 2017, as you know.

Our intention is to create a positive, safe environment and a quality residential development which will be an asset to the neighborhood. Our current plan proposes density well below what is envisioned in the OCP, has more parking than is required by the Zoning Bylaw, provides viable access, and meets all Zoning setback requirements. We also plan to construct a fence around the development to ensure the privacy and security of the neighbors.

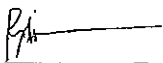
Improvements since our last application:

- Our previous plan proposed nine residential units. In our current plan we have reduced it to eight units. This allows for more parking, more green space, more space between buildings, and slightly less pressure on access and the street.
- We have included a traffic & access assessment completed by Franklin Engineering.
- We have a verbal agreement with the immediate neighbor regarding driveway access and hope to have a formal agreement in place shortly. (We have the support of at least one other nearby neighbor as well).

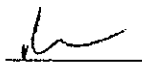
We feel these changes have resulted in an overall improved development plan and we look forward to working with you on this project.

Thank-you for your time and consideration.

Sincerely,



**Roderick Reimer**



**Randal Reimer**









875 Grand View Bench Road  
Salmon Arm, BC, V1E 2X7

January 25<sup>th</sup>, 2017

### **791 5<sup>th</sup> St SE Access Suitability Assessment**

---

Dear Rodrick and Randal,

Franklin Engineering has undertaken a formal review of the access to the proposed 8 unit development at 791 5<sup>th</sup> St SE to determine its suitability to provide access to the proposed 8 unit development.

This has included a review of the road network, cycling and pedestrian requirements, minimum design requirements from the relevant bylaws and design guides, and an assessment of the site parameters.

Conclusions and recommendations have been provided at the end of the report.

#### **Road Network Review**

The City of Salmon Arm Official Community Plan (Map 12.1) identifies 5<sup>th</sup> Street SE as a designated Urban Collector Road. It is also noted that this map shows the proposed future east-west extension of Auto Road which is identified as an Urban Arterial Road. Until such time when this extension is constructed, during winter months the lower section of 10<sup>th</sup> St SE is closed and west bound traffic on Auto road is currently routed along 5<sup>th</sup> St SE.

The City of Salmon Arm Engineering Department has advised that no traffic volume data is available relevant to this access location.

The proposed development would be expected to generate an additional 64 trips/day (assuming traffic volumes of 8 trips/household /day typical of an urban environment).

#### **Cycling and Pedestrian Review**

5<sup>th</sup> St SE is not identified as a bike route in the OCP Cycle Network Plan (Map 12.2). The CoSA Subdivision and Development Servicing Bylaw provides a 1.5m wide bike lane in the typical cross section for an urban collector road (RD-3). A 1.2m Paved shoulder is provided on both side of the adjacent 5<sup>th</sup> St SE which is in general accordance with the bylaw requirements.

The CoSA Subdivision and Development Servicing Bylaw requires a 1.85m wide pedestrian sidewalk lane on both sides of the road in the typical cross section for an urban collector road (RD-3). A concrete pedestrian sidewalk is located on the adjacent (eastern) side of the 5<sup>th</sup> Ave NE. No sidewalk is currently on the western side, likely due to steep grades making it difficult and expensive to construct.

It is noted that the City's greenway/trail network crosses over the south-west corner of the parcel providing access to 9<sup>th</sup> Ave SE. OCP policy 11.3.18 may require this land to be dedicated for the extension of this trail network at the discretion of Council. This would provide an alternative access route for Pedestrians rather than crossing 5th St SE to the sidewalk on the adjacent side of the road.

### Access Design Requirements

A review of the relevant COSA bylaws and Transport Association of Canada Design Guidelines (TAC) has been undertaken, to understand the minimum design requirements for the access.

A summary of the minimum design requirements from the CoSA Subdivision and Development Services Bylaw No. 4163 and the TAC is shown in table 1 below.

**Table 1: Minimum Design Requirements**

Design Parameter	Minimum design specification	Reference
Design Speed (km/hr) (HS Collector)	50	CoSA (Section 4.5)
Design Speed for vehicles approaching from south <sup>1</sup> (km/hr)	30	TAC 2017 (Ch3, Eqn 3.2.3)
Maximum Centreline Grade (%)	12.0	CoSA (Section 4.9)
Maximum Driveway Grade (%) (Access length greater than 25m)	12.0	CoSA (Section 4.13.5)
Maximum Driveway Throat Grade (%) (First 3.5m of Driveway)	7.0	CoSA (Section 4.13.5)
Minimum Driveway Throat Width <sup>2</sup> (Allowing 2 way traffic)(m)	4.5 (7.2)	TAC 2017 (Table 8.9.1)
Intersection Site Distance <sup>3</sup> from the north approach adjusted for 12% uphill grade (m)	80	TAC 2017 (Ch9, Eqn 9.9.1 )



Intersection Site Distance <sup>3</sup> from the south approach adjusted for 12% downhill grade using 30km/hr design speed (50km/hr design speed shown in brackets) (m)	80 (130)	TAC 2017 (Ch9, Eqn 9.9.1 )
Stopping Site Distance <sup>45</sup> (m)	74	TAC 2017 (Ch2, Tb 2.5.3)

1. Design speed calculated using the travel path curve radius for a vehicle turning from 10<sup>th</sup> Ave SE onto 5<sup>th</sup> St SE. Design speed also field verified.
2. Recommended for driveways serving >4 units that a two way driveway is provided.
3. Noted that design values provided are based on the site triangle requirements for a formal intersection with a stop control on the minor road. TAC comments that for low use driveways, reduced sight distances are generally tolerable due to the low operating speeds and caution exercised by drivers.
4. Adjusted for downgrade.
5. It is noted that the 2017 Tac does not provide a specific stopping site distance for trucks, however comments that separate stopping site distance is not generally used in highway design as it is balanced through the truck driver having an eye height advantage and hence greater sight line. It is noted that Table 1.2.5.4 of TAC 2007 includes a stopping site distance for trucks with conventional braking of 85-110m.

### Assessment of Site Access Parameters

Onsite parameters have been calculated with measurements taken from 3d software using a surface constructed from topographic survey and LIDAR survey information. These measurements have then been field verified. A summary of the parameters observed onsite is provided in table 2. A drawing showing grades and site lines and photographs taken from site are attached with this report.

**Table 2: Proposed Access Site Parameters**

Design Parameter	Value	Min/Max Design Requirement
5 <sup>th</sup> ST SE Centreline Grade <sup>1</sup> (%)	12.1	<12
10 <sup>th</sup> Ave SE Centreline Grade (Approach) (%)	13.6	<12
9 <sup>th</sup> Ave SE Centerline Grade (%)	19.2	<12
Existing Driveway Grade (%)	2.4	<12
Existing Driveway Throat Grade (%)	7.2	<7
Site Distance North <sup>2</sup> (m)	110	>80
Site Distance South <sup>2</sup> (m)	120	>80

1. Average Grade Measured across 70m frontage.
2. Site distance calculated assuming driveway throat grade will be raised to provide platform at 2%.



## **Discussion**

Generally it is observed that the proposed development access meets the minimum specified design requirements.

Intersection sightlines are defined as the sight distance available from the decision point, where vehicles are required to stop on the intersecting road while drivers are looking left and right along the major roadway, before entering the intersection. The intersection sight distance is adequate when it allows the design vehicles to safely make all the maneuvers to enter the live road (e.g. left turns, right turns), and accelerate to 85% of the design speed without significantly affecting vehicles travelling on the main roadway.

A driver's eye setback of 3.0m from the road fog line has been used to define the decision point for intersection site distance calculation.

Looking north down 5<sup>th</sup> St SE, sightlines are clear and in excess of 120m. Minor trimming of the adjacent hedges (to the south) should be undertaken regularly to ensure the sightline remains clear and unobstructed.

Looking south towards the 10<sup>th</sup> Ave SE intersection, sightlines allow view of cars entering 5<sup>th</sup> St SE from 10<sup>th</sup> Ave SE. A revised design speed of 30km/hr has been calculated for northbound vehicles based on a reduced travel speed for vehicles that have just navigated the 5<sup>th</sup> St/10<sup>th</sup> Ave intersection corner (calculated using a 23m curve radius and field verified). Using this travel speed, the available sightline (110m) exceeds the minimum requirements (80m) including an adjustment for the road gradient.

It is noted that the gradient of the 5<sup>th</sup> St centerline varies, however the measured value represents the average gradient across a 70m frontage. The gradient (12.1%) slightly exceeds the maximum design gradient included in design guides; however is within reasonable tolerance levels, particularly given some inaccuracy in the survey model.

The driveway entrance should be upgraded to a width suitable for two way access (>7.2m) and to provide a flat throat grade ( $\pm 2\%$ ) to ensure a safe storage platform is provided for vehicles waiting to enter and exit the driveway.

The existing gradient of the driveway throat (first 5.0m) exceeds the recommended maximum grade. The provision of appropriate clear throat length or storage space is particularly important as it provides a flat storage platform for vehicles waiting to enter the live lane and for receiving vehicles leaving the live road. The driveway should be upgraded to provide a flat ( $\pm 2\%$ ) platform at the entrance/exit.

The CoSA bylaw encourages developing shared driveways on adjacent properties to reduce the number of accesses on collector roads.

The additional vehicles generated by the proposed development would be expected to be negligible on a designated collector road.

In the long term, the future upgrade of Auto Road should result in a significant decrease in traffic volume on 5<sup>th</sup> St SE.

#### Recommendations/Conclusions

From a review of the minimum design requirements and an assessment of the site parameters the following recommendations are made:

1. The proposed access is in general accordance with the minimum design requirements. The gradient of 5<sup>th</sup> St SE (12.1%) is at the maximum recommended grade, however when adjusting for this grade, the sightlines and safe stopping distance available are in accordance with the requirements of a highways intersection and thus are considered suitable for a low volume residential access ;
2. The driveway entrance should be upgraded to a width suitable to for two way access (>7.2m) and to provide a flat throat grade ( $\pm 2\%$ ) to ensure a safe storage platform is provided for vehicles waiting to enter and exit the driveway;
3. The internal driveway access should be of a suitable width, or provide a suitable turning area to allow passenger vehicles to exit the driveway in a forwards direction. ie prevent vehicles from exiting driveway in reverse.
4. Consultation with adjacent property is being undertaken to develop a shared access, reducing the number of access points onto a collector road in accordance with the CoSA bylaw design requirements;
5. Minor trimming or removal of the adjacent trees (to the south) should be undertaken regularly to ensure the sightlines remains clear and unobstructed.
6. The additional traffic generation expected from the development is negligible in comparison to the traffic volumes expected on a collector road;
7. It is noted that an access off 9<sup>th</sup> Ave is not considered suitable due to its steep grade (max 19%) and reduced sightlines in both directions;



Please contact Franklin Engineering if you have any further questions regarding this access assessment.

Prepared by,



Sean Husband, EIT

Reviewed by,



Jayme Franklin, P.Eng

Attached:

- Franklin Engineering Drawing 17-018 SK-01 Access Assessment Site Plan (Rev2)
- Sightline Photos





Figure 1: Sightline from Decision Point Looking North

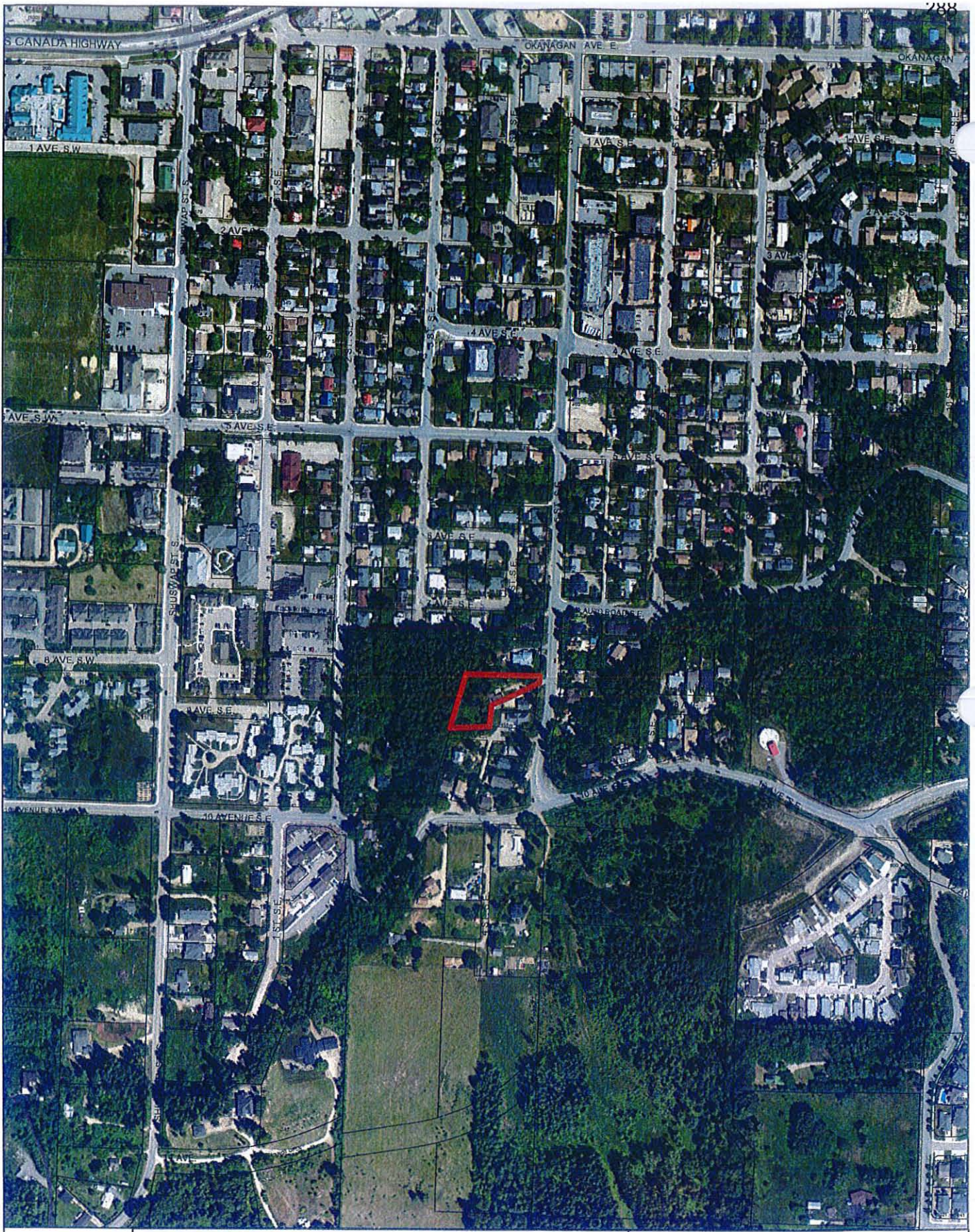


Figure 2: Sightline from Decision Point Looking South

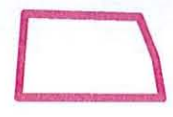






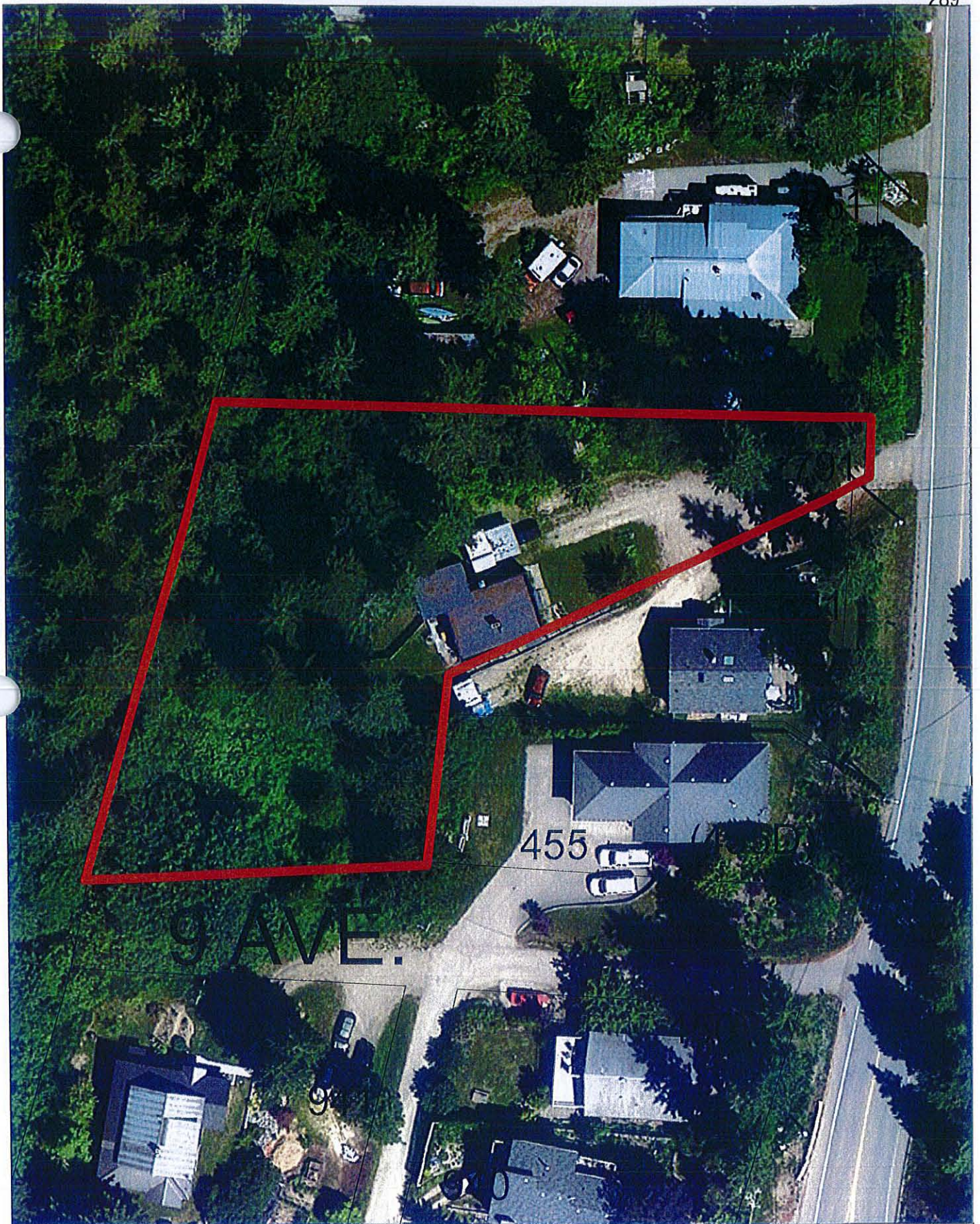


0 50 100 200 300 400 Meters



Subject Parcels



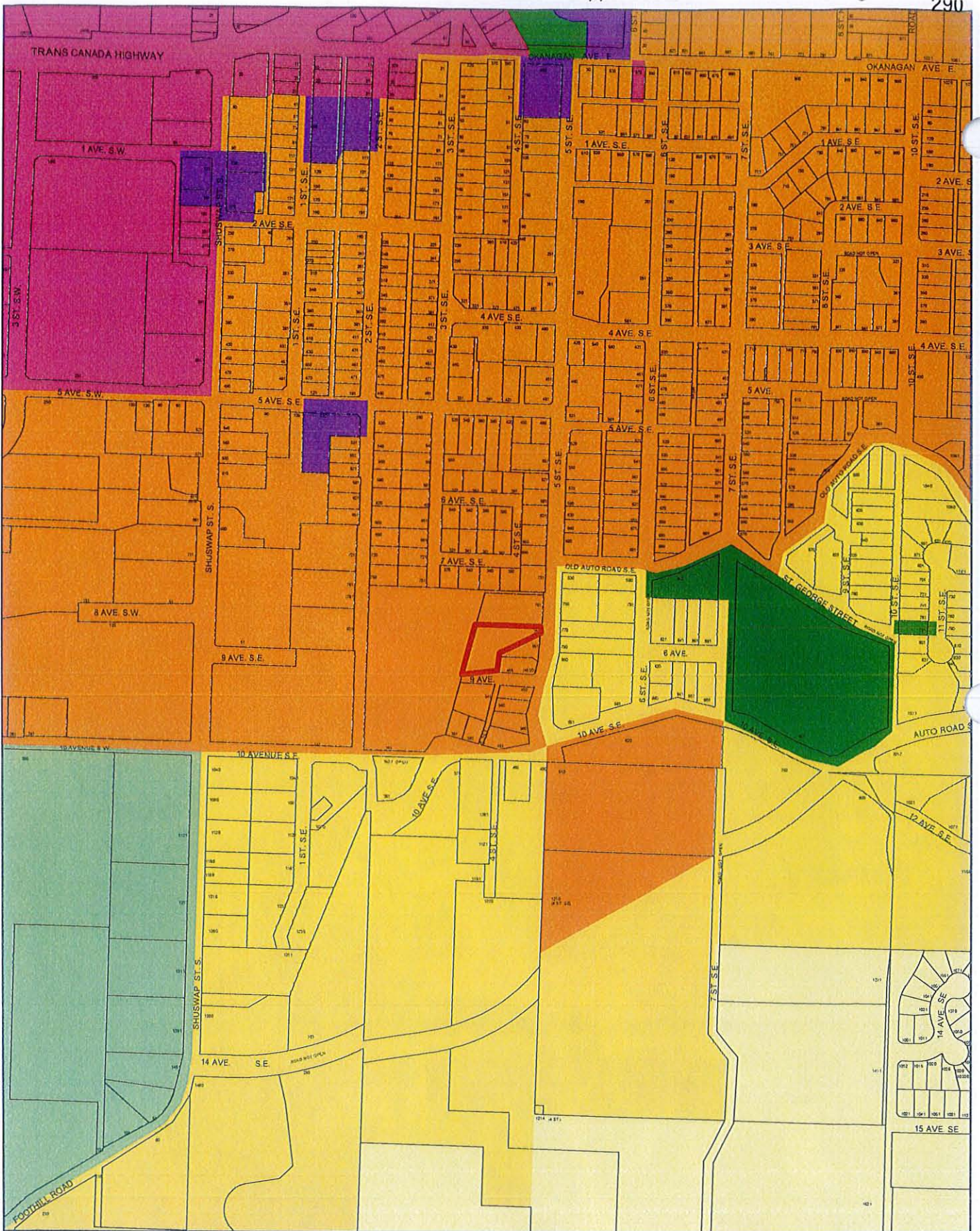


0 5 10 20 30 40 Meters

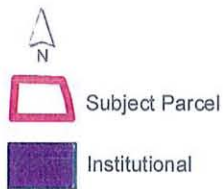


Subject Parcels



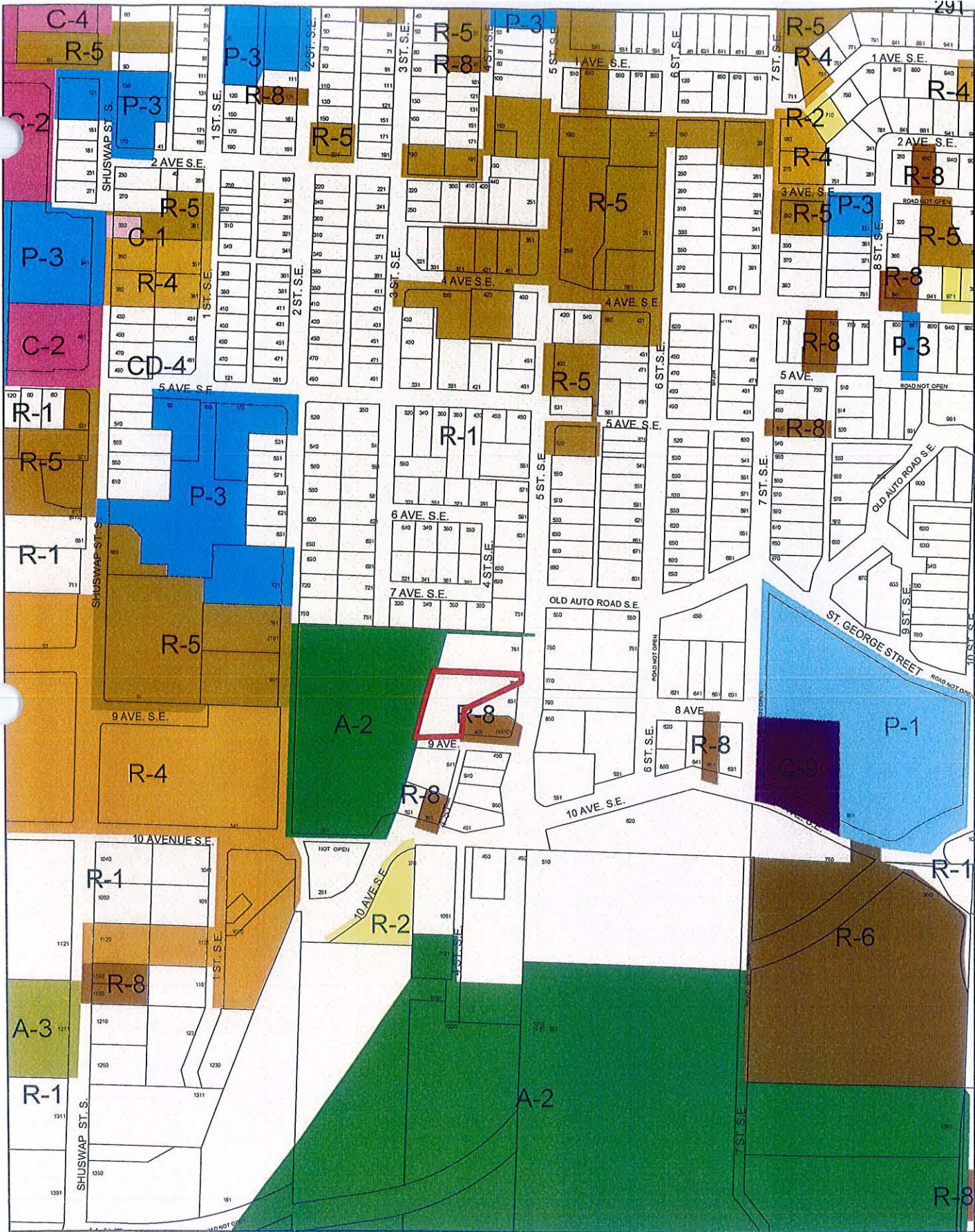


0 30 60 120 180 240 Meters



- |                          |                            |
|--------------------------|----------------------------|
| Commercial - City Centre | High Density Residential   |
| Park                     | Medium Density Residential |
| Acreage Reserve          | Low Density Residential    |



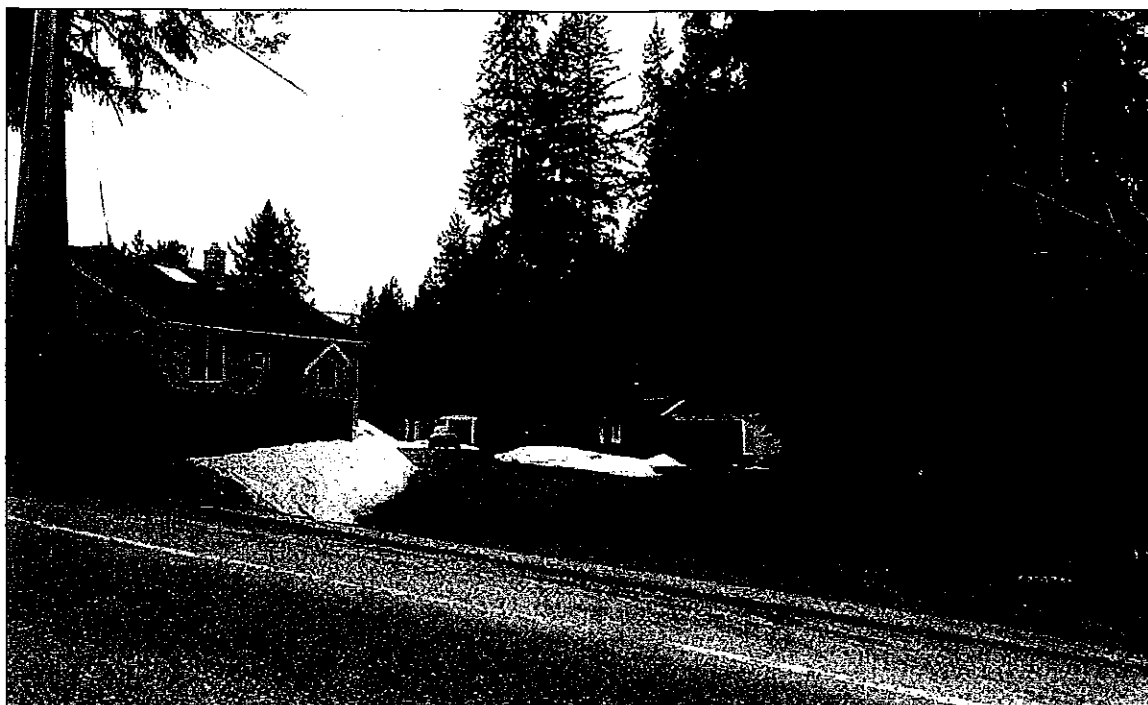


0 40 80 160 240 320 Meters

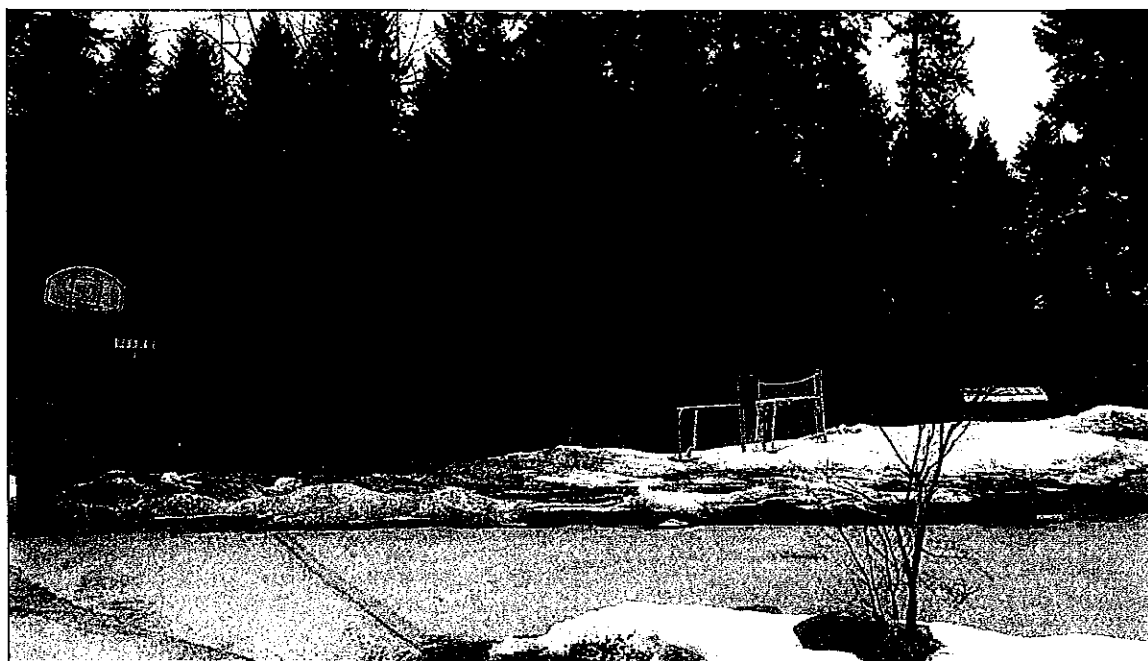


Subject Parcels





View of subject parcel looking south-west from 5 Street SE, with neighbour's home at left.



View of rear portion of subject parcel looking north-west from 9 Avenue SE, with existing house visible..





0 15 30 60 90 120 Meters



Subject Parcels





**City of Salmon Arm**  
**Memorandum from the Engineering**  
**and Public Works Department**

---

TO: Kevin Pearson, Director of Development Services  
 DATE: 21 February 2018  
 PREPARED BY: Chris Moore, Engineering Assistant  
 OWNER: Reimer, Roderick, 929 Musgrave Road, Enderby, BC V0E 1V3  
 Reimer, Randal, 875 Grandview Bench Road, Salmon Arm, BC V1E 2X7  
 APPLICANT: Owners  
 SUBJECT: ZONING AMENDMENT APPLICATION FILE NO. ZON-1117  
 LEGAL: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725  
 CIVIC: 791 – 5 Street SE

---

**Further to the request for Zoning Amendment dated 30 January 2018; the Engineering Department has thoroughly reviewed the site. The following comments and servicing requirements are not conditions for rezoning; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:**

**General:**

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties to be serviced completely by underground electrical and telecommunications wiring.
4. Properties under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required at time of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of development the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe



ZONING AMENDMENT APPLICATION FILE NO. ZON-1117  
21 February 2018  
Page 2

---

elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

9. For the off-site improvements at the time of development/building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads / Access:**

1. 5 Street SE, on the subject properties eastern boundary, is designated as an Urban Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
2. 5 Street SE is currently constructed to an Interim Collector Road standard. Upgrading to an Urban Collector Road Standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs. In consideration of the narrow frontage onto 5 Street NE, this upgrade is premature at this time. A 100% cash in lieu payment towards future upgrading will be accepted. Owner / Developer is responsible for all associated costs.
3. 9 Avenue SE, on the subject properties southern boundary, is designated as a Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that 9 Avenue is only 9.2m wide at the west end, however no additional dedication will be required since the existing grade is too steep to construct a road to City standards. For this reason, the full upgrade of 9 Avenue SE will not be required, however existing road drainage issues will need to be addressed.
4. 851 5 Street SE currently shares an access with the subject property. A reciprocal access easement will be required to protect the access of 851 5 Street SE.
5. Owner / Developer is responsible in ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
6. The conclusions of the Franklin Engineering Traffic and Access Assessment are that the proposed access meets all safety requirements and that additional traffic flows on 5 Street SE will be negligible. The Engineering Department agrees with these conclusions. However, the report does also recommend that vehicles should be able to turn onsite to prevent exiting the driveway in reverse. A suitable turn-around should therefore be provided onsite to allow all vehicles to turn and exit in a forward direction. This would also permit the strata to opt in to the City's Garbage and Recycling Program.

ZONING AMENDMENT APPLICATION FILE NO. ZON-1117  
21 February 2018  
Page 3

---

**Water:**

1. The subject property fronts a 150mm diameter Zone 1 watermain on 5 Street SE. No upgrades will be required at this time.
2. The subject property fronts on 9 Avenue SE where no watermain is currently constructed. Since extending a watermain along 9 Avenue SE is premature at this time, a 100% cash contribution for the future construction of a watermain across the frontage on 9 Avenue SE will be required.
3. The property is to be serviced by a single water service connection, adequately sized to satisfy the proposed use. Strata lots shall have individual water meters that will be supplied by the City at the time of Building Permits. Owner / Developer is responsible for all associated costs.
4. Records indicate that the existing property is serviced by a 12.5mm service from the 150mm diameter watermain on 5 Street SE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

**Sanitary:**

1. The subject property fronts a 200mm diameter sanitary sewer located on 5 Street SE and a 150mm diameter sanitary sewer located on 9 Avenue SE. Upgrading to a minimum 200mm diameter will be required across the frontage of the property on 9 Avenue SE.
2. The property is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary sewer on 5 Street SE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**Drainage:**

1. The subject property fronts a 600mm diameter storm sewer located on 5 Street SE and a 300mm diameter storm sewer located on 5 Street SE. There is no storm sewer located on 9 Avenue SE. Since 9 Avenue SE is not required to be upgraded, the provision of a storm sewer across the frontage of the property is not required. The owner / developer is however

ZONING AMENDMENT APPLICATION FILE NO. ZON-1117  
21 February 2018  
Page 4

---

required to provide a storm water system to address existing flows on 9 Avenue, to prevent these discharging onto private property. Owner / Developer is responsible for all associated costs.

2. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided. Where onsite disposal of stormwater is recommended, a Stormwater Management System shall be provided in accordance with Section 7.2.
3. Should discharge into the City Storm Sewer be part of the ISMP, the proposed lot(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), Category C (Landslide Assessment).

  
**Chris Moore**  
Engineering Assistant  
**Jenn Wilson P.Eng., LEED ® AP**  
City Engineer





**CITY OF SALMON ARM - DEVELOPMENT SERVICES DEPARTMENT**  
**Box 40, 500 - 2nd Avenue NE, Salmon Arm, BC, V1E 4N2**  
**Phone: 250-803-4021 FAX: 250-803-4041**

[Print](#)
[Submit Form](#)

TO: DIRECTOR OF DEVELOPMENT SERVICES (Kevin)  
 PLANNING AND DEVELOPMENT OFFICER (Jon)  
 PLANNING AND DEVELOPMENT OFFICER (Wes)  
 PLANNING AND DEVELOPMENT OFFICER (Chris)  
 MANAGER OF PERMITS & LICENSING (Maurice)  
 FIRE DEPARTMENT (Brad)  
 ENGINEERING & PUBLIC WORKS DEPARTMENT (Rob, Jenn & Jennifer)  
 MINISTRY OF TRANSPORTATION & INFRASTRUCTURE, P.O. Box 100, Salmon Arm, BC, V1E 4S4  
 BC HYDRO, via email utilities group  
 FORTISBC, via email utilities group  
 TELUS, via email utilities group  
 SHAW CABLESYSTEMS, via email utilities group

### REFERRAL

OWNER: Reimer, Roderick, [redacted]  
 Reimer, Randal, [redacted]  
 APPLICANT: Owner  
 AGENT: Reimer, Roderick, [redacted]  
 DATE: January 30, 2018  
 SUBJECT: ZONING AMENDMENT APPLICATION FILE NO. ZON-1117  
 LEGAL: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725  
 CIVIC: 791 - 5 Street SE

Please provide comments on the attached Zoning Amendment Application at your earliest opportunity.

OCP Designation:	HR (High Density Residential Zone)
OCP Designation Requested:	n/a
Development Permit Area:	Environmentally Sensitive Riparian Area & Potential Hazardous Area
Current Zoning:	R-1 (Single Family Residential Zone)
Requested Zoning:	R-4 (Medium Density Residential Zone)
ALR:	No
Other:	The applicant wishes to build 4 duplexes
Previous Files:	ZON-1090
Associated File:	n/a

Thank you.

Kevin Pearson, MCIP, RPP  
 Director of Development Services

#### COMMENTS for ZON-1117:

It appears the roadway of this development is in excess of 90 Meters.  
 BCBC 9.10.20.3(1) references A 3.2.5.6.(1) and a requirement for a turnaround for  
 dead end roadways in excess of 90 M.  
 Being consistent with our past practice of such developments we would ask for a  
 turnaround or T-turn at the end of the roadway.  
 Thank you

SIGNATURE: Jim Nickles

DATE: Feb. 7/18

Item 23.1

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4250 be read a third and final time.

[ZON-1115; Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 – 17 Street NE; R-9 to R-8]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

# CITY OF SALMON ARM

## BYLAW NO. 4250

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on March 26, 2018 at the hour of 7:00 p.m. was published in the March 14, 2018 and March 21, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 from R-9 Estate Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.



5. CITATION

This bylaw may be cited as "**City of Salmon Arm Zoning Amendment Bylaw No. 4250**"

READ A FIRST TIME THIS                      12th                      DAY OF                      March                      2018

READ A SECOND TIME THIS                      12th                      DAY OF                      March                      2018

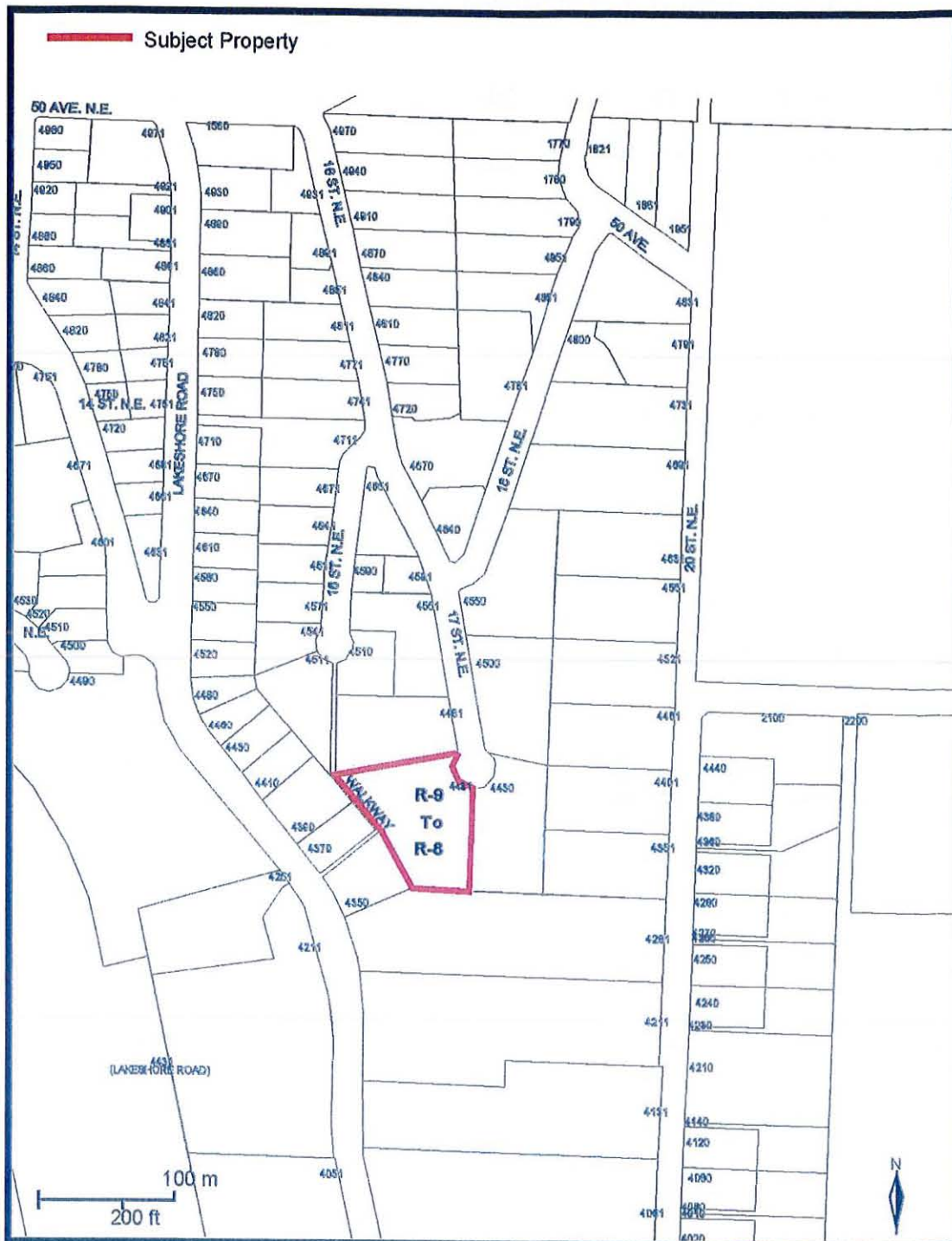
READ A THIRD TIME THIS                      DAY OF                      2018

ADOPTED BY COUNCIL THIS                      DAY OF                      , 2018

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

SCHEDULE "A"



Item 23.2

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4251 be read a third time.

[ZON-1117; Reimer, R. & Reimer, R.; 791 - 5 Street SE; R-1 to R-4]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



# CITY OF SALMON ARM

## BYLAW NO. 4251

### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on March 26, 2018 at the hour of 7:00 p.m. was published in the March 14, 2018 and March 21, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725 from R-1 Single Family Residential Zone to R-4 Medium Density Residential Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4251"**

READ A FIRST TIME THIS                      12th                      DAY OF                      March                      2018

READ A SECOND TIME THIS                      12th                      DAY OF                      March                      2018

READ A THIRD TIME THIS    DAY OF    2018

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE    DAY OF    , 2018

---

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS    DAY OF    , 2018

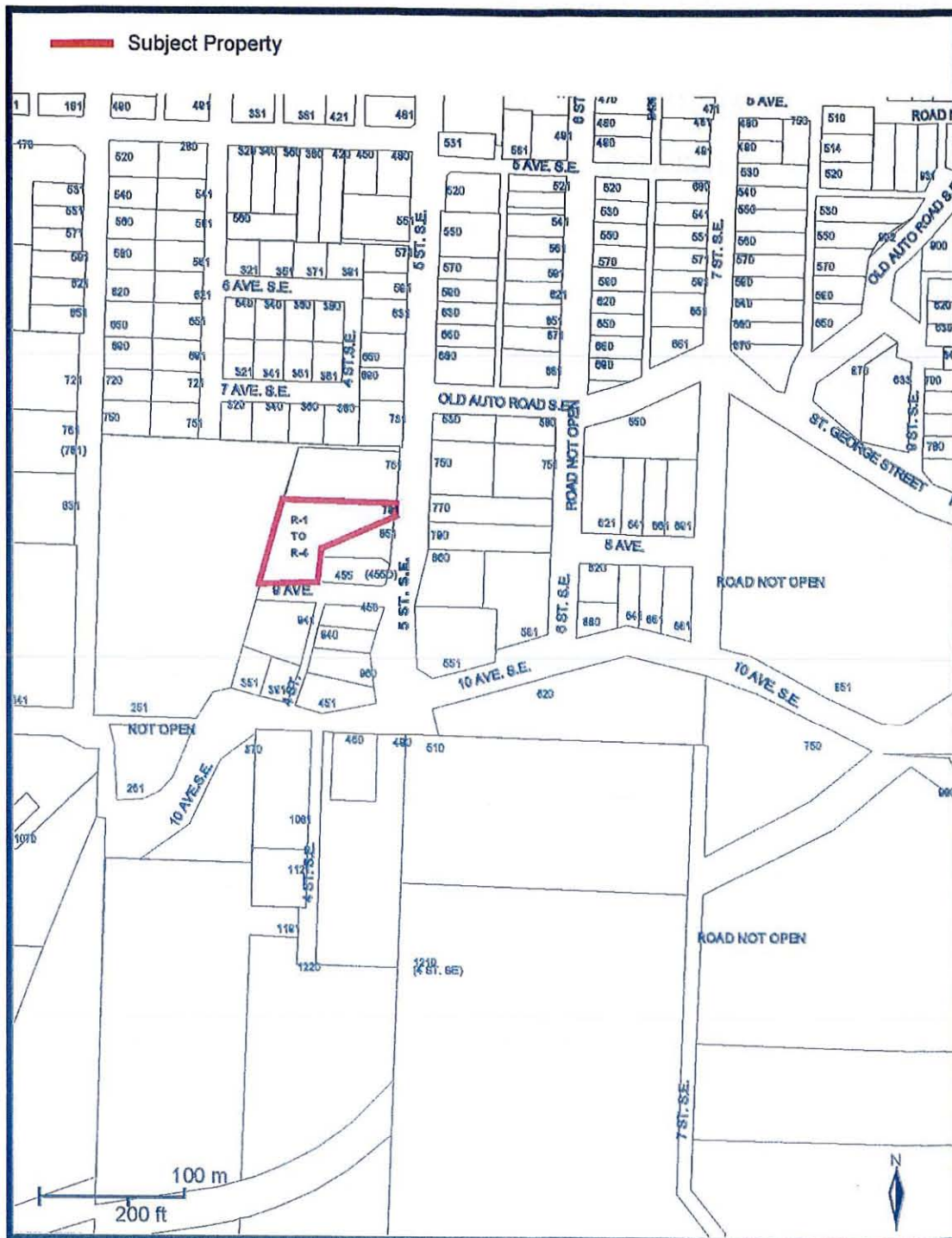
---

MAYOR

---

CORPORATE OFFICER

## SCHEDULE "A"





Item 25.

## CITY OF SALMON ARM

Date: March 26, 2018

Moved: Councillor Flynn

Seconded: Councillor Eliason

THAT: the Regular Council Meeting of March 26, 2018, be adjourned.

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK